



City Council Agenda

February 16, 2026
7:00 p.m.

City Council Chambers
97 N. Broad Street
Hillsdale, MI 49242

- I. Call to Order and Pledge of Allegiance**
- II. Roll Call**
- III. Approval of Agenda**
- IV. Public Comments on Agenda Items**
- V. Consent Agenda**
 - A. Approval of Bills
 - 1. City and BPU Claims of January 29, 2026: \$1,195,816.49
 - 2. Payroll of January 29, 2026: \$210,224.68
 - B. City Council Minutes of February 2, 2026
 - C. Finance Minutes of February 2, 2026
 - D. BPU Holiday Decorations
 - E. BPU Service Van Replacement
- VI. Communications/Petitions**
 - A. Letter from Smith Haughey Rice & Roegge Attorneys at Law
 - B. Hillsdale County Commissioner Update – Doug Ingles
- VII. Introduction and Adoption of Ordinances/Public Hearing**
 - A. Public Hearing: SAD 2026-01 Arch Ave.
 - B. Public Hearing :SAD 2026-02 South St.
 - C. Public Hearing :SAD 2026-03A Oak St.
- VIII. Old Business**
- IX. New Business**
 - A. Library Carpet Replacement
- X. Miscellaneous Reports**
 - A. Proclamation: None
 - B. Appointment: Anthony Vear- Board of Review
 - C. Other- None
- XI. General Public Comment**
- XII. City Manager's Report**
- XIII. Council Comment**
- XIV. Adjournment**

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INVOICE GL DISTRIBUTION REPORT FOR CITY OF HILLSDALE
EXP CHECK RUN DATES 01/29/2026 - 01/29/2026
BOTH JOURNALIZED AND UNJOURNALIZED
PAID

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| GL Number | Invoice Line Desc | Vendor | Invoice Description | Amount | Check # |
|--|----------------------------------|----------------------------|---|-----------|---------|
| Fund 101 GENERAL FUND | | | | | |
| Dept 175.000 ADMINISTRATIVE SERVICES | | | | | |
| 101-175.000-802.000 | WATCHGUARD SECURY SUITE FIREBOX | SONIT SYSTEMS, LLC | WATCHGUARD SECURY SUITE FIREBOX M390 JF | 1,975.00 | 112145 |
| 101-175.000-802.000 | MISC CAT6 CABLES | AMAZON CAPITAL SERVICES, I | MISC CAT6 CABLES | 27.57 | 112148 |
| Total For Dept 175.000 ADMINISTRATIVE SERVICES | | | | 2,002.57 | |
| Dept 191.000 FINANCE DEPARTMENT | | | | | |
| 101-191.000-726.000 | WINDOW ENVELOPES - NO LOGO/LOGO | ARROW SWIFT PRINTING | WINDOW ENVELOPES - NO LOGO/LOGO | 214.61 | 112150 |
| 101-191.000-801.000 | ACCOUNTING SERVICES - DEC 2025 | THE WOODHILL GROUP, LLC | ACCOUNTING SERVICES - DEC 2025 | 2,676.53 | 112146 |
| Total For Dept 191.000 FINANCE DEPARTMENT | | | | 2,891.14 | |
| Dept 215.000 CITY CLERK DEPARTMENT | | | | | |
| 101-215.000-801.000 | COPIER LEASES - CITY | CURRENT OFFICE SOLUTIONS | COPIER LEASES - CITY | 229.42 | 112160 |
| Total For Dept 215.000 CITY CLERK DEPARTMENT | | | | 229.42 | |
| Dept 253.000 CITY TREASURER | | | | | |
| 101-253.000-801.000 | CREDIT CARD PROCESSING FEES - DE | INVOICE CLOUD, INC. | CREDIT CARD PROCESSING FEES - DECEMBER | 0.10 | 684 |
| 101-253.000-964.000 | BILLBACK 30-006-227-251-30 | HILLSDALE CO TREASURER | BILLBACK 30-006-227-251-30 | 27,856.03 | 112139 |
| 101-253.000-964.000 | BILL BACK 30-006-227-251-29 | HILLSDALE CO TREASURER | BILL BACK 30-006-227-251-29 | 21,153.66 | 112139 |
| 101-253.000-964.000 | BILL BACK 30-006-426-328-02 | HILLSDALE CO TREASURER | BILL BACK 30-006-426-328-02 | 21,947.31 | 112139 |
| Total For Dept 253.000 CITY TREASURER | | | | 70,957.10 | |
| Dept 257.000 ASSESSING DEPARTMENT | | | | | |
| 101-257.000-726.000 | SUPPLIES | ARROW SWIFT PRINTING | ENVELOPES - ASSESSING DEPT | 84.85 | 112150 |
| 101-257.000-726.000 | SUPPLIES | ARROW SWIFT PRINTING | ENVELOPES (2 CASES) ASSESSING DEPT | 324.75 | 112150 |
| 101-257.000-726.000 | SUPPLIES | CURRENT OFFICE SOLUTIONS | MAILING LABELS | 15.10 | 112160 |
| 101-257.000-734.000 | POSTAGE | CARD SERVICES CENTER | K. THOMAS CREDIT CARD | 177.94 | 1358 |
| 101-257.000-801.000 | COPIER LEASES - CITY | CURRENT OFFICE SOLUTIONS | COPIER LEASES - CITY | 180.42 | 112160 |
| 101-257.000-810.000 | MICH ASSESSORS ASSOC 2026 DUES | CARD SERVICES CENTER | K. THOMAS CREDIT CARD | 97.38 | 1358 |
| 101-257.000-956.000 | TRAINING & SEMINARS | HILLSDALE CO EQUALIZATION | BOARD OF REVIEW STATE MANDATED TRAINING | 75.00 | 112173 |
| Total For Dept 257.000 ASSESSING DEPARTMENT | | | | 955.44 | |
| Dept 265.000 BUILDING AND GROUNDS | | | | | |
| 101-265.000-726.000 | AIR FRESHENERS | CARD SERVICES CENTER | K, PRICE CREDIT CARD | 27.83 | 1358 |
| 101-265.000-801.000 | MATS - CITY HALL | CINTAS CORPORATION | MATS - CITY HALL | 27.63 | 112157 |
| 101-265.000-801.000 | MATS - CITY HALL | CINTAS CORPORATION | MATS - CITY HALL | 27.63 | 112157 |
| 101-265.000-801.000 | REPAIR FRONT INSIDE DOOR - CITY | G&G GLASS, INC | REPAIR FRONT INSIDE DOOR - CITY HALL | 300.00 | 112165 |
| 101-265.000-801.000 | QUARTERLY ELEVATOR MAINTENANCE 0 | SCHINDLER ELEVATOR CORPOR | QUARTERLY ELEVATOR MAINTENANCE 02/01/20 | 761.22 | 112189 |
| 101-265.000-850.000 | PHONE SERVICE FILES | BSB COMMUNICATIONS INC | PHONE SERVICE FILES | 59.00 | 112154 |
| 101-265.000-920.000 | 505119616 - 97 N BROAD - CITY HA | MICHIGAN GAS UTILITIES | NATURAL GAS UTILITY - 97 N BROAD ST | 1,275.58 | 1350 |
| 101-265.000-920.000-215060 | 505431439 - 22 N MANNING - MITCH | MICHIGAN GAS UTILITIES | NATURAL GAS UTILITY - 22 N MANNING | 647.12 | 1351 |
| Total For Dept 265.000 BUILDING AND GROUNDS | | | | 3,126.01 | |
| Dept 301.000 POLICE DEPARTMENT | | | | | |
| 101-301.000-726.000 | HON THREE DRAWER LATERAL FILE- P | AMAZON CAPITAL SERVICES, I | HON THREE DRAWER LATERAL FILE- POLICE I | 3,498.96 | 112132 |
| 101-301.000-726.000 | BANKERS BOXES FOR DISPATCH | AMAZON CAPITAL SERVICES, I | BANKERS BOXES FOR DISPATCH | 58.08 | 112148 |
| 101-301.000-726.000 | STEEL TARGET SET - EQUIPMENT REI | AVERY NEWELL | STEEL TARGET SET - EQUIPMENT REIMBURSE | 200.00 | 112151 |
| 101-301.000-726.000 | CLOUDRICK MEN'S BOOTS- EQUIPMENT | KIRSTEN, KYLE | CLOUDRICK MEN'S BOOTS- EQUIPMENT ALLOW | 200.00 | 112182 |
| 101-301.000-726.000 | POSTAGE | CARD SERVICES CENTER | S. HEPPNER CREDIT CARD | 37.50 | 1358 |
| 101-301.000-742.000 | EXPENSE ALLOWANCE FOR OFFICER D. | DUSTIN ZIMMERMAN | EXPENSE ALLOWANCE FOR OFFICER D. ZIMME | 200.00 | 112202 |
| 101-301.000-801.000 | COPIER LEASES - CITY | CURRENT OFFICE SOLUTIONS | COPIER LEASES - CITY | 47.90 | 112160 |
| 101-301.000-810.000 | TREE SPONSORSHIP - HILLSDALE LIG | HILLSDALE CO COMM FOUNDATI | TREE SPONSORSHIP - HILLSDALE LIGHT UP I | 35.00 | 112172 |
| 101-301.000-930.000 | OIL CHANGE AND TIRE ROTATION UNI | PARNEY'S CAR CARE, LLC | OIL CHANGE AND TIRE ROTATION UNIT 2-2 | 61.06 | 112184 |
| 101-301.000-930.000 | OIL CHANGE AND TIRE ROTATION UNI | PARNEY'S CAR CARE, LLC | OIL CHANGE AND TIRE ROTATION UNIT 2-7 | 74.44 | 112184 |
| 101-301.000-955.221 | PHYSICAL EXAM- JOSEPH SANDHAL | HENRY FORD OCCUPATIONAL HE | PHYSICAL EXAM- JOSEPH SANDHAL | 170.00 | 112171 |

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| GL Number | Invoice Line Desc | Vendor | Invoice Description | Amount | Check # |
|---|----------------------------------|--|---|-----------|---------|
| Fund 101 GENERAL FUND | | | | | |
| Dept 301.000 POLICE DEPARTMENT | | | | | |
| 101-301.000-956.005 | MCOLES 2025 ONLINE FIREARMS TRAI | WASHTENAW COMM COLLEGE | MCOLES 2025 ONLINE FIREARMS TRAINING | 575.00 | 112197 |
| Total For Dept 301.000 POLICE DEPARTMENT | | | | 5,157.94 | |
| Dept 336.000 FIRE DEPARTMENT | | | | | |
| 101-336.000-726.000 | SUPPLIES | CURRENT OFFICE SOLUTIONS | WEEKLY PLANNER FIRE DEPT 2026 | 31.99 | 112160 |
| 101-336.000-726.000 | FLAT BLACK VINYL FOR FIRE | PERFORMANCE AUTOMOTIVE | FLAT BLACK VINYL FOR FIRE | 15.49 | 112185 |
| 101-336.000-920.000 | 502806085 - 77 E CARLETON - FIRE | MICHIGAN GAS UTILITIES | NATURAL GAS UTILITY - 77 E CARLETON RD | 702.24 | 1348 |
| 101-336.000-930.000 | FIRE TRUCK- REBUILD HYDRAULIC CY | BLACK FORKLIFT SALES & SEF | FIRE TRUCK- REBUILD HYDRAULIC CYLINDER | 293.68 | 112152 |
| 101-336.000-930.000 | FIRE ENGINE 2006 REPAIR PARTS | WATSON DIESEL SERVICE COME | FIRE ENGINE 2006 REPAIR PARTS | 2,019.91 | 112199 |
| 101-336.000-956.000 | BASIC LIFE SUPPORT- FIRE DEPT - | BRAD VANDERLOOVEN | BASIC LIFE SUPPORT- FIRE DEPT - AMERICA | 650.00 | 112153 |
| Total For Dept 336.000 FIRE DEPARTMENT | | | | 3,713.31 | |
| Dept 441.000 PUBLIC SERVICES DEPARTMENT | | | | | |
| 101-441.000-801.000 | MATS, MOP | CINTAS CORPORATION | MATS, RAGS, FENDER SKIRT, MOP | 50.44 | 112157 |
| 101-441.000-801.000 | MATS, MOP | CINTAS CORPORATION | MATS, RAGS, FENDER SKIRT, MOP | 50.44 | 112157 |
| 101-441.000-801.000 | COPIER LEASES - CITY | CURRENT OFFICE SOLUTIONS | COPIER LEASES - CITY | 162.87 | 112160 |
| 101-441.000-956.000 | LUNCH TRAINING - ICE STORM SCENA | CARD SERVICES CENTER | J. BLAKE CREDIT CARD | 135.35 | 1358 |
| Total For Dept 441.000 PUBLIC SERVICES DEPARTMENT | | | | 399.10 | |
| Dept 595.000 AIRPORT | | | | | |
| 101-595.000-726.000 | SILICON SEALANT | CARD SERVICES CENTER | T. STEBELTON CREDIT CARD | 6.23 | 1358 |
| 101-595.000-801.000 | AIRPORT NITRITE WATER TEST | CITY OF JONESVILLE | NITRITE ANALYSIS - DECEMBER 2025 | 20.00 | 112158 |
| 101-595.000-920.000 | PROPANE - NEW TERMINAL | SPRATT'S TRADING POST INC | PROPANE - NEW TERMINAL | 742.52 | 112191 |
| 101-595.000-920.000 | PROPANE - OLD TERMINAL | SPRATT'S TRADING POST INC | PROPANE - OLD TERMINAL | 591.89 | 112191 |
| 101-595.000-930.000 | TRACTOR OIL, HANGING STRIPS | CARD SERVICES CENTER | T. STEBELTON CREDIT CARD | 77.51 | 1358 |
| Total For Dept 595.000 AIRPORT | | | | 1,438.15 | |
| Dept 701.000 PLANNING DEPARTMENT | | | | | |
| 101-701.000-726.000 | SUPPLIES | ARROW SWIFT PRINTING | ENVELOPES - ASSESSING DEPT | 88.15 | 112150 |
| 101-701.000-726.000 | SUPPLIES | ARROW SWIFT PRINTING | ENVELOPES (2 CASES) ASSESSING DEPT | 310.75 | 112150 |
| 101-701.000-726.000 | SUPPLIES | CURRENT OFFICE SOLUTIONS | MAILING LABELS | 15.10 | 112160 |
| 101-701.000-801.000 | COPIER LEASES - CITY | CURRENT OFFICE SOLUTIONS | COPIER LEASES - CITY | 180.41 | 112160 |
| 101-701.000-801.372 | CITATION CERTIFIED MAILING | CARD SERVICES CENTER | K. THOMAS CREDIT CARD | 20.96 | 1358 |
| 101-701.000-905.000 | PC & ZBA NOTICE POSTAGE | CARD SERVICES CENTER | K. THOMAS CREDIT CARD | 156.00 | 1358 |
| 101-701.000-956.000 | CITIZEN PLANNER TRAINING | CARD SERVICES CENTER | K. THOMAS CREDIT CARD | 250.00 | 1358 |
| Total For Dept 701.000 PLANNING DEPARTMENT | | | | 1,021.37 | |
| Dept 756.000 PARKS | | | | | |
| 101-756.000-801.000 | PARKS TREE TRIMMING AND REMOVALS | LONSBERRY, JEFFREY | TREE TRIMMING/REMOVAL STORM DAMAGES PAF | 2,950.00 | 112159 |
| Total For Dept 756.000 PARKS | | | | 2,950.00 | |
| Total For Fund 101 GENERAL FUND | | | | 94,841.55 | |
| Fund 202 MAJOR ST./TRUNKLINE FUND | | | | | |
| Dept 450.000 STREET SURFACE | | | | | |
| 202-450.000-801.588 | ENGINEERING SERVICES MAJOR STREE | THE MANNIK & SMITH GROUP, MANNIK & SMITH | ENGINEERING SERVICES 202 | 52.25 | 112195 |
| Total For Dept 450.000 STREET SURFACE | | | | 52.25 | |
| Total For Fund 202 MAJOR ST./TRUNKLINE FUND | | | | 52.25 | |
| Fund 203 LOCAL STREET FUND | | | | | |
| Dept 450.000 STREET SURFACE | | | | | |
| 203-450.000-801.588 | ENGINEERING SERVICES LOCAL STREE | THE MANNIK & SMITH GROUP, MANNIK & SMITH | ENGINEERING SERVICES 202 | 52.25 | 112195 |

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| Fund 203 LOCAL STREET FUND | | | | | |
| Dept 450.000 STREET SURFACE | | | | | |
| | | Total For Dept 450.000 STREET SURFACE | | 52.25 | |
| Dept 470.000 TREES | | | | | |
| 203-470.000-801.000 | CONTRACTUAL SERVICES | WICKHAM TREE SERVICE, LLC | EMERGENCY TREE REMOVAL - STORM DAMAGE 3 | 2,500.00 | 112200 |
| | | Total For Dept 470.000 TREES | | 2,500.00 | |
| | | Total For Fund 203 LOCAL STREET FUND | | 2,552.25 | |
| Fund 204 MUNICIPAL STREET FUND | | | | | |
| Dept 572.000 LEAF COLLECTION | | | | | |
| 204-572.000-801.000 | LEAF COLECTION 1/9/2026 12 LOADS | DRY MAR TRUCKING & DIRTWO | LEAF COLLECTION - 1/9/2026, 1/13/2026 | 877.50 | 112162 |
| | | Total For Dept 572.000 LEAF COLLECTION | | 877.50 | |
| | | Total For Fund 204 MUNICIPAL STREET FUND | | 877.50 | |
| Fund 247 TAX INCREMENT FINANCE ATH. | | | | | |
| Dept 900.000 CAPITAL OUTLAY | | | | | |
| 247-900.000-920.000 | 507035798 - 110 N BROAD - DAWN | MICHIGAN GAS UTILITIES | NATURAL GAS UTILITY - 110 N BROAD | 619.20 | 1354 |
| | | Total For Dept 900.000 CAPITAL OUTLAY | | 619.20 | |
| | | Total For Fund 247 TAX INCREMENT FINANCE ATH. | | 619.20 | |
| Fund 271 LIBRARY FUND | | | | | |
| Dept 790.000 LIBRARY | | | | | |
| 271-790.000-726.000 | HOT CHOCOLATE K CUPS | AMAZON CAPITAL SERVICES, 1 | HOT CHOCOLATE K CUPS | 12.80 | 112148 |
| 271-790.000-726.000 | TAPE | AMAZON CAPITAL SERVICES, 1 | BOOK & TAPE | 12.15 | 112148 |
| 271-790.000-726.000 | PAPER | CARD SERVICES CENTER | R. DOBSKI CREDIT CARD | 310.34 | 1358 |
| 271-790.000-734.000 | POSTAGE | CARD SERVICES CENTER | R. DOBSKI CREDIT CARD | 78.00 | 1358 |
| 271-790.000-801.000 | CONTRACTUAL SERVICES | WOODLANDS LIBRARY COOPERAT | SWANK MOVIE LICENSING | 389.00 | 112201 |
| 271-790.000-850.000 | PHONE SERVICE FILES | BSB COMMUNICATIONS INC | PHONE SERVICE FILES | 13.25 | 112154 |
| 271-790.000-880.000 | MAR/APR SIMPLY HERS | SIMPLY HERS MAGAZINE | MAR/APR SIMPLY HERS | 135.00 | 112190 |
| 271-790.000-920.000 | 503691550 - 12 N MANNING - LIBRA | MICHIGAN GAS UTILITIES | NATURAL GAS UTILITY - 12 N MANNING | 1,484.29 | 1353 |
| 271-790.000-982.000 | CREDIT MEMO FOR RETURN OF BAD DI | AMAZON CAPITAL SERVICES, 1 | CREDIT MEMO FOR RETURN OF BAD DIY BOOK | (23.89) | 112148 |
| 271-790.000-982.000 | BOOKS- JAN26 ADULT | AMAZON CAPITAL SERVICES, 1 | BOOKS- JAN26 ADULT | 15.52 | 112148 |
| 271-790.000-982.000 | WICKED/FOR GOOD MOVIES | AMAZON CAPITAL SERVICES, 1 | WICKED/FOR GOOD MOVIES | 59.98 | 112148 |
| 271-790.000-982.000 | BOOKS - JAN26 ADULT | AMAZON CAPITAL SERVICES, 1 | BOOKS - JAN26 ADULT | 146.63 | 112148 |
| 271-790.000-982.000 | BOOKS - KING SORROW | AMAZON CAPITAL SERVICES, 1 | BOOK & TAPE | 22.00 | 112148 |
| 271-790.000-982.000 | BOOKS - JAN25 ADULT | INGRAM LIBRARY SERVICES | BOOKS - JAN25 ADULT | 53.30 | 112179 |
| 271-790.000-982.000 | BOOKS | CARD SERVICES CENTER | R. DOBSKI CREDIT CARD | 20.08 | 1358 |
| 271-790.000-982.002 | REPLACEMENT BOOK "TRICERATOPPOSI | AMAZON CAPITAL SERVICES, 1 | REPLACEMENT BOOK "TRICERATOPPOSITE" | 17.72 | 112148 |
| 271-790.000-982.002 | BOOKS - LOST/DAMAGED | CARD SERVICES CENTER | R. DOBSKI CREDIT CARD | 18.86 | 1358 |
| | | Total For Dept 790.000 LIBRARY | | 2,765.03 | |
| Dept 792.000 LIBRARY - CHILDREN'S AREA | | | | | |
| 271-792.000-726.000 | HEART DOILLIES | CARD SERVICES CENTER | R. DOBSKI CREDIT CARD | 33.26 | 1358 |
| 271-792.000-982.000 | BOOKS - JAN26 CHI | AMAZON CAPITAL SERVICES, 1 | BOOKS - JAN26 CHI | 36.23 | 112148 |
| 271-792.000-982.000 | BOOKS | CARD SERVICES CENTER | R. DOBSKI CREDIT CARD | 34.93 | 1358 |
| | | Total For Dept 792.000 LIBRARY - CHILDREN'S AREA | | 104.42 | |
| | | Total For Fund 271 LIBRARY FUND | | 2,869.45 | |
| Fund 481 AIRPORT IMPROVEMENT FUND | | | | | |
| Dept 000.000 | | | | | |
| 481-000.000-263.000 | SALES TAX - DECEMBER 2025 | STATE OF MICHIGAN | SALES TAX - DECEMBER 2025 | 413.33 | 685 |

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| Fund 481 AIRPORT IMPROVEMENT FUND | | | | | |
| Dept 000.000 | | | | | |
| 481-000.000-687.300 | SALES TAX - DECEMBER 2025 | STATE OF MICHIGAN | SALES TAX - DECEMBER 2025 | (2.07) | 685 |
| Total For Dept 000.000 | | | | 411.26 | |
| Dept 175.000 ADMINISTRATIVE SERVICES | | | | | |
| 481-175.000-930.000 | BOLTS, FENCE POST - HANGAR REPAI | CARD SERVICES CENTER | T. STEBELTON CREDIT CARD | 95.98 | 1358 |
| Total For Dept 175.000 ADMINISTRATIVE SERVICES | | | | 95.98 | |
| Total For Fund 481 AIRPORT IMPROVEMENT FUND | | | | 507.24 | |
| Fund 582 ELECTRIC FUND | | | | | |
| Dept 000.000 | | | | | |
| 582-000.000-110.000 | CONDUIT - 2" CONTINUOUS RED | POWER LINE SUPPLY | CONDUIT RED STRIPE | 6,840.00 | 112144 |
| 582-000.000-110.000 | DA BOLT - 5/8 X 12" | POWER LINE SUPPLY | INVENTORY | 1,831.05 | 112186 |
| 582-000.000-110.000 | DA BOLT - 5/8 X 14" | POWER LINE SUPPLY | INVENTORY | 237.15 | 112186 |
| 582-000.000-110.000 | 6' FOLDING RULER INSIDE READ | POWER LINE SUPPLY | FOLDING RULERS | 105.00 | 112186 |
| 582-000.000-110.000 | LANYARD 6FT. | POWER LINE SUPPLY | SAFETY HARNESS/LANYARD | 244.00 | 112186 |
| 582-000.000-110.000 | AUGER BITS | POWER LINE SUPPLY | BITS | 155.00 | 112186 |
| 582-000.000-110.000 | FLAT WASHERS - 2 X 2 X 5/8" | POWER LINE SUPPLY | INVENTORY | 81.00 | 112186 |
| 582-000.000-110.000 | CONNECTOR - GROUND ROD | POWER LINE SUPPLY | INVENTORY | 138.60 | 112186 |
| 582-000.000-110.000 | 33+ SUPER BLACK TAPE | POWER LINE SUPPLY | BLACK TAPE | 782.62 | 112186 |
| 582-000.000-110.000 | BULB - 100 WATT HPS | POWER LINE SUPPLY | BULBS- BLVDS | 257.40 | 112186 |
| 582-000.000-110.000 | SOCKET - 4 TERMINAL 200 AMP URD | POWER LINE SUPPLY | METER SOCKETS | 2,770.40 | 112186 |
| 582-000.000-110.000 | SOCKET - 4 TERM 320 AMP URD | POWER LINE SUPPLY | METER SOCKETS 320 AMP | 1,398.75 | 112186 |
| 582-000.000-123.000 | FACILITY CHARGE/EMISSIONS FEE | STATE OF MICHIGAN EGLE | FACILITY CHARGE/EMISSIONS FEE | 5,409.00 | 112193 |
| 582-000.000-202.100 | 4ENBK1 | BRIM, TONI J | UB refund for account: 023405 | 54.00 | 112135 |
| 582-000.000-202.100 | 6ENBK1 | COUNTRY LIVING | UB refund for account: 035123 | 538.25 | 112136 |
| 582-000.000-202.100 | 4CCH | LASER, CASTYNE M | UB refund for account: 024964 | 64.00 | 112140 |
| 582-000.000-202.100 | 4CCH | LEWIS, CARL E | UB refund for account: 013399 | 58.94 | 112141 |
| 582-000.000-202.100 | 4CCH | MORRISON, EDWARD J | UB refund for account: 020349 | 52.00 | 112143 |
| 582-000.000-263.000 | SALES TAX - DECEMBER 2025 | STATE OF MICHIGAN | SALES TAX - DECEMBER 2025 | 42,555.75 | 685 |
| 582-000.000-264.000 | CITY SHARE OF AMP ASSETS | MICHIGAN SOUTH CENTRAL POW | MSCPA MEMBER POWER BILLING - DEC 2025 | 10,000.00 | 1345 |
| 582-000.000-692.001 | REFUND: PMT SENT IN ERROR B00731 | STATE OF MICHIGAN | REFUND: PMT SENT IN ERROR B007317450 | 453.95 | 112192 |
| 582-000.000-692.200 | SALES TAX - DECEMBER 2025 | STATE OF MICHIGAN | SALES TAX - DECEMBER 2025 | (269.53) | 685 |
| Total For Dept 000.000 | | | | 73,757.33 | |
| Dept 175.000 ADMINISTRATIVE SERVICES | | | | | |
| 582-175.000-726.000 | #9 ENVELOPE PRINTED 2 SIDES BLAC | ARROW SWIFT PRINTING | #9 ENVELOPE PRINTED 2 SIDES BLACK INK | 292.73 | 112134 |
| 582-175.000-726.000 | WINDOW ENVELOPES - NO LOGO/LOGO | ARROW SWIFT PRINTING | WINDOW ENVELOPES - NO LOGO/LOGO | 107.32 | 112150 |
| 582-175.000-726.000 | WATER 45 MONROE ST | RUPERT'S CULLIGAN | WATER 45 MONROE ST | 13.50 | 112188 |
| 582-175.000-726.000 | 5000 #10 WINDOW ENVELOPOES - CLA | STOCKHOUSE CORPORATION | 5000 #10 WINDOW ENVELOPOES - CLAMSHELL | 236.25 | 112194 |
| 582-175.000-801.000 | 2026 MEMBERSHIP DUES | MMEA | 2026 MEMBERSHIP DUES | 15,056.00 | 112142 |
| 582-175.000-801.000 | ACCOUNTING SERVICES - DEC 2025 | THE WOODHILL GROUP, LLC | ACCOUNTING SERVICES - DEC 2025 | 1,338.26 | 112146 |
| 582-175.000-801.000 | MATS - 45 MONROE ST | CINTAS CORPORATION | MATS - 45 MONROE ST | 2.50 | 112157 |
| 582-175.000-801.000 | 2026 DUES | MICHIGAN PUBLIC POWER AGEN | 2026 DUES | 1,220.00 | 1359 |
| 582-175.000-801.000 | CREDIT CARD PROCESSING FEES - DE | INVOICE CLOUD, INC. | CREDIT CARD PROCESSING FEES - DECEMBER | 280.86 | 684 |
| 582-175.000-802.000 | WATCHGUARD SECURY SUITE FIREBOX | SONIT SYSTEMS, LLC | WATCHGUARD SECURY SUITE FIREBOX M390 JF | 987.50 | 112145 |
| 582-175.000-802.000 | MISC CAT6 CABLES | AMAZON CAPITAL SERVICES, 1 | MISC CAT6 CABLES | 13.80 | 112148 |
| 582-175.000-802.000 | 1TB NVME HARD DRIVE | AMAZON CAPITAL SERVICES, 1 | 1TB NVME HARD DRIVE | 52.49 | 112148 |
| 582-175.000-802.000 | AA BATTERIES TACTACAM | AMAZON CAPITAL SERVICES, 1 | AA BATTERIES TACTACAM | 31.35 | 112148 |
| 582-175.000-802.000 | TRAIL CAMERA NOTIFICATION SUBSCR | CARD SERVICES CENTER | B. JANES CREDIT CARD | 10.00 | 1358 |
| 582-175.000-850.000 | PHONE SERVICE FILES | BSB COMMUNICATIONS INC | PHONE SERVICE FILES | 29.50 | 112154 |
| 582-175.000-906.000 | TREE SPONSORSHIP - HILLSDALE LIG | HILLSDALE CO COMM FOUNDAT1 | TREE SPONSORSHIP - HILLSDALE LIGHT UP F | 35.00 | 112172 |

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INVOICE GL DISTRIBUTION REPORT FOR CITY OF HILLSDALE
EXP CHECK RUN DATES 01/29/2026 - 01/29/2026
BOTH JOURNALIZED AND UNJOURNALIZED
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| GL Number | Invoice Line Desc | Vendor | Invoice Description | Amount | Check # |
|--|----------------------------------|----------------------------|---|------------|---------|
| Fund 582 ELECTRIC FUND | | | | | |
| Dept 175.000 ADMINISTRATIVE SERVICES | | | | | |
| Total For Dept 175.000 ADMINISTRATIVE SERVICES | | | | 19,707.06 | |
| Dept 544.000 OPERATIONS | | | | | |
| 582-544.000-726.000 | MC STR CONN/4 SQ BOX 1-1/2"D WIT | AMERICAN COPPER AND BRASS, | MC STR CONN/4 SQ BOX 1-1/2"D WITH | 94.43 | 112133 |
| 582-544.000-726.000 | TOILET BOLT SET/WAX BOWL GASKET | GELZER HJ & SON INC | TOILET BOLT SET/WAX BOWL GASKET | 10.98 | 112166 |
| 582-544.000-726.000 | TOILET FLANG REPAIR RING/WAS GAS | GELZER HJ & SON INC | TOILET FLANG REPAIR RING/WAS GASKET | 22.98 | 112166 |
| 582-544.000-726.000 | METER DISCONNECT SLEEVES | CARD SERVICES CENTER | B. JANES CREDIT CARD | 81.06 | 1358 |
| 582-544.000-726.008 | FIRST AID SUPPLIES | CINTAS CORPORATION | FIRST AID SUPPLIES | 45.20 | 112157 |
| 582-544.000-730.000 | CASE 75XT SKID LOADER FIND AND R | BLACK FORKLIFT SALES & SEF | CASE 75XT SKID LOADER FIND AND REPAIR F | 3,020.47 | 112152 |
| 582-544.000-730.000 | DIESEL EXHAUST FLUID | FAMILY FARM & HOME | DIESEL EXHAUST FLUID | 364.00 | 112163 |
| 582-544.000-730.000 | 4PK MOUSE GLUE TRAP | GELZER HJ & SON INC | 4PK MOUSE GLUE TRAP | 5.99 | 112166 |
| 582-544.000-730.000 | LUBRICANT | GELZER HJ & SON INC | LUBRICANT | 10.99 | 112166 |
| 582-544.000-730.000 | 5/16 MINI SCR CL | PERFORMANCE AUTOMOTIVE | 5/16 MINI SCR CL | 2.68 | 112185 |
| 582-544.000-730.000 | MOLDING TAPE/CLR MKR RED/SMART S | PERFORMANCE AUTOMOTIVE | MOLDING TAPE/CLR MKR RED/SMART STRAW | 49.40 | 112185 |
| 582-544.000-730.000 | PURCHASE AIS CONSTRUC EQUIP | POWERPLAN | PURCHASE AIS CONSTRUC EQUIP | 1,017.79 | 112187 |
| 582-544.000-739.000 | MSCPA MEMBER POWER BILLING - DEC | MICHIGAN SOUTH CENTRAL POW | MSCPA MEMBER POWER BILLING - DEC 2025 | 837,023.69 | 1345 |
| 582-544.000-740.300 | 504504154 - 201 WATERWORKS XX - | MICHIGAN GAS UTILITIES | NATURAL GAS UTILITY - 201 WATERWORKS X | 24.15 | 1355 |
| 582-544.000-740.400 | 504504154 - 201 WATERWORKS XX - | MICHIGAN GAS UTILITIES | NATURAL GAS UTILITY - 201 WATERWORKS X | 24.14 | 1355 |
| 582-544.000-801.000 | SPECIAL WASTE | WM CORPORATE SERVICES, INC | SPECIAL WASTE | 178.13 | 112198 |
| 582-544.000-920.000 | 504504154 - 201 WATERWORKS - PP | MICHIGAN GAS UTILITIES | NATURAL GAS UTILITY - 201 WATERWORKS | 3,377.12 | 1344 |
| 582-544.000-930.000 | SUPPLIES | AMERICAN COPPER AND BRASS, | SUPPLIES | 115.02 | 112133 |
| 582-544.000-930.000 | KEEP OFF ROOF SIGN | AMAZON CAPITAL SERVICES, I | KEEP OFF ROOF SIGN | 55.16 | 112148 |
| 582-544.000-930.000 | LIGHT BULBS | AMAZON CAPITAL SERVICES, I | LIGHT BULBS | 138.60 | 112148 |
| 582-544.000-930.000 | BREAKER/WIRE NUTS 50/PK | AMERICAN COPPER AND BRASS, | BREAKER/WIRE NUTS 50/PK | 48.75 | 112149 |
| 582-544.000-930.000 | 120V PHOTOCCELL | GELZER HJ & SON INC | 120V PHOTOCCELL | 21.49 | 112166 |
| 582-544.000-930.025 | GALV NIPPLE/GALV CAP | GELZER HJ & SON INC | GALV NIPPLE/GALV CAP | 13.28 | 112166 |
| 582-544.000-930.025 | FASTENERS & ANCHORS | GELZER HJ & SON INC | FASTENERS & ANCHORS | 24.74 | 112166 |
| 582-544.000-930.025 | 8OZ BLOW OFF DUSTER | GELZER HJ & SON INC | 8OZ BLOW OFF DUSTER | 19.98 | 112166 |
| Total For Dept 544.000 OPERATIONS | | | | 845,790.22 | |
| Dept 900.000 CAPITAL OUTLAY | | | | | |
| 582-900.000-970.000-171003 | SAFETY TAPE | AMAZON CAPITAL SERVICES, I | SAFETY TAPE | 46.99 | 112148 |
| 582-900.000-970.000-171003 | ADAPTERS | GELZER HJ & SON INC | ADAPTERS | 1.98 | 112166 |
| 582-900.000-970.000-215016 | CAPITAL OUTLAY - INDUST. SUB. CO | KENDALL ELECTRIC | SUPPLIES | 165.31 | 112181 |
| Total For Dept 900.000 CAPITAL OUTLAY | | | | 214.28 | |
| Total For Fund 582 ELECTRIC FUND | | | | 939,468.89 | |
| Fund 588 DIAL A RIDE | | | | | |
| Dept 596.000 DIAL-A-RIDE | | | | | |
| 588-596.000-726.000 | WATER - DIAL-A-RIDE | HEFFERNAN SOFT WATER SERV | WATER DELIVERY SERVICE | 17.76 | 112170 |
| 588-596.000-801.000 | TIE RODS, 02 SENSORS, PLUGS - #6 | HOEKSTRA TRANSPORTATION, I | TIE RODS, 02 SENSORS, PLUGS - #60 | 2,199.38 | 112176 |
| 588-596.000-920.000 | 507035798 - 981 DEVELOPMENT DR - | MICHIGAN GAS UTILITIES | NATURAL GAS UTILITY - 981 DEVELOPMENT I | 451.75 | 1357 |
| Total For Dept 596.000 DIAL-A-RIDE | | | | 2,668.89 | |
| Total For Fund 588 DIAL A RIDE | | | | 2,668.89 | |
| Fund 590 SEWER FUND | | | | | |
| Dept 000.000 | | | | | |
| 590-000.000-202.100 | SCCH | LEWIS, CARL E | UB refund for account: 013399 | 21.55 | 112141 |
| Total For Dept 000.000 | | | | 21.55 | |
| Dept 175.000 ADMINISTRATIVE SERVICES | | | | | |
| 590-175.000-726.000 | #9 ENVELOPE PRINTED 2 SIDES BLAC | ARROW SWIFT PRINTING | #9 ENVELOPE PRINTED 2 SIDES BLACK INK | 146.36 | 112134 |

INVOICE GL DISTRIBUTION REPORT FOR CITY OF HILLSDALE
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BOTH JOURNALIZED AND UNJOURNALIZED
PAID

| GL Number | Invoice Line Desc | Vendor | Invoice Description | Amount | Check # |
|--|----------------------------------|----------------------------|---|------------|---------|
| Fund 590 SEWER FUND | | | | | |
| Dept 175.000 ADMINISTRATIVE SERVICES | | | | | |
| 590-175.000-726.000 | WINDOW ENVELOPES - NO LOGO/LOGO | ARROW SWIFT PRINTING | WINDOW ENVELOPES - NO LOGO/LOGO | 53.65 | 112150 |
| 590-175.000-726.000 | WATER 45 MONROE ST | RUPERT'S CULLIGAN | WATER 45 MONROE ST | 6.75 | 112188 |
| 590-175.000-726.000 | 5000 #10 WINDOW ENVELOPOES - CLA | STOCKHOUSE CORPORATION | 5000 #10 WINDOW ENVELOPOES - CLAMSHELL | 118.13 | 112194 |
| 590-175.000-801.000 | ACCOUNTING SERVICES - DEC 2025 | THE WOODHILL GROUP, LLC | ACCOUNTING SERVICES - DEC 2025 | 669.13 | 112146 |
| 590-175.000-801.000 | MATS - 45 MONROE ST | CINTAS CORPORATION | MATS - 45 MONROE ST | 1.25 | 112157 |
| 590-175.000-801.000 | CREDIT CARD PROCESSING FEES - DE | INVOICE CLOUD, INC. | CREDIT CARD PROCESSING FEES - DECEMBER | 140.42 | 684 |
| 590-175.000-802.000 | WATCHGUARD SECURY SUITE FIREBOX | SONIT SYSTEMS, LLC | WATCHGUARD SECURY SUITE FIREBOX M390 JF | 493.75 | 112145 |
| 590-175.000-802.000 | MISC CAT6 CABLES | AMAZON CAPITAL SERVICES, I | MISC CAT6 CABLES | 6.90 | 112148 |
| 590-175.000-802.000 | 1TB NVME HARD DRIVE | AMAZON CAPITAL SERVICES, I | 1TB NVME HARD DRIVE | 26.24 | 112148 |
| 590-175.000-850.000 | PHONE SERVICE FILES | BSB COMMUNICATIONS INC | PHONE SERVICE FILES | 14.75 | 112154 |
| 590-175.000-955.000 | PREEMPLOYMENT DRUG TEST - DUANE | CE & A PROFESSIONAL SERVI | PREEMPLOYMENT DRUG TEST - DUANE WARD | 57.00 | 112155 |
| Total For Dept 175.000 ADMINISTRATIVE SERVICES | | | | 1,734.33 | |
| Dept 546.000 OPERATIONS | | | | | |
| 590-546.000-726.000 | CLEANING SUPPLIES | FAMILY FARM & HOME | CLEANING SUPPLIES | 13.98 | 112163 |
| 590-546.000-726.000 | 12 FT MANHOLE LADDER | GRAINGER INDUSTRIAL SUPPLY | 12 FT MANHOLE LADDER | 529.88 | 112168 |
| 590-546.000-726.000 | LIFT STATION DEGREASER | INDUSTRIAL CHEM LABS & SE | LIFT STATION DEGREASER | 570.23 | 112178 |
| 590-546.000-726.000 | NITRILE GLOVES | LOU'S GLOVES, INC | NITRILE GLOVES | 157.00 | 112183 |
| 590-546.000-726.008 | FIRST AID SUPPLIES | CINTAS CORPORATION | FIRST AID SUPPLIES | 22.60 | 112157 |
| 590-546.000-727.800 | DISTILLED LAB WATER - 101 W GALL | RUPERT'S CULLIGAN | DISTILLED LAB WATER - 101 W GALLOWAY | 21.00 | 112188 |
| 590-546.000-730.000 | OIL CHANGE - 2022 GMC SIERRA K25 | PARNEY'S CAR CARE, LLC | OIL CHANGE - 2022 GMC SIERRA K2500 HD | 95.25 | 112184 |
| 590-546.000-730.000 | PURCHASE AIS CONSTRUC EQUIP | POWERPLAN | PURCHASE AIS CONSTRUC EQUIP | 508.80 | 112187 |
| 590-546.000-742.000 | MUCK BOOTS AND GLOVES | FAMILY FARM & HOME | MUCK BOOTS AND GLOVES | 160.98 | 112163 |
| 590-546.000-801.000 | WET TESTING QUARTERLY | GLOBAL ENVIRONMENTAL CONSI | WET TESTING QUARTERLY | 820.00 | 112167 |
| 590-546.000-920.000 | 505161747 - 91 MARION | MICHIGAN GAS UTILITIES | NATURAL GAS UTILITY - 91 MARION ST | 51.59 | 1346 |
| 590-546.000-920.000 | 505161747 - 139 E SOUTH ST | MICHIGAN GAS UTILITIES | NATURAL GAS UTILITY - 139 E SOUTH ST | 48.29 | 1347 |
| 590-546.000-920.000 | 505161747 - 3879 W CARLETON RD | MICHIGAN GAS UTILITIES | NATURAL GAS UTILITY - 3879 W CARLETON F | 52.02 | 1349 |
| 590-546.000-920.000 | 505161747 - 1999 W HALLETT ST | MICHIGAN GAS UTILITIES | NATURAL GAS UTILITY - 1999 W HALLETT ST | 53.76 | 1352 |
| 590-546.000-930.000 | WELD ON BUCKET HOOKS | AMAZON CAPITAL SERVICES, I | WELD ON BUCKET HOOKS | 72.00 | 112148 |
| 590-546.000-930.000 | AERATOR DRIVE MOTOR | CEM SUPPLY, INC | AERATOR DRIVE MOTOR | 2,715.71 | 112156 |
| 590-546.000-930.000 | CREDIT: SALES TAX CHARGED ON PRI | CEM SUPPLY, INC | CREDIT: SALES TAX CHARGED ON PRIOR INVC | (153.72) | 112156 |
| 590-546.000-930.000 | CREDIT: SALES TAX CHARGED ON PRI | CEM SUPPLY, INC | CREDIT: SALES TAX CHARGED ON PRIOR INVC | (153.72) | 112156 |
| 590-546.000-930.000 | PLUMBING SUPPLIES | GELZER HJ & SON INC | PLUMBING SUPPLIES | 8.37 | 112166 |
| Total For Dept 546.000 OPERATIONS | | | | 5,594.02 | |
| Dept 900.000 CAPITAL OUTLAY | | | | | |
| 590-900.000-970.000-215079 | WWTP FERROUS CHLORIDE STORAGE RO | FOULKE CONSTRUCTION | WWTP FERROUS CHLORIDE STORAGE ROOM REVC | 53,600.00 | 112137 |
| 590-900.000-970.000-215079 | WWTP FERROUS CHLORIDE STORAGE RO | FOULKE CONSTRUCTION | WWTP FERROUS CHLORIDE STORAGE ROOM REVC | 67,000.00 | 112137 |
| 590-900.000-970.000-215079 | ELECTRICAL REMOVAL AND INSTALATI | HEATH ELECTRICAL LLC | ELECTRICAL REMOVAL AND INSTALATION IN T | 3,966.44 | 112138 |
| Total For Dept 900.000 CAPITAL OUTLAY | | | | 124,566.44 | |
| Total For Fund 590 SEWER FUND | | | | 131,916.34 | |
| Fund 591 WATER FUND | | | | | |
| Dept 000.000 | | | | | |
| 591-000.000-202.100 | WCCH | LEWIS, CARL E | UB refund for account: 013399 | 20.91 | 112141 |
| Total For Dept 000.000 | | | | 20.91 | |
| Dept 175.000 ADMINISTRATIVE SERVICES | | | | | |
| 591-175.000-726.000 | #9 ENVELOPE PRINTED 2 SIDES BLAC | ARROW SWIFT PRINTING | #9 ENVELOPE PRINTED 2 SIDES BLACK INK | 146.36 | 112134 |
| 591-175.000-726.000 | WINDOW ENVELOPES - NO LOGO/LOGO | ARROW SWIFT PRINTING | WINDOW ENVELOPES - NO LOGO/LOGO | 53.65 | 112150 |
| 591-175.000-726.000 | WATER 45 MONROE ST | RUPERT'S CULLIGAN | WATER 45 MONROE ST | 6.75 | 112188 |
| 591-175.000-726.000 | 5000 #10 WINDOW ENVELOPOES - CLA | STOCKHOUSE CORPORATION | 5000 #10 WINDOW ENVELOPOES - CLAMSHELL | 118.12 | 112194 |

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BOTH JOURNALIZED AND UNJOURNALIZED
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| GL Number | Invoice Line Desc | Vendor | Invoice Description | Amount | Check # |
|---|----------------------------------|----------------------------|---|-----------|---------|
| Fund 591 WATER FUND | | | | | |
| Dept 175.000 ADMINISTRATIVE SERVICES | | | | | |
| 591-175.000-801.000 | ACCOUNTING SERVICES - DEC 2025 | THE WOODHILL GROUP, LLC | ACCOUNTING SERVICES - DEC 2025 | 669.13 | 112146 |
| 591-175.000-801.000 | MATS - 45 MONROE ST | CINTAS CORPORATION | MATS - 45 MONROE ST | 1.25 | 112157 |
| 591-175.000-801.000 | CREDIT CARD PROCESSING FEES - DE | INVOICE CLOUD, INC. | CREDIT CARD PROCESSING FEES - DECEMBER | 140.42 | 684 |
| 591-175.000-802.000 | WATCHGUARD SECURY SUITE FIREBOX | SONIT SYSTEMS, LLC | WATCHGUARD SECURY SUITE FIREBOX M390 JF | 493.75 | 112145 |
| 591-175.000-802.000 | MISC CAT6 CABLES | AMAZON CAPITAL SERVICES, I | MISC CAT6 CABLES | 6.90 | 112148 |
| 591-175.000-802.000 | 1TB NVME HARD DRIVE | AMAZON CAPITAL SERVICES, I | 1TB NVME HARD DRIVE | 26.24 | 112148 |
| 591-175.000-850.000 | PHONE SERVICE FILES | BSB COMMUNICATIONS INC | PHONE SERVICE FILES | 14.75 | 112154 |
| Total For Dept 175.000 ADMINISTRATIVE SERVICES | | | | 1,677.32 | |
| Dept 543.000 OPERATIONS | | | | | |
| 591-543.000-726.000 | HINGES | AMAZON CAPITAL SERVICES, I | HINGES | 19.46 | 112148 |
| 591-543.000-726.000 | ZIP TES | GELZER HJ & SON INC | ZIP TES | 26.98 | 112166 |
| 591-543.000-726.000 | POSTAGE - COLILERT CERTIFICATION | HILLSDALE MARKET HOUSE, I | POSTAGE - COLILERT CERTIFICATION | 20.52 | 112174 |
| 591-543.000-726.000 | COLILERT | IDEXX LABORATORIES | COLILERT | 1,704.70 | 112177 |
| 591-543.000-726.000 | SCREWS AND PLYWOOD | JONESVILLE LUMBER | SCREWS AND PLYWOOD | 157.39 | 112180 |
| 591-543.000-726.008 | FIRST AID SUPPLIES | CINTAS CORPORATION | FIRST AID SUPPLIES | 22.60 | 112157 |
| 591-543.000-727.800 | SODIUM HYPOCHLORITE | UNIVAR SOLUTIONS USA INC | SODIUM HYPOCHLORITE | 4,134.88 | 112147 |
| 591-543.000-730.000 | OIL CHANGE - 2022 GMC SIERRA K25 | PARNEY'S CAR CARE, LLC | OIL CHANGE - 2022 GMC SIERRA K2500 HD | 95.24 | 112184 |
| 591-543.000-730.000 | WIPERS | PERFORMANCE AUTOMOTIVE | WIPERS | 37.38 | 112185 |
| 591-543.000-730.000 | PURCHASE AIS CONSTRUC EQUIP | POWERPLAN | PURCHASE AIS CONSTRUC EQUIP | 508.80 | 112187 |
| 591-543.000-742.000 | WINTER RAIN GEAR | USABLUEBOOK | WINTER RAIN GEAR | 83.25 | 112196 |
| 591-543.000-801.000 | VEHICLE REMOVAL FROM A HOLE AT A | HILLSDALE TOWING | VEHICLE REMOVAL FROM A HOLE AT A MAIN E | 125.00 | 112175 |
| 591-543.000-930.000 | PEASTONE - BPU | DRY MAR TRUCKING & DIRTWOF | LIMESTONE 23A/PEASTONE (BPU) | 500.25 | 112162 |
| 591-543.000-930.000 | DRILL BIT AND ANCHORS | GELZER HJ & SON INC | DRILL BIT AND ANCHORS | 59.98 | 112166 |
| 591-543.000-930.000 | WALCHEM PUMP PARTS | USABLUEBOOK | WALCHEM PUMP PARTS | 1,016.11 | 112196 |
| Total For Dept 543.000 OPERATIONS | | | | 8,512.54 | |
| Total For Fund 591 WATER FUND | | | | 10,210.77 | |
| Fund 633 PUBLIC SERVICES INV. FUND | | | | | |
| Dept 000.000 | | | | | |
| 633-000.000-101.000 | SALT (TONS) | DETROIT SALT COMPANY, LLC | 49.13T SALT - SO26-18532 | 3,230.79 | 112161 |
| 633-000.000-101.000 | SALT (TONS) | DETROIT SALT COMPANY, LLC | 49.13T SALT SO26-18532 REMAINDER OF ORI | 3,230.79 | 112161 |
| 633-000.000-101.000 | GRAVEL23 A | DRY MAR TRUCKING & DIRTWOF | LIMESTONE 23A/PEASTONE (BPU) | 497.84 | 112162 |
| Total For Dept 000.000 | | | | 6,959.42 | |
| Total For Fund 633 PUBLIC SERVICES INV. FUND | | | | 6,959.42 | |
| Fund 640 REVOLVING MOBILE EQUIP. FUND | | | | | |
| Dept 443.000 MOBILE EQUIPMENT MAINTENANCE | | | | | |
| 640-443.000-726.000 | RAGS, FENDER SKIRT - SHOP | CINTAS CORPORATION | MATS, RAGS, FENDER SKIRT, MOP | 9.54 | 112157 |
| 640-443.000-726.000 | RAGS, FENDER SKIRT | CINTAS CORPORATION | MATS, RAGS, FENDER SKIRT, MOP | 9.54 | 112157 |
| 640-443.000-730.000 | BEARINGS #52.4 | GREENMARK EQUIPMENT | BEARINGS #52.4 | 195.32 | 112169 |
| 640-443.000-801.000 | WATERPUMP, FENDER BRACKETS - #41 | FLINT TRUCK SERVICE INC. | WATERPUMP, FENDER BRACKETS - #41 | 822.20 | 112164 |
| 640-443.000-920.000 | 505153845 - 149 WATERWORKS - RME | MICHIGAN GAS UTILITIES | NATURAL GAS UTILITY - 149 WATERWORKS | 1,236.14 | 1356 |
| Total For Dept 443.000 MOBILE EQUIPMENT MAINTENANCE | | | | 2,272.74 | |
| Total For Fund 640 REVOLVING MOBILE EQUIP. FUND | | | | 2,272.74 | |

| GL Number | Invoice Line Desc | Vendor | Invoice Description | Amount | Check # |
|----------------------|-------------------|--------|--------------------------|--------------|---------|
| Fund Totals: | | | | | |
| | | | Fund 101 GENERAL FUND | 94,841.55 | |
| | | | Fund 202 MAJOR ST./TRUNK | 52.25 | |
| | | | Fund 203 LOCAL STREET F | 2,552.25 | |
| | | | Fund 204 MUNICIPAL STREI | 877.50 | |
| | | | Fund 247 TAX INCREMENT I | 619.20 | |
| | | | Fund 271 LIBRARY FUND | 2,869.45 | |
| | | | Fund 481 AIRPORT IMPROVI | 507.24 | |
| | | | Fund 582 ELECTRIC FUND | 939,468.89 | |
| | | | Fund 588 DIAL A RIDE | 2,668.89 | |
| | | | Fund 590 SEWER FUND | 131,916.34 | |
| | | | Fund 591 WATER FUND | 10,210.77 | |
| | | | Fund 633 PUBLIC SERVICES | 6,959.42 | |
| | | | Fund 640 REVOLVING MOBIL | 2,272.74 | |
| Total For All Funds: | | | | 1,195,816.49 | |

CITY COUNCIL MINUTES

City of Hillsdale
February 2, 2026
7:00 P.M.

Regular Meeting

Call to Order and Pledge of Allegiance

Mayor Scott Sessions opened the meeting with the Pledge of Allegiance.

Roll Call

Mayor Sessions called the meeting to order. Clerk Price took roll call.

| | |
|--------------------------|---|
| Council Members present: | Scott Sessions, Mayor R Greg Stuchell, Ward 1 Jacob Bruns, Ward 1 William Morrissey, Ward 2 Matthew Bentley, Ward 2 Gary Wolfram, Ward 3 Bob Flynn, Ward 3 Robert Socha, Ward 4 Joshua Paladino, Ward 4 |
|--------------------------|---|

| | |
|-------------------------|------|
| Council Members absent: | None |
|-------------------------|------|

Also Present: David Mackie (City Manager), Sam Fry (Assistant City Manager), Katy Price (City Clerk), Tom Thompson (City Attorney), Jason Blake (DPS Director), Jill Hardway, Abe Dane, Russell Picek, Lance Lashaway, Doug Ingles.

Approval of Agenda

Motion by Councilman Morrissey, support by Councilman Flynn, to approve the agenda as presented.

All ayes. Motion carried.

Public Comment Received From:

Jill Hardway- Ward 2, Lance Lashaway, Jake McLain

Consent Agenda

- A. Approval of Bills
 - 1. City and BPU Claims of January 15, 2026: \$181,165.92
 - 2. Payroll of January 15, 2026: \$218,771.42
- B. City Council Minutes of January 20, 2026
- C. Finance Minutes of January 20, 2026
- D. Community Development Minutes of January 21, 2026
- E. Finance Reports for the Quarter Ending December 31, 2025
- F. Investment Report as of December 31, 2025
- G. Public Safety Committee Minutes of January 29, 2026

Motion by Councilman Morrissey, support by Councilman Socha, to approve the consent agenda as presented.

Roll Call:

| | |
|----------------------|-----|
| Councilman Bruns | Aye |
| Councilman Flynn | Aye |
| Councilman Morrissey | Aye |
| Councilman Paladino | Aye |
| Councilman Socha | Aye |
| Councilman Stuchell | Aye |
| Councilman Wolfram | Aye |

| | |
|--------------------|-----|
| Mayor Sessions | Aye |
| Councilman Bentley | Aye |

Motion passed 9-0

Communication/Petitions

- A. 2025 Year End Code Enforcement and Zoning Report
- B. Tim Green Email
- C. Eric Moore Email
- D. Hillsdale County Commissioner Update – Doug Ingles

County Commissioner Ingles gave an update on the County.

Items for information purposes only.

Introduction and Adoption of Ordinances/Public Hearings

None

Old Business

None

New Business

- A. Q2 Budget Amendments

Motion by Council Member Socha, seconded by Council Member Stuchell to approve the Budget amendments as presented. **Resolution # 3668.**

Roll Call:

| | |
|---------------------|-----|
| Councilman Flynn | Aye |
| Councilman Morrisey | Aye |
| Councilman Paladino | Aye |
| Councilman Socha | Aye |
| Councilman Stuchell | Aye |
| Councilman Wolfram | Aye |
| Mayor Sessions | Aye |
| Councilman Bentley | Aye |
| Councilman Bruns | Aye |

Motion passed 9-0

- B. Joint Early Voting Site Agreement

Clerk Price briefly reviewed the Joint Early Voting Site agreement with Council and answered questions on costs and attendance. All 22 municipalities share in the cost of the state and federal elections with the joint agreement which reduces costs and alleviates any staffing shortages. County Clerk Dane answered the few County questions that had been asked.

Councilman Bruns stated he thought municipalities should conduct their own elections individually.

Motion by Council Member Flynn, seconded by Council Member Socha to approve the Joint Early Voting Site Agreement ending December 31, 2027 with Hillsdale County as presented.

Roll Call:

| | |
|---------------------|-----|
| Councilman Morrisey | Aye |
| Councilman Paladino | Nay |
| Councilman Socha | Aye |
| Councilman Stuchell | Aye |
| Councilman Wolfram | Aye |

| | |
|--------------------|-----|
| Mayor Sessions | Aye |
| Councilman Bentley | Aye |
| Councilman Bruns | Nay |
| Councilman Flynn | Aye |

Motion passed 7-2

C. Appointment of Kristopher Joswiak as Police and Fire Chief

Kristopher Joswiak introduced himself and shared his history in law enforcement and experience with in the fire department. Council asked Mr. Joswiak questions pertaining to the job.

City Manager Mackie explained the interviewing process and Mayor recommended Mr. Joswiak to the Public Safety Committee.

City Manager Mackie stated that Chief Hephner will be leaving the city on February 17, 2026.

Lengthy Council discussed on the hiring process and mayor's appointment.

Motion by Council Member Paladino, seconded by Council Member Bentley to table the nomination of Police and Fire Chief.

Roll Call:

| | |
|----------------------|-----|
| Councilman Paladino | Aye |
| Councilman Socha | Nay |
| Councilman Stuchell | Nay |
| Councilman Wolfram | Nay |
| Mayor Sessions | Nay |
| Councilman Bentley | Aye |
| Councilman Bruns | Aye |
| Councilman Flynn | Nay |
| Councilman Morrissey | Nay |

Motion failed 3-6

Motion by Council Member Flynn, seconded by Council Member Stuchell to approve the Police and Fire Chief appointment of Kristopher Joswiak.

Roll Call:

| | |
|----------------------|-----|
| Councilman Paladino | Aye |
| Councilman Socha | Aye |
| Councilman Stuchell | Aye |
| Councilman Wolfram | Aye |
| Mayor Sessions | Aye |
| Councilman Bentley | Nay |
| Councilman Bruns | Aye |
| Councilman Flynn | Aye |
| Councilman Morrissey | Aye |

Motion passed 8-1

Miscellaneous Reports

- A. Proclamations – None
- B. Appointment- None
- C. Other – Moment of Silence – Eric Pressler

Council held a moment of silence for Eric Pressler. Memorial Service will be held on February 22, 2026 from 2:00 p.m. – 5:00 p.m. at Van Horn Eagle Funeral Home in Hillsdale, MI.

General Public Comment Received From:

Jill Hardway, Lance Lashaway, Jack McLain, Russell Picek, Jason Blake, Robert Eichler.

Jill Hardway submitted a special assessment district petition packet to Council.

City Manager Report

Manager Mackie reported Marshalls Store to open in March 2026, 2025 winter taxes are due February 17, 2026, and mentioned an election will be held this year for the Mayor and four (4) Council seats.

Council Comment

Councilman Bentley spoke on special assessment district and petitions. Discussion on committee meetings, attendance of council and the Open Meetings Act.

Adjournment

Motion by Councilman Flynn, seconded by Councilman Stuchell to adjourn the meeting.

The meeting Adjourned at 9:23 p.m.

Scott M. Sessions, Mayor

Katy Price, City Clerk

View meeting online: [City Council Meeting February 2nd, 2026](#) (YouTube Channel)

CITY OF HILLSDALE FINANCE COMMITTEE

Place: City Hall Second Floor Conference Room

Date: February 2, 2026

Time: 6:30 PM

PRESENT:

COMMITTEE: Will Morrissey, Gary Wolfram, Matt Bentley, Jacob Bruns

STAFF: Jason Blake (Director of Public Services), David Mackie (City Manager)

PUBLIC: None

BOARD OF PUBLIC UTILITIES AND CITY OF HILLSDALE ACCOUNTS PAYABLE

INVOICE GL DISTRIBUTION REPORT FOR CITY OF HILLSDALE

Questions asked on Invoice Distribution Report by Finance Committee:

Fund 101

Department 175: Software for security system for city's IT system

Department 253: Amount billed back from County on property taxes paid to City

Department 336: Instructor for Life Support Training for Fire Department

Fund 590

Department 900: Renovation for ferrous chloride storage room

Fund 591

Department 543: Chemical for water treatment

Motioned by Bentley and seconded by Wolfram to approve

Motioned passed 4-0

Motioned by Bentley and seconded by Wolfram to adjourn

Motion passed 4-0

Adjournment 6:41 PM

Minutes prepared by Gary Wolfram

City of Hillsdale

Agenda Item Summary

Meeting Date: February 16 2026

Agenda Item: Consent Agenda

SUBJECT: Holiday Decorations

BACKGROUND PROVIDED BY: Kelly LoPresto, BPU Office Manager

Hillsdale Board of Public Utilities is in charge of most of the holiday decorations throughout the City and many need replaced. The BPU staff continue to seek ways to keep cost down by replacing bulbs. In the last couple of years staff have had Southern MI Motors body shop redo some of the decorations. Staff would like to have Bronner's refurbish thirty-eight boulevard toppers for through the City. The price reflects frames to be powder coated, sealed, and rewired with commercial grade LED lamps to arrive looking showroom new! The cost is \$12,971 plus shipping \$1,300-\$1,500 each way as they are shipped to North Carolina.

RECOMMENDATION:

Hillsdale BPU Board recommends City Council approve refurbishing holiday decorations in the amount of \$12,971 plus shipping estimated \$1,300-\$1,500 each way.

City of Hillsdale

Agenda Item Summary

MEETING DATE: February 16, 2026

AGENDA ITEM #: Consent Agenda

SUBJECT: Service Van Replacement

BACKGROUND PROVIDED BY STAFF: Craig Wickham / Mark Becker Water and Wastewater

Project Background:

Staff is looking to replace the Water and Sewer service van utilizing the City's existing relationship with Enterprise Fleet Management. Our current van is an E350 1-ton capacity that we purchased used in 2020 with 97,000 miles. We currently have 114,000 miles on this vehicle. The current service van is developing multiple issues that will require extensive repairs in the near future. Also, we are limited on the number of tools that can be hauled or stored on the current 1-ton drive train due to overloading issues.

Staff has obtained a quote for (1) E450 service van with an enclosed service body from Enterprise to replace the current service van.

The E450 will allow us an increased towing and payload capacity to haul and store required tools and equipment.

The lease agreement vs purchasing outright is as follows.

Cost: (Sourcewell Pricing co-op pricing)

Lease Agreement:

60 month lease - \$1,184.53 (monthly) - \$14,216.36 (annually)

\$17,750.00 - down payment

\$800.00 – delivery and administration fees

\$89,621.80 – total lease cost.

Vs

Purchase Outright:

\$115,372.00 from other vendors without co-op Sourcewell Pricing.

RECOMMENDATION:

BPU Board recommends to the City Council approval of a lease agreement with Enterprise for (1) E450 Service Van.

Account Manager: Betsy Terwelp
bterwelp33@knapheide.com
(217) 592-5022

Quote Prepared By: Leena Terwelp
lterwelp67@knapheide.com
(217) 592-5391

Customer Information:

Customer: Enterprise Fleet Management
Customer Number: 8847

End Customer: Commercial Fleet
Contact: Randy R Vincent
Email: randy.r.vincent@efleets.com

City Of Hillsdale
118918

Quote Information:

Quote Date: 09/05/2025

Quote Expiration: 10/05/2025

Quoted Qty: 1

Quote Terms: NET 30 DAYS
(Subject to Credit Approval)

Vehicle Information:

Year: 2026
Axle: Dual Rear Wheel
Engine: A 7.3-G

Make: Ford
CA: 100 Inches
Fuel Type: Gas

Model: E4F-E450-3
Wheel Base: 158 inches
Transmission: Automatic

Cab: Cutaway
GVWR: 14,500
2/4 WD: 2 Wheel Drive

Delivery Information:

Total Price Includes F.O.B.: Quincy, IL

Installer: Knapheide Truck Pool - N
2224 N 5th St
Quincy, IL
2227131

Ship Via: Pool Dlvry

Base Quote Information:

| Qty | Item Description | Notes/Specifications |
|-----|-------------------|--|
| 1 | KUV153DL Low Roof | <p>KUV Body Includes:</p> <ul style="list-style-type: none"> -Automotive Style Rivetless Rotary Latches -Automotive Door Seals -Weight Reduced Galvanneal Corrugated Steel Floor -Standard Shelving Package -ABS Cab Partition with Sliding Door and Window -Rear Access Door, Both Rear End Panels -Underlap Rear Door Inside Release Handle -Galva-Grip Bumper with Step Well and Knapliner -Masterlocking System -LED Surface Mount Lights with Rear Strobe Lights Activated -Aluminum Fuel Fill -Solid Rear Doors -Grab Handle Located at Right Rear -Two Dome Lights Switched at Rear -Factory Supplied Backup Camera Installed -K-Coat Corrosion Protection with Knapheide's Exclusive 12-Stage Electro-Coating Prime Paint System -Body Fully Undercoated -Finish Painted White (Single Stage Enamel) Exterior, Cargo Area, and Compartment Interiors <p>OVERALL LENGTH: ----- 153-1/4" OVERALL HEIGHT: ----- 78" OVERALL WIDTH: ----- 94" FLOOR WIDTH: ----- 65" SIDE COMPARTMENT HEIGHT: ---- 43" SIDE COMPARTMENT DEPTH: ---- 14-1/2" FLOOR HEIGHT: ----- 30-7/8" ROOF SIDE HEIGHT: ----- 35" STREETSIDE COMPARTMENTATION: 1V = 34-1/4" in length x 43" high 2V = 20" in length x 43" high 3V = 21" in length x 43" high H = 52-3/4" in length x 18-1/2" high 4V = 25-1/4" in length x 43" high CURBSIDE COMPARTMENTATION:</p> <p>1V = 34-1/4" in length x 43" high 2V = 20" in length x 43" high 3V = 21" in length x 43" high H = 52-3/4" in length x 18-1/2" high 4V = 25-1/4" in length x 43" high STANDARD SHELIVING: Includes (2) adjustable divider shelves each front vertical compartment, (1) adjustable divider shelf each rear vertical compartment, (1) bolt-in divider shelf for curbside horizontal compartment and (20) shelf dividers. (2) Fixed shelves per side provided within the interior of tapered upper roof section. WARRANTY: Standard Knapheide Limited Warranty</p> |

(CONTINUED)

| | | |
|---|------------------------|---|
| 1 | 7-Way Trailer Plug | |
| 1 | LED Compartment Lights | Installed in Each Compartment Wired Ignition Hot to Switch in Cab |
| 1 | Class V Receiver Hitch | with 2.5" Receiver Tube *Rated at 12,000lb Maximum Trailer Weight and 2,400lb Maximum Tongue Weight **Do not exceed the towing capacity specified by the chassis manufacturer if it is less than the above stated capacity** |
| 1 | Mechanics Vise Bracket | Installed on Curbside of Rear Bumper |
| 1 | 1500 Watt Inverter | Samlex PST-1500-12 |
| 1 | AE 7 Drawer Unit | 4-3" High Drawers 2-5" High Drawers 1-7" High Drawer (4) dividers per drawer 250lb Capacity per Drawer Installed in Street Side Front Vertical Compartment |
| 1 | AE 7 Drawer Unit | 4-3" High Drawers 2-5" High Drawers 1-7" High Drawer (4) dividers per drawer 250lb Capacity per Drawer Installed in Curbside Front Vertical Compartment |
| 1 | (6) Cargo Tiedowns | *2000lb Rating on Each Tie Down |
| 1 | 3 Bow Ladder Rack | |
| 1 | Delivery | From: Quincy, IL To: Dorrance Ford In Galesburg, MI Price Per 1 Unit |

| | |
|-------------------------|-----------------|
| Total | \$34,153 |
| Freight | \$1,289 |
| Total Sell Price | \$35,442 |

TERMS AND CONDITIONS

Lead time Available by request at time of order placement. Installation Lead time dependent upon chassis arrival.

Seller must be in possession of the vehicle within 90 days of quote acceptance or the order can be subject to price adjustments due to cost increases for materials, labor, and shop supplies.

Quoted price subject to the following:

1. Quoted price reflects the latest price in U.S. Dollars. Quoted prices are only guaranteed for orders placed as of the date specified on the Quote unless otherwise stated herein.
2. Quoted price is F.O.B. Quincy Factory or F.O.B. Installation Point, as appropriate.
3. Any order placed pursuant to this quote shall be subject to these Terms and Conditions contained herein. These Conditions shall apply to the exclusion of all terms or conditions of purchase or other conflicting terms or conditions which may be issued, provided or referred to by Customer, except insofar as any variation is expressly accepted in writing by an Authorized Knapheide Representatives written signature. Pricing quoted applies to chassis make/model originally provided and quantity quoted. Any deviation from make/model or quantity will result in price changes. In addition, unforeseeable additional costs may be incurred in the process of fulfilling orders placed pursuant to the Quote and Knapheide reserves the right to adjust costs accordingly, including but not limited to reprogramming fees, etc. Orders are subject to all applicable state, local and federal excise taxes. Applicable taxes will be applied on final billing to customer upon completion of order.

Cancellation Policy:

All cancellation requests must be made in writing. Upon request for cancellation, any costs incurred by Knapheide during the fulfillment of Orders placed pursuant to this Quote shall be paid at 100%. Payments for cancellation are due in full at time of cancellation and/or upon cancellation of installation.

Warranty:

Standard Knapheide Limited Warranty applies to all product manufactured by Knapheide. Products sold by Knapheide but not manufactured by Knapheide are covered exclusively by the product manufacturers warranty in effect at the time of delivery, if any.

Knapheide thanks you for the opportunity to quote.

City of Hillsdale - BPU Menu Pricing

Equity Lease Menu Pricing

| Vehicle Type | Year | Make | Model | Trim Level | Quantity | Term | Estimated Annual Mileage | Monthly Cost (Lease Payment) | Money Down Per Unit | Full Maintenance | Annual Cost | Annual Cost by Quantity | Quote Number | Vehicle Cash Price (No Maintenance) |
|------------------|----------------|------|-------|--|----------|------|--------------------------|------------------------------|---------------------|------------------|-------------|-------------------------|--------------|-------------------------------------|
| 1 Ton Pickup | 2026 | Ford | F-450 | Chassis cab NUV, 335.5K | 1 | 60 | 10,000 | \$1,416.55 | \$117,720.00 | \$7,453 | \$55,463.72 | \$11,160.72 | 9278581 | \$19,230 |
| 1/2 Ton Pickup | Estimated 2026 | Ford | F-150 | XL SuperCab 6.5FT Box w/ 800lbs - \$15K AME | 2 | 60 | 10,000 | \$872.78 | \$0.00 | \$58.35 | \$11,149.56 | \$22,298.12 | 9278711 | \$95,248 |
| 3/4 Ton Pickup | 2026 | Ford | F-250 | XL Regular Cab with 8' Box Blade w/ 800lbs - \$11K AME | 1 | 60 | 5,000 | \$1,062.10 | \$5,500.00 | \$46.75 | \$12,574.20 | \$12,574.20 | 9278770 | \$60,443 |
| 1/2 Ton Pickup | Estimated 2026 | Ford | F-150 | XL SuperCab 6.5FT Box with Exterior Diesel Tank - \$3K AME | 1 | 60 | 5,000 | \$909.48 | \$0.00 | \$42.11 | \$11,419.08 | \$11,419.08 | 9278758 | \$50,124 |
| Total Cash Price | | | | | | | | | | | | | | \$206,745 |

| | |
|--|-------------|
| Total Annual Cost With Full Maintenance | \$61,401.12 |
| Total One Time Money Down | \$23,250.00 |
| Total Year 1 Cash Outlay Including Money Down | \$84,651.12 |
| Estimated Equity From Sale of Current Vehicles | \$30,000.00 |
| Total Year 1 Cash Outlay Including Money Down and Resale | \$54,651.12 |



SMITH HAUGHEY
RICE & ROEGGE

ATTORNEYS AT LAW

213 S. Ashley St., Suite 400
Ann Arbor, MI 48104-1350

Jeffrey C. Hart

Shareholder

jhart@shrr.com

Mobile: 248.417.7829

Admitted in Michigan & Illinois

February 5, 2026

Via Federal Express and Email: clerk@cityofhillsdale.org

Ms. Katy Price, City Clerk
City of Hillsdale
97 N. Broad Street
Hillsdale, MI 49242

Mr. Joshua Paladino, joshuapaladino4hillsdale@gmail.com
97 N. Broad Street
Hillsdale, MI 49242

RE: *Eric Moore v Joshua Paladino and the City of Hillsdale*

Dear Ms. Price and Mr. Paladino:

Eric Moore has retained our firm to file a defamation lawsuit against Joshua Paladino and the City of Hillsdale regarding defamatory statements made by Joshua Paladino on January 20, 2026. **Please forward this correspondence onto your insurance provider immediately.**

Prior to engaging our law firm to commence litigation, on January 21, 2026, Mr. Moore wrote to the entire City of Hillsdale City Council requesting a retraction. (*Ex 1 – January 21, 2026, Email correspondence from Eric Moore to entire Hillsdale City Council*). After a telephone call that evening, Mr. Moore also wrote to Mr. Paladino again requesting that a retraction be made during the February 2, 2026, Hillsdale City Council meeting. (*Ex 2 – January 21, 2026, Email correspondence from Eric Moore to Joshua Paladino*). Yet, Mr. Paladino chose not to retract the false and defamatory statements made that painted Mr. Moore in an extremely negative and false light within the Hillsdale community. Mr. Paladino's false and defamatory statements were widely published on the City of Hillsdale's YouTube channel on January 20, 2026, and remain there to this day.

The context for the defamation commences at 1:41:38: <https://www.youtube.com/watch?v=A-KvSm0gtUE> At 1:47:31, Mr. Paladino falsely states:

"I do know that he [Eric Moore] was pretty firmly advocating that the city could not and the library board could not regulate its content for children in regard to violence, vulgarity, and sexuality and he wrote as much to the board, and I believe to the council at the time."

Mr. Paladino also stated that Mr. Moore had written that the city *"Should not create a system to determine what books were age appropriate for children. January 20, 2026, false and defamatory statements by Joshua Paladino."*

February 5, 2026

Page 2

When another council member asked to produce the email that Mr. Paladino was referring to, Paladino could not do so, **because it does not exist**. Instead, Mr. Paladino began reading Eric Moore's email that suggested that intentional acts may not be covered by insurance (as an insurance policy exclusion) and that it would be prudent for the city to consult with an insurance advisor and an attorney before taking any specific action on the library board. Mr. Paladino's statement painted Mr. Moore as an advocate for violence, vulgarity, and sexual exploitation of children. This type of false speech is extremely damaging to a business professional's reputation and standing in the community. And Mr. Moore has suffered reputational damage because of the falsehoods.

Because Mr. Paladino and the City of Hillsdale had the opportunity to retract the false and defamatory statement on February 2, 2026, but chose not to do so, Mr. Paladino's statement will be deemed to have been made with intent and actual malice allowing for exemplary and punitive damages including attorney fees and costs. *See MCL §600.2911(2)(b)*.

Astonishingly on February 2, 2026, rather than making a public apology and retraction, Mr. Paladino made a statement that he had worked out the issue with Mr. Moore earlier on February 2, 2026. This too is false as no such conversation ever occurred about the defamatory statements made by Mr. Paladino.

To remedy the damage caused by Mr. Paladino's defamatory statements, demand is made for a retraction at the next City of Hillsdale City Council meeting and published on YouTube together with payment of \$25,000 for the loss of reputation that Mr. Moore has suffered.

Please be advised that your insurance provider has 14 days to respond to this demand or a lawsuit will be filed.

Very truly yours,

SMITH HAUGHEY RICE & ROEGGE

By: /s/ Jeffrey C. Hart

Jeffrey C. Hart

Attorney & Shareholder

Cc: Scott Sessions, Mayor, mayor_scott_sessions@yahoo.com
Jacob Bruns, bruns.ward1@gmail.com
Greg Stuchell, rgstuchell@outlook.com
Matt Bentley, HillsdaleCC_MBentley@protonmail.com
Will Morrissey, wmorrissey@outlook.com
Bob Flynn, flynn.robert.d@gmail.com
Gary Wolfram, gleewolfram@gmail.com
Robert Socha, sochaforhillsdale@gmail.com
David Mackie, City Manager, dmackie@cityofhillsdale.com

EXHIBIT 1

From: Eric Moore

Sent: Wednesday, January 21, 2026 2:00 PM

To: William Morrissey <wmorrissey@outlook.com>; David Mackie <dmackie@cityofhillsdale.org>; 'mayor_scott_sessions@yahoo.com' <mayor_scott_sessions@yahoo.com>; 'Greg Stuchell' <rgstuchell@outlook.com> <rgstuchell@outlook.com>; flynn.robert.d@gmail.com; Gary Wolfram <gleewolfram@gmail.com>; 'sochaforhillsdale@gmail.com' <sochaforhillsdale@gmail.com>; bruns.ward1@gmail.com; 'joshuapaladino4hillsdale@gmail.com' <joshuapaladino4hillsdale@gmail.com>; Katy Price <clerk@cityofhillsdale.org>; HillsdaleCC MBentley@protonmail.com

Cc: director@hillsdale-library.org; 'gallen.hcl@gmail.com' <gallen.hcl@gmail.com>

Subject: January 20th, 2026 - City Council Meeting

I would like to thank the members of City Council who voted in support of my appointment to the Hillsdale Community Library Board at last night's council meeting.

However, I am writing to formally express my serious concerns regarding statements made by Councilperson Paladino during that meeting, which were subsequently published on the City's official YouTube channel. These statements mischaracterize my views and, in my opinion, rise to the level of defamatory and disparaging remarks.

During the meeting, Councilperson Paladino stated, in substance, that I had "firmly advocated that the city and the library board could not regulate content for children with regard to violence, vulgarity, and sexuality," and that I had written as much to the board. He further stated that I had said the city "should not create a system to determine what books were age appropriate for children."

I categorically deny making these statements. I am requesting that Councilperson Paladino produce any written communications or recordings in which I allegedly expressed the views he attributed to me.

For clarification and for the record, the following exchange occurred on June 6, 2023, in response to a text message from then-Mayor Adam Stockford:

Mayor Stockford asked:

"How would you vote on this current book challenge? Would you vote to keep the book in the library or remove it? That's the only thing 5 members of council care about. I've surveyed Council about this next appointment. Everyone likes you, Eric, but there's concerns you will go along with whatever the 'experts' suggest in regards to library content."

My response was as follows:

"Not familiar with the current book challenge, but would state in general I'm for protecting our citizens and separating adult content from the children's section."

This response directly contradicts the statements attributed to me by Paladino during the council meeting.

With over 40 years of business experience, I believe in relying on "experts"—such as attorneys, CPAs, and risk management experts—when making decisions that carry legal or financial consequences. Seeking expert guidance is standard, prudent practice and does not equate to surrendering judgment or endorsing any political or ideological agenda.

Additionally, Councilperson Paladino publicly referenced a “leftist” agenda in connection with my name. When he later read my actual correspondence to council, it was clear that my statements related solely to insurance coverage, liability exposure, and risk mitigation—topics that fall squarely within responsible governance and fiduciary duty.

Given that these materials had already been obtained through FOIA requests, it is clear that the inaccurate statements made about me were not the result of misunderstanding. I believe these remarks have caused harm to my personal and professional reputation within the community.

Accordingly, I am requesting a public apology and a full retraction of Mr. Paladino’s inaccurate and defamatory statements made about me. Should such an apology and retraction not be issued, I reserve the right to pursue further remedies.

Respectfully,

Eric A. Moore, CIC, LIC
Vice President



P.O. Box 207
67 N Howell
Hillsdale, MI 49242



P (517) 439-9345
F (517) 439-5536
M (517) 416-0940

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EXHIBIT 2

From: Eric Moore

Sent: Wednesday, January 21, 2026 7:33 PM

To: 'joshuapaladino4hillsdale@gmail.com' <joshuapaladino4hillsdale@gmail.com>

Subject: Follow-Up and Request for Public Apology

Joshua,

Just wanted to follow up on our conversation this evening. I think it was productive, and I want to work with you proactively on the library board where we can find common ground.

However, I am still requesting a public apology for the false and derogatory statements made regarding my positions on library policy.

At the request of my legal counsel, this apology should be made at the next city council meeting (spoken and not read into the record), which I understand is scheduled for February 2nd.

Please confirm you understand this request by end of business on the 26th of January.

Respectfully,

Eric A. Moore, CIC, LIC

Vice President



P.O. Box 207

67 N Howell

Hillsdale, MI 49242



P (517) 439-9345

F (517) 439-5536

M (517) 416-0940

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City of Hillsdale

Agenda Item Summary

Meeting Date: February 16, 2026

Agenda Item: Public Hearing

SUBJECT: 2026 Special Assessment District – SAD 2026-1, Arch Avenue,
Industrial Drive & Proctor Drive – Public Hearing and Resolution

BACKGROUND PROVIDED BY STAFF:

At the January 20, 2026 City Council meeting a public hearing date of February 16, 2026 was set to consider any objections to the improvements under consideration for reconstruction of Arch Ave., Industrial Dr., and Proctor Dr. The total estimated cost for this project is \$1,316,500. By City policy adopted February 17, 2025, up to 50% of the total project costs may be covered through special assessment to the 40 parcels currently identified in the Arch Ave., Industrial Dr., and Proctor Dr. Special Assessment District (SAD 2026-1) which includes Arch Ave. from Mechanic St. to W. Carleton Rd. (M-99), Industrial Dr. from Mechanic Rd. to Beck Rd., and Proctor Dr. from Industrial Dr. to dead end.

The project cost split is in accordance with the City's Policy on Special Assessment Districts for Street Projects updated at the February 17, 2025 meeting. It is important to note that the total assessed cost to the affected property owners will not go above the policy maximum assessment limits based on classification or 25% of the property value per Hillsdale Ordinance Chapter 2, Article V, Section 2-335, whichever is the lesser amount. Notice of the meeting was published once each week for two successive weeks in the local newspaper. Affected property owners were mailed information on the proposed district on February 4, 2026.

According to the City Charter, Sec. 2-335 Hearing procedure, "If more than 50% of the number of owners of privately owned real property to be assessed for such improvement shall object in writing to the proposed improvement, the improvement shall not be made without the affirmative vote of seven of the members of the council."

RECOMMENDATION:

City staff recommends City Council hold the public hearing regarding the creation of the Arch Ave., Industrial Dr., and Proctor Dr. Special Assessment District (SAD 2026-1) and adopt the attached resolution to move forward with the project and establishing said district.

CITY OF HILLSDALE
RESOLUTION NO. _____

A RESOLUTION TO APPROVE ESTABLISHMENT OF THE ARCH AVENUE, INDUSTRIAL DRIVE, AND PROCTOR DRIVE SPECIAL ASSESSMENT DISTRICT (SAD 2026-1).

Minutes of a regular meeting of the City Council of the City of Hillsdale, Hillsdale County Michigan, held in the City Hall, City Council Chambers, 97 North Broad Street, Hillsdale, Michigan, in said City, on February 16, 2026 at 7:00 p.m.

PRESENT: _____

ABSENT: _____

The following preamble and resolution were offered by Councilperson _____ and supported by Councilperson _____.

WHEREAS, the City Council, by resolution 3665 at its January 20, 2026 regular meeting, deemed it necessary and declared its intention to construct improvements by reconstruction and other appurtenances of Arch Avenue from West Carleton Road to Mechanic Street, Industrial Drive from Mechanic Road to Beck Road, and Proctor Drive from Industrial Drive to dead end, and did provide for a public hearing to hear any objections to the proposed improvements; and

WHEREAS, a public hearing was held February 16, 2026 for said purpose; and

WHEREAS, the total cost of this project is estimated to be \$1,316,500.

NOW, THEREFORE, BE IT RESOLVED, that said public improvements be made and the City Manager be directed to proceed with the same; and

BE IT FURTHER RESOLVED, that the plans, specifications and detailed estimates relating to said improvements be hereby approved and adopted and the City Manager is directed to take action necessary to accomplish the said improvements; and

BE IT FURTHER RESOLVED, that Council does hereby determine that up to 50% of the costs are to be defrayed by special assessment, allocated as follows, in accordance with the policy and procedure adopted February 17, 2025:

1. The assessments will be individually determined by frontage and lot, and equally distributed thereto.

- a. In no case shall the whole amount to be levied by special assessment upon any lot or premises exceed 25 percent of the value of such lot or land as valued on the most recent assessment roll certified by the Board of Review.
- b. The whole amount to be levied upon any lot or premises is further subject to the following maximum amounts, based on property classification as defined in Michigan's General Property Tax Act, being Act 206 of 1893 as amended, Section 211.34c, and certified on same assessment roll;
 - i. For property classified as Residential no more than \$5,000
 - ii. For property classified as Commercial no more than \$10,000
 - iii. For all other property \$15,000
2. The special assessment may be paid in full without interest on or before August 31, 2026.
3. If remaining unpaid, the assessment shall be divided into 15 annual installments with the first installment also to be paid on or before August 31, 2026 without interest.
4. Deferred special assessment installments shall be subject to interest to the date of payment up to 6% (to be determined based on today's 10-year Treasury bond rate plus 1%).
5. Unpaid installments as of September 1 each year shall be certified by the City Treasurer and added to the winter tax bill.
6. All or a portion of the deferred special assessment balance or installments may be paid in advance at any time with interest only to the date of payment.
7. That the premiums upon which special assessments shall be levied, and which shall be hereafter known and designated as Special Assessment District 2026-1, are described as follows:

Special Assessment Properties

Arch Avenue – West Carleton Road to Mechanic Street
 Industrial Drive – Mechanic Road to Beck Road
 Proctor Drive – Industrial Drive to dead end

BE IT FURTHER RESOLVED, that the Assessor is hereby directed to cause the special assessments to be made, and report same to Council within 90 days, at which time the report shall be placed on file with the City Clerk and a public hearing scheduled to review the special assessment roll.

The foregoing resolution offered by Councilmember _____

And supported by Councilmember _____

The vote in favor of the resolution being as follows:

Roll call: _____

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Motion _____, _____ - _____

Resolution declared _____.

Date: February 16, 2026

Scott Sessions, Mayor

Katy Price, Clerk

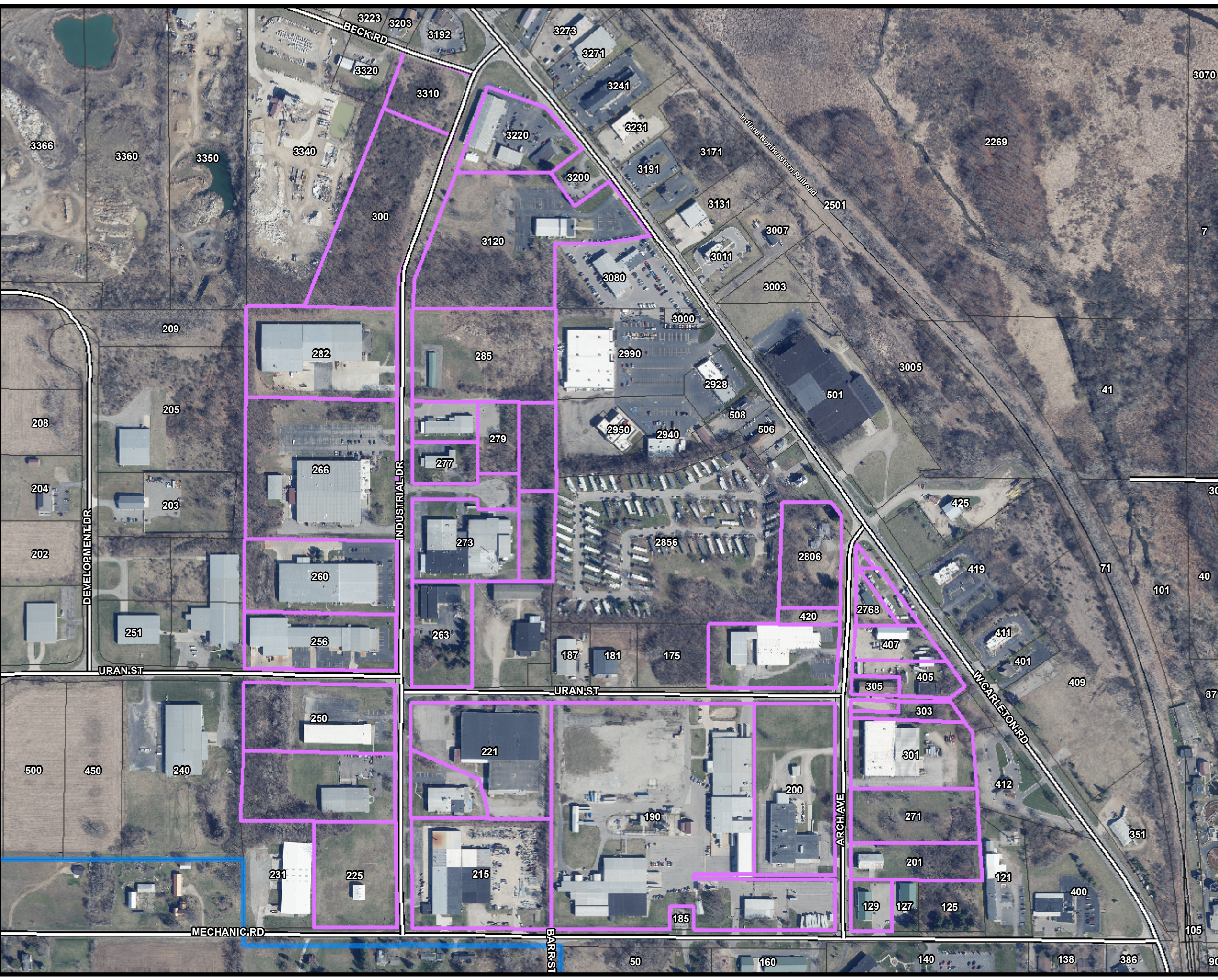
CERTIFICATION

As the Clerk for the City of Hillsdale, Hillsdale County, Michigan, I certify that this is a true and complete copy of a resolution adopted by the Hillsdale City Council, Hillsdale County at its regular meeting, held February 16, 2026.

Katy Price, Clerk

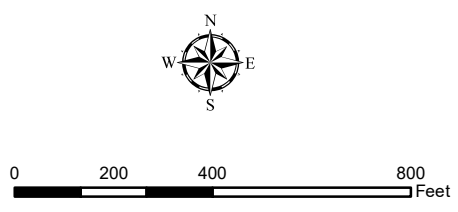
City of Hillsdale Special Assessment District 2026-1

Arch Ave Industrial Dr



Legend

- City Boundary
- Railroad
- Streets
- Spec Asmt District 2026-1
- Parcels





MEMORANDUM

Date: October 10, 2025

To: City Council, City Manager Mackie, DPS Director Blake

From: Robert Stiverson, PE, City Engineer

Subject: Arch Street from Mechanic to Carleton (M99)

Please find the attach draft Opinion of Probable Costs, bid document, and plans for Arch street.

We are recommending a budget of

| | |
|---|------------------|
| Construction | \$368,275 |
| Engineering/Project Management/Special Assessment | \$ 38,430 |
| Contingencies: | \$ 41,295 |
| Total: | \$448,000 |

Project Management is based on full-time inspection, however, we plan on performing Part Time inspection with the hours based on the quality and performance of the contractor.

As always, Construction costs are based on Historic Bid Tabulations for the City of Hillsdale with a comparison of MDOT Unit Prices. Project Management/Inspection is based on MDOT guideline for installation of Quantities and previous experience.

Contingencies are approximately 10%, and are recommended based on there are unknowns in the field that could impact project costs.



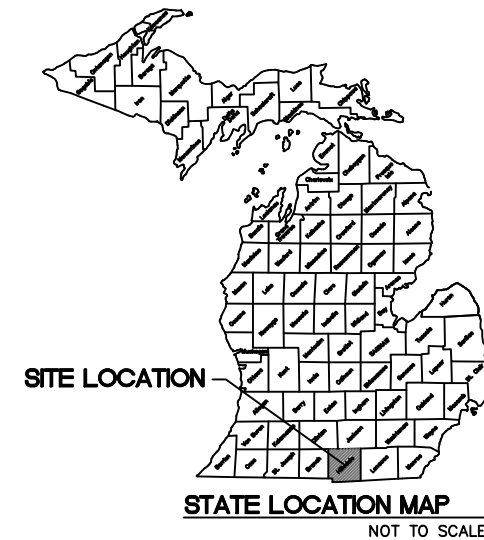
Know what's below.
Call before you dig.

CITY OF HILLSDALE

ARCH AVENUE

STREET IMPROVEMENTS

MECHANIC ST TO CARLETON RD

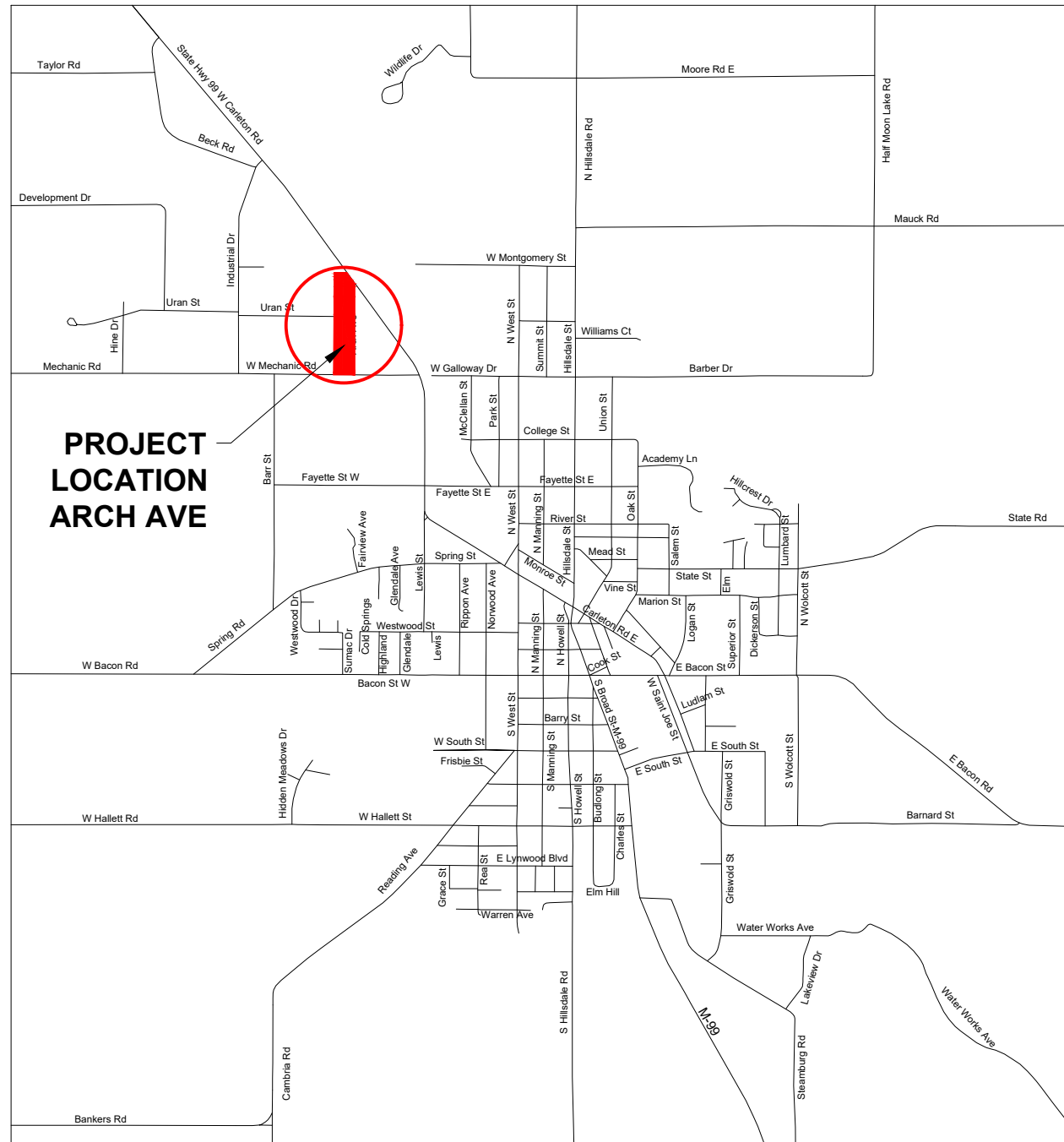


| REVISIONS | DATE |
|--------------|----------|
| DATE OF PLAN | 10/27/25 |
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FOR PROTECTION OF UNDERGROUND UTILITIES AND IN CONFORMANCE WITH PUBLIC ACT 53, THE CONTRACTOR SHALL DIAL 1-800-482-7171 OR 811 A MINIMUM OF THREE FULL WORKING DAYS, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS PRIOR TO THE BEGINNING OF EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED.

THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE SIZE, LOCATION, DEPTH, PRESSURE, OR ANY OTHER CHARACTERISTICS OF UNDERGROUND UTILITIES, TANKS OR SEPTIC FIELDS WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OF COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND MAKE EVERY EFFORT TO PROTECT AND/OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND.



REFERENCES TO SPECIFICATIONS:
THE IMPROVEMENTS COVERED BY THESE PLANS SHALL BE DONE IN ACCORDANCE WITH THE PROJECT DRAWINGS, NOTES, AND THE APPLICABLE SECTIONS OF THE 2020 MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.

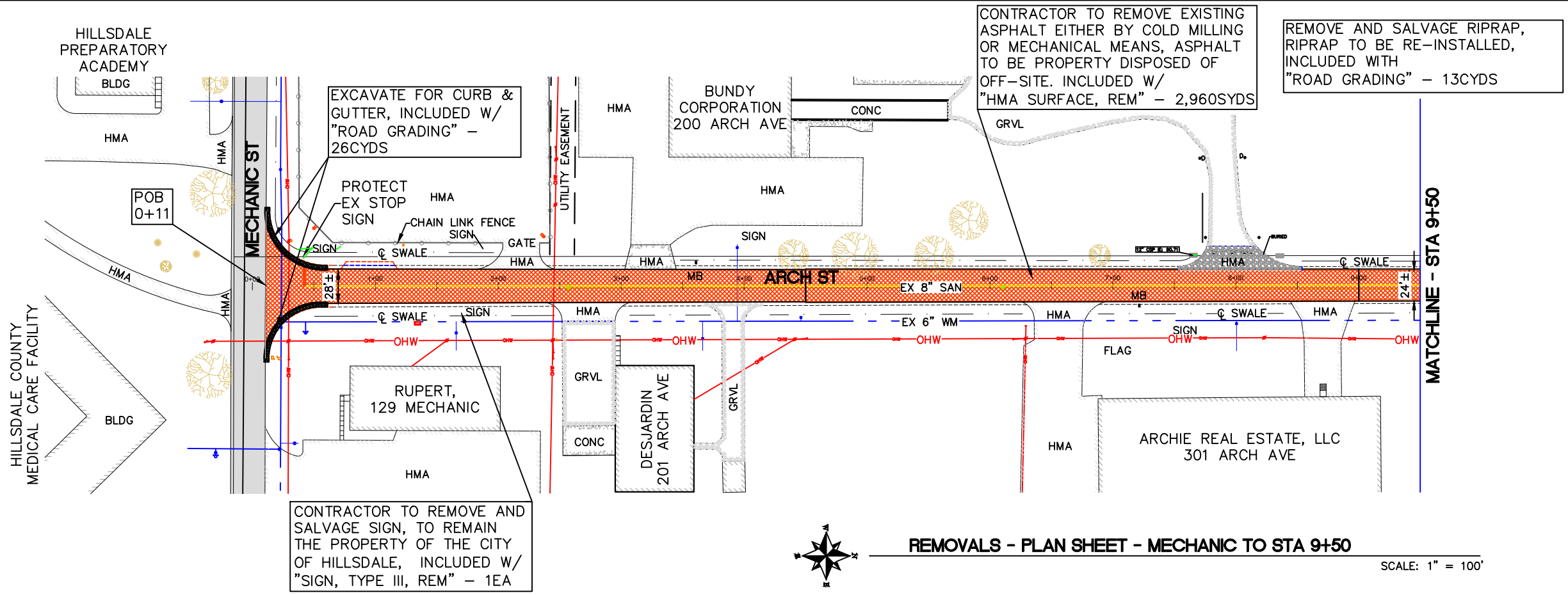
ALL TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE MOST CURRENT VERSION OF THE MICHIGAN MANUAL OF TRAFFIC CONTROL DEVICES (MMUTCD)

| SHEET NO. | DESCRIPTION |
|-----------|------------------------------------|
| CS | COVER SHEET |
| C1 | REMOVAL AND UTILITY PLAN |
| C2 | CONSTRUCTION - STA. 0+11 TO 4+00 |
| C3 | CONSTRUCTION - STA. 4+00 TO 8+50 |
| C4 | CONSTRUCTION - STA. 8+50 TO 13+00 |
| C5 | CONSTRUCTION - STA. 13+00 TO 16+90 |
| C6 | PAV'T MARKINGS 1 |
| C7 | TRAFFIC CONTROL PLAN |
| C8 | PAVEMENT DETAILS |
| C9 | STORM SEWER DETAILS |
| C10 | NOTE SHEET & LEGEND |

| | | |
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| ARCH STREET MECHANIC TO M-99 CITY OF HILLSDALE HILLSDALE COUNTY, MICHIGAN COVER SHEET | | |
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| SCALE | | |
|----------|--------|----------|
| | NAME | DATE |
| DESIGNED | KLB | 7/28/23 |
| DRAWN | ES/RDS | 10/27/25 |
| CHECKED | | |

DRAWING NO.
CS



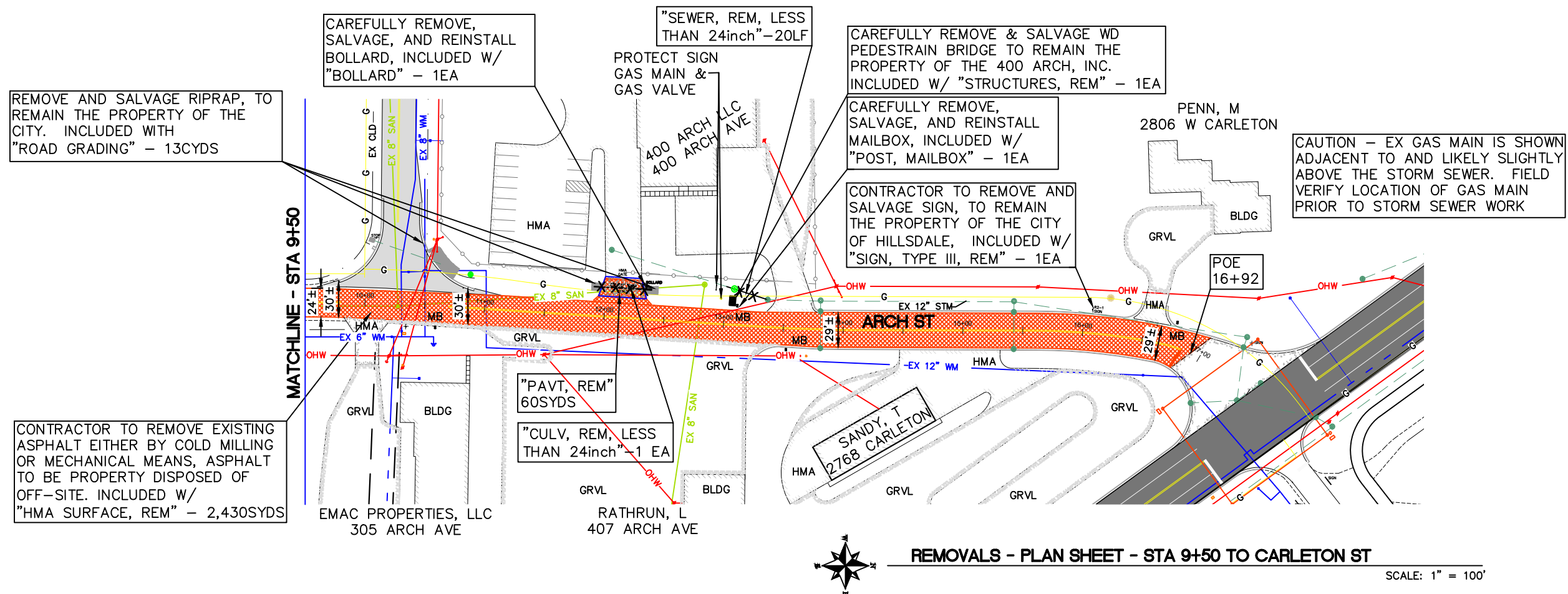
The City of
HILLSDALE
MICHIGAN
BPU
Board of Public Utilities
97 N BROAD ST/ 45 MONROE ST
HILLSDALE, MI 49242

| REVISIONS | DATE |
|--------------|----------|
| DATE OF PLAN | 10/27/25 |
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ARCH STREET
MECHANIC TO M-99
CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN
REMOVALS AND
UTILITIES

| SCALE | 1" = 100' | |
|----------|-----------|----------|
| | NAME | DATE |
| DESIGNED | KLB | 7/28/23 |
| DRAWN | ES/RDS | 10/27/25 |
| CHECKED | | |

DRAWING NO.
C1



REMOVALS - PLAN SHEET - STA 9+50 TO CARLETON ST

| REVISIONS | DATE |
|--------------|----------|
| DATE OF PLAN | 10/21/25 |
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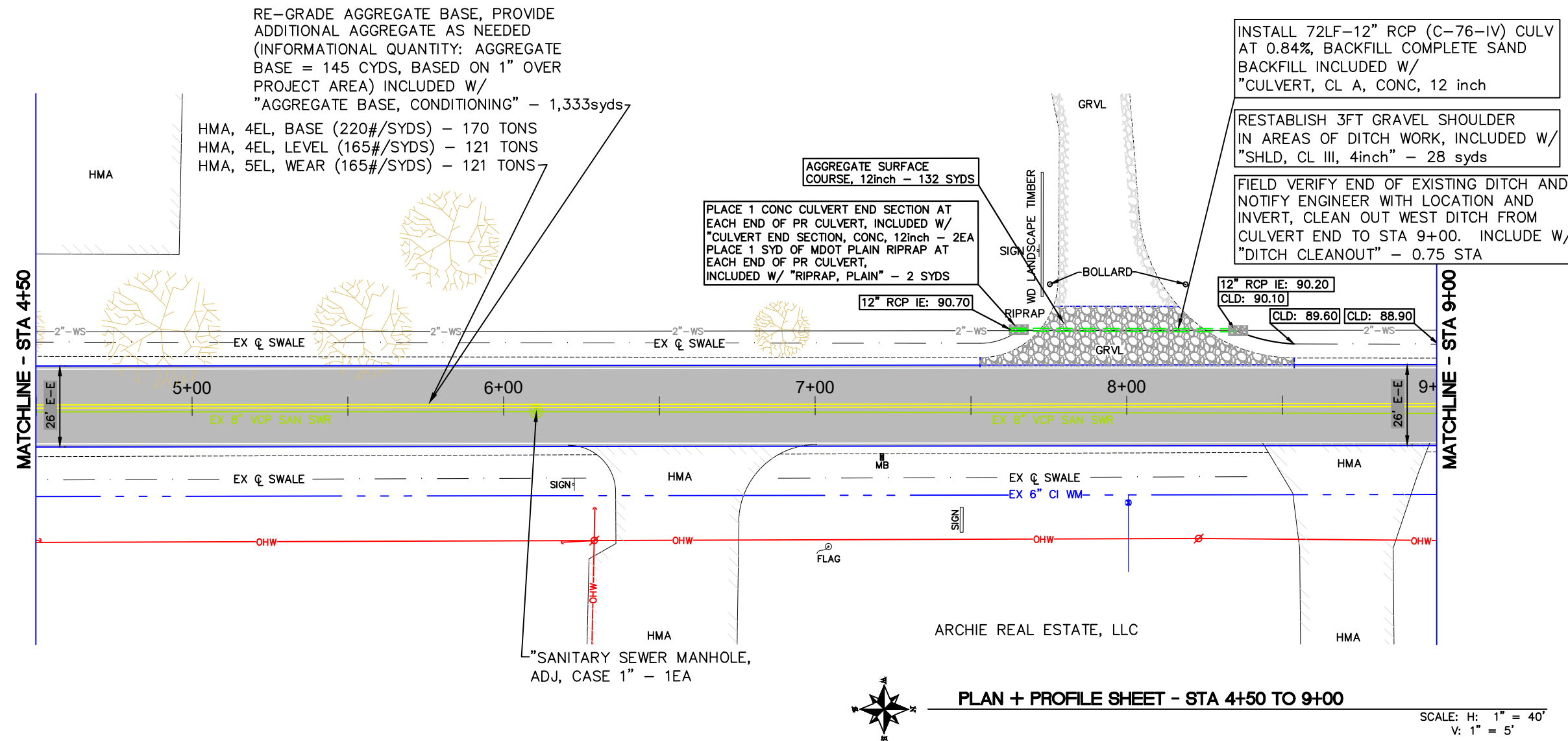
ARCH STREET
MECHANIC TO M-99

CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN

PLAN AND PROFILE
STA 4+50 TO 9+00

| SCALE | H 1" = 40' / V 1" = 5' | |
|----------|------------------------|----------|
| | NAME | DATE |
| DESIGNED | KLB | 7/28/23 |
| DRAWN | ES/RDS | 10/21/25 |
| CHECKED | | |

DRAWING NO.
C3



PLAN + PROFILE SHEET - STA 4+50 TO 9+00

SCALE: H: 1" = 40'
V: 1" = 5'

| MATCHLINE - STA 4+50 | | STA 4+50 TO 8+00 NO WORK - WEST DITCH | | | | | | | | | | MATCHLINE - STA 9+00 | |
|----------------------|--|---------------------------------------|-------|-------|-------|-------|-------|-------|-------|-------|-------|----------------------|-----|
| 100 | | | | | | | | | | | | | 100 |
| 95 | | | | | | | | | | | | | 95 |
| 90 | | | | | | | | | | | | | 90 |
| 85 | | | | | | | | | | | | | 85 |
| EX WEST DITCH | | NO WORK - EAST DITCH | | | | | | | | | | | |
| EX & PR CENTERLINE | | 4+50 | 5+00 | 5+50 | 6+00 | 6+50 | 7+00 | 7+50 | 8+00 | 8+50 | 9+00 | | |
| | | 96.88 | 96.55 | 96.17 | 95.46 | 94.53 | 93.73 | 93.00 | 92.32 | 92.04 | 91.09 | | |
| EX EAST DITCH | | | | | | | | | | | | | |

CLEAN OUT WEST DITCH FROM STA 9+00 TO EXISTING CULVERT AT URAN STREET. INCLUDE W/ "DITCH CLEANOUT" - 1.15 STA

REESTABLISH 3FT GRAVEL SHOULDER IN AREAS OF DITCH WORK, INCLUDED W/ "SHLD, CL III, 4inch" - 132 syds

CONNECT 12" DWPE TO EX 12" RCP, WRAP JOINT WITH GEOTEXTILE FABRIC, INCLUDED W/ "SEWER, CL A, 12inch, TR DET A"

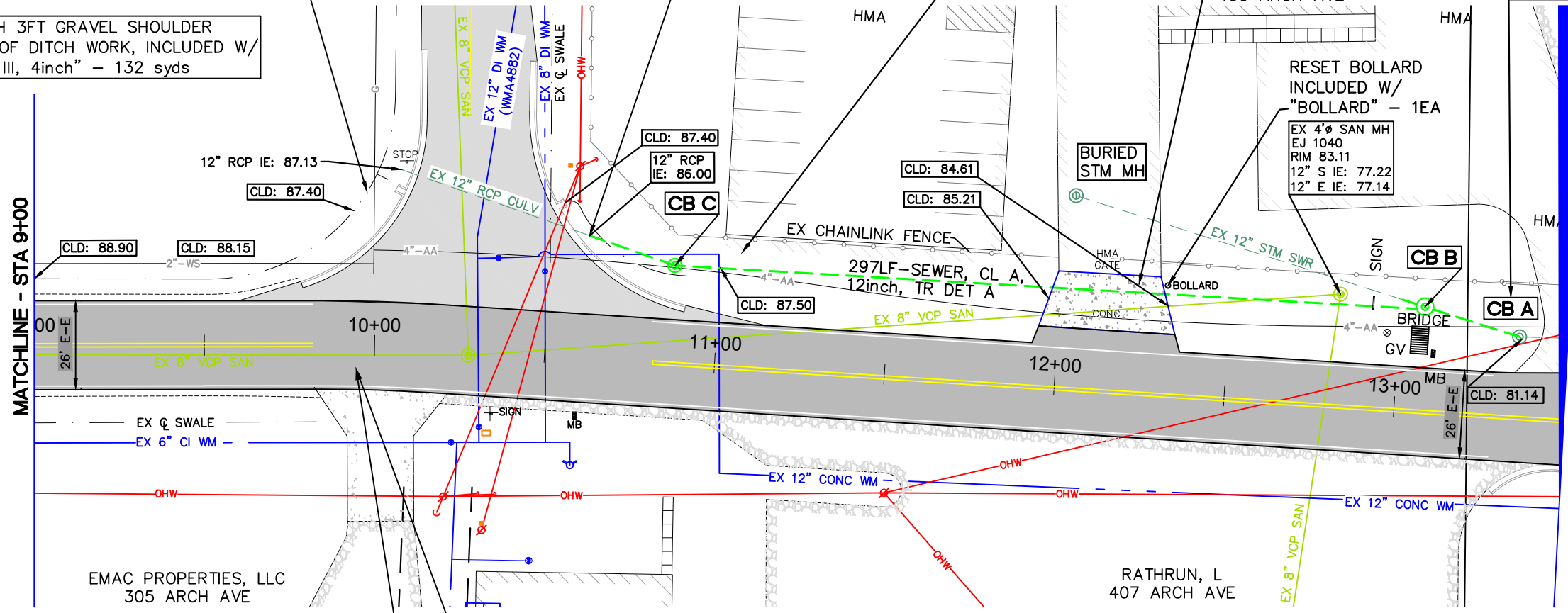
FILL IN EXISTING DITCH, ADDITIONAL BACKFILL TO BE INCLUDED WITH "SEWER, CL A, 12inch, TR DET A"

CONC PAVT, MISC, NON-REINF 8inch - 65SYDS
400 ARCH LLC
400 ARCH AVE

REMOVE EX 12" CSP
CONNECT 12" DWPE
INCLUDED W/
"DR STRUCTURE, TAP,
12inch" - 1 EA

MATCHLINE - STA 9+00

MATCHLINE - STA 13+50



HMA, 4EL, BASE (220#/SYDS) - 168 TONS
HMA, 4EL, LEVEL (165#/SYDS) - 120 TONS
HMA, 5EL, WEAR (165#/SYDS) - 120 TONS

RE-GRADE AGGREGATE BASE, PROVIDE ADDITIONAL AGGREGATE AS NEEDED (INFORMATIONAL QUANTITY: AGGREGATE BASE = 145 CYDS, BASED ON 1" OVER PROJECT AREA) INCLUDED W/ "AGGREGATE BASE, CONDITIONING" - 1,325syds

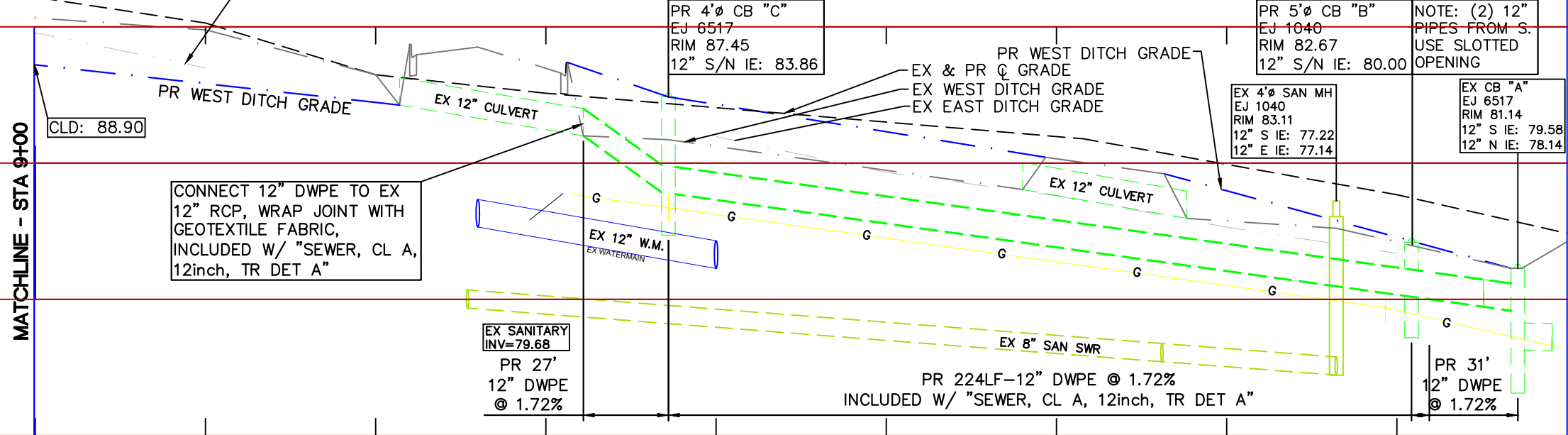
EROSION CONTROL, INLET PROTECTION, FABRIC DROP - 3EA
PLAN + PROFILE SHEET - STA 9+00 TO 13+50

SCALE: H: 1" = 40'
V: 1" = 5'



MATCHLINE - STA 9+00

MATCHLINE - STA 13+50



CONNECT 12" DWPE TO EX 12" RCP, WRAP JOINT WITH GEOTEXTILE FABRIC, INCLUDED W/ "SEWER, CL A, 12inch, TR DET A"

EX SANITARY
INV=79.68
PR 27'
12" DWPE
@ 1.72%

PR 224LF-12" DWPE @ 1.72%
INCLUDED W/ "SEWER, CL A, 12inch, TR DET A"

PR 31'
12" DWPE
@ 1.72%

| | | | | | | | | | | | | |
|--------------------|---------------|---------------|----------------|----------------|----------------|----------------|----------------|------------------|------------------|------------------|-------------------|--|
| EX WEST DITCH | 9+00 90.76 | | 10+07 87.13 | 10+30 89.26 | 10+61 86.00 | 10+86 85.86 | | 11+90.1 85.86 | 12+38.3 82.97 | 12+82.2 82.97 | 13+35.52 81.14 | |
| EX & PR CENTERLINE | 9+00 91.09 | 9+50 90.14 | 10+00 88.24 | 10+50 87.56 | 11+00 87.03 | 11+50 85.22 | 12+00 85.97 | 12+50 85.00 | 13+00 83.84 | 13+50 82.43 | | |
| EX EAST DITCH | | | | | | | | | | | | |

NO WORK - EAST DITCH

The City of
HILLSDALE
MICHIGAN
BPU
Board of Public Utilities
97 N BROAD ST/ 45 MONROE ST
HILLSDALE, MI 49242

| REVISIONS | DATE |
|--------------|----------|
| DATE OF PLAN | 10/21/25 |
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**ARCH STREET
MECHANIC TO M-99**

**CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN**

**PLAN AND PROFILE
STA 9+00 TO 13+50**

| SCALE | H 1" = 40'/ V 1"=5' | |
|----------|---------------------|----------|
| | NAME | DATE |
| DESIGNED | KLB | 7/28/23 |
| DRAWN | ES/RDS | 10/21/25 |
| CHECKED | | |

DRAWING NO.
C4

| REVISIONS | DATE |
|--------------|----------|
| DATE OF PLAN | 10/21/25 |
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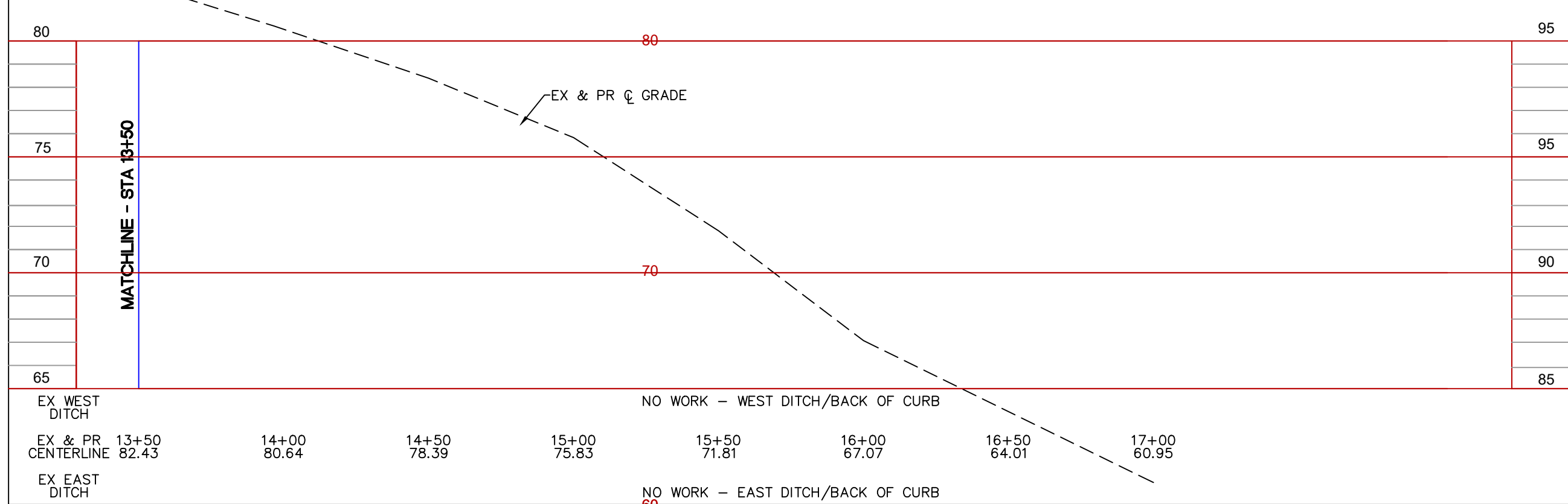
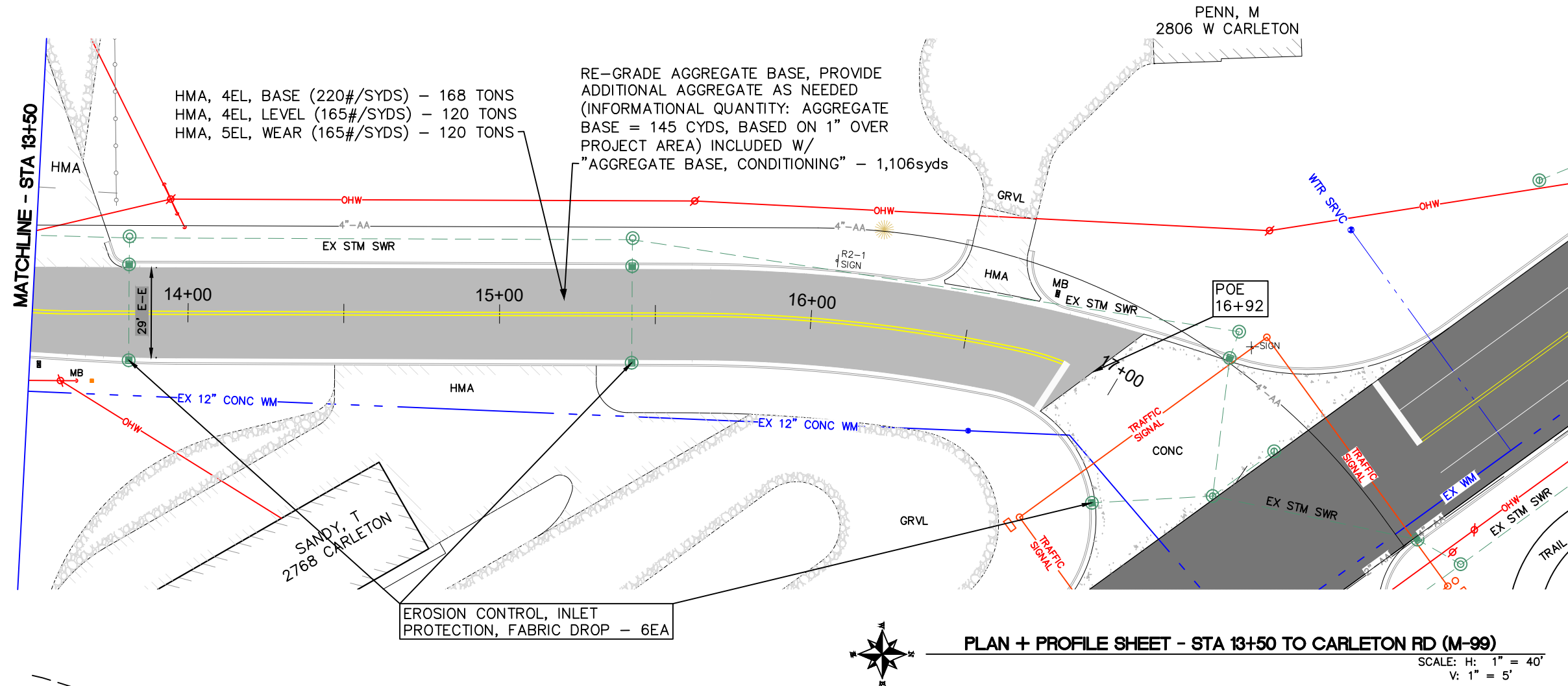
ARCH STREET
MECHANIC TO M-99

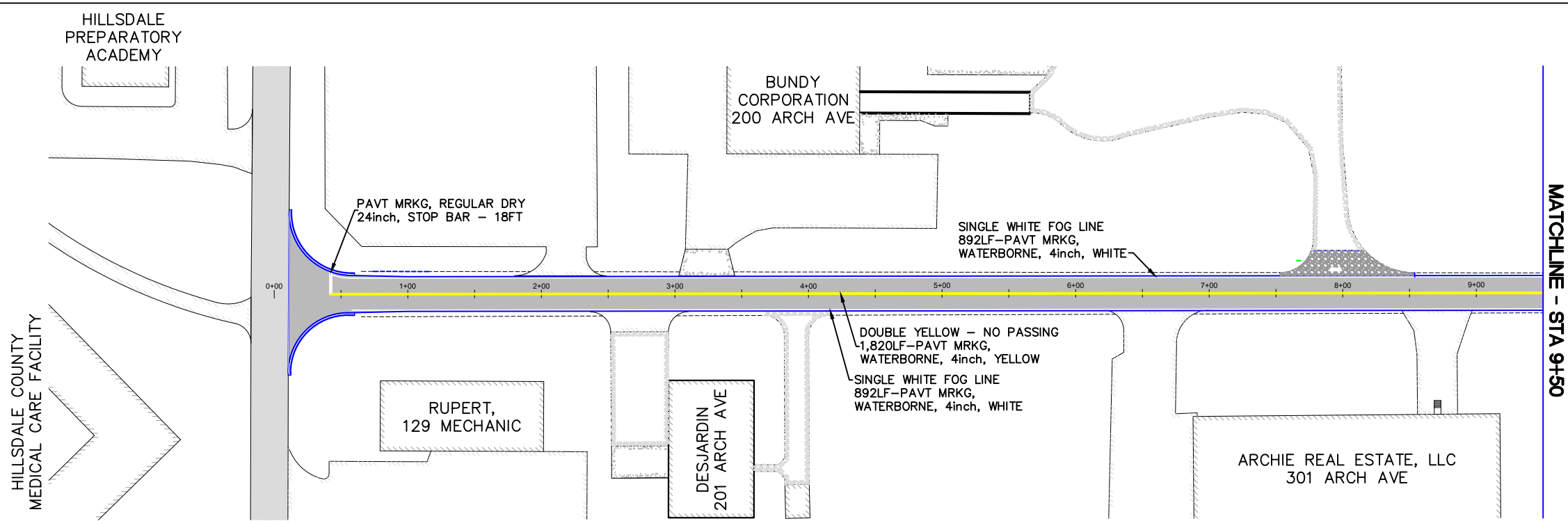
CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN

PLAN AND PROFILE
STA 13+50 TO CARLETON (M99)

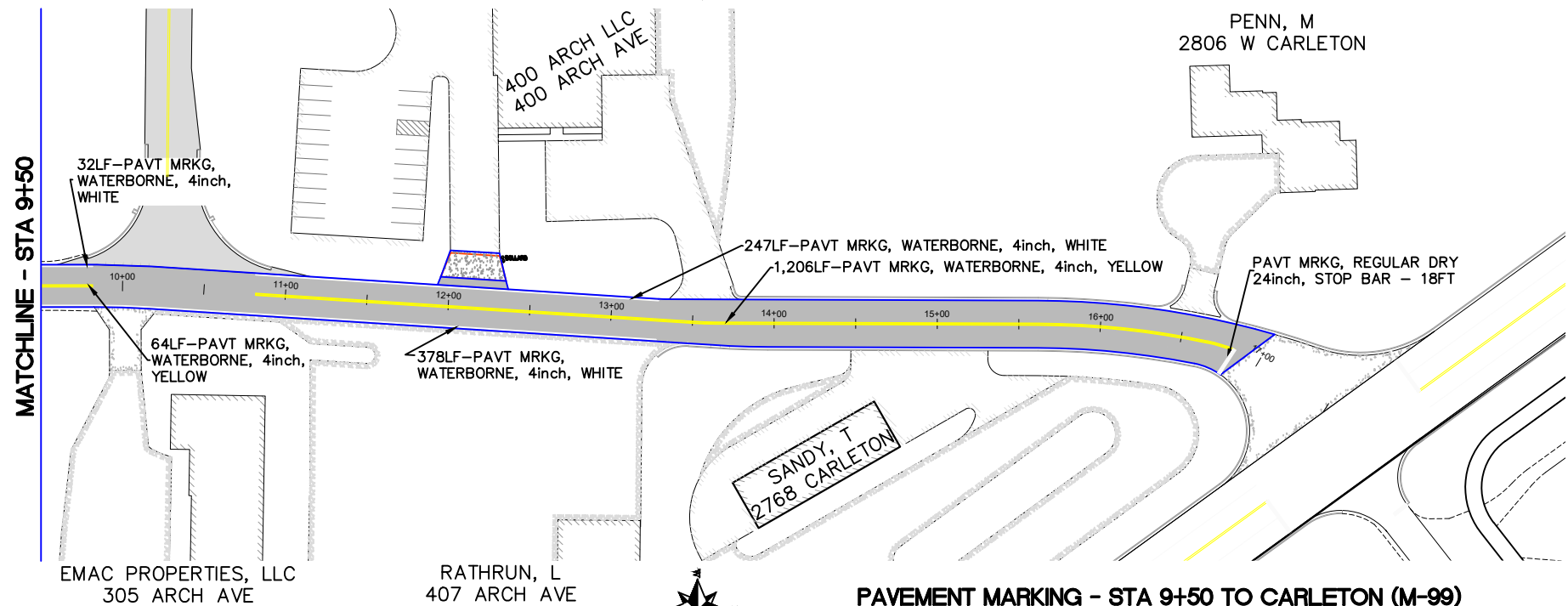
| SCALE | H 1" = 40' / V 1"=5' | |
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| | NAME | DATE |
| DESIGNED | KL B | 7/28/23 |
| DRAWN | ES/RDS | 10/21/25 |
| CHECKED | | |

DRAWING NO.
C5





PAVEMENT MARKING - MECHANIC STREET TO STA 9+50
SCALE: 1" = 100'



PAVEMENT MARKING - STA 9+50 TO CARLETON (M-99)
SCALE: 1" = 100'

PROJECT QUANTITIES - SHEETS C6 & C7

| ITEM CODE | QUANTITY | UNIT | DESCRIPTION |
|-----------|----------|------|---|
| 8110045 | 34 | FT | PAVT MRKG, REGULAR DRY, 24 INCH, STOP BAR |
| 8110231 | 2,440 | FT | PAVT MRKG, WATERBORNE, 4 INCH, WHITE |
| 8110232 | 3,090 | FT | PAVT MRKG, WATERBORNE, 4 INCH, YELLOW |

The City of

HILLSDALE

MICHIGAN

BPU

Board of Public Utilities

97 N BROAD ST/ 45 MONROE ST

HILLSDALE, MI 49242

| REVISIONS | DATE |
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| DATE OF PLAN | 10/21/25 |
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ARCH STREET
MECHANIC TO M-99

CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN

PAVEMENT MARKINGS
MECHANIC TO CARLETON

| SCALE | H 1" = 100' | |
|----------|-------------|----------|
| | NAME | DATE |
| DESIGNED | KLB | 7/28/23 |
| DRAWN | ES/RDS | 10/21/25 |
| CHECKED | | |

DRAWING NO.

C6

| TRAFFIC CONTROL KEY | | | |
|---------------------|--------|--------------------------------------|------|
| KEY | CODE | SIGN | *QTY |
| ① | | TYPE III BARRICADE HIGH INTENSITY | 5 |
| ② | W20-3 | STREET CLOSED AHEAD | 7 |
| ③ | R11-4 | STREET CLOSED TO THRU TRAFFIC | 3 |
| ④ | M4-9R | DETOUR ARROW RIGHT | 3 |
| ⑤ | M4-9L | DETOUR ARROW LEFT | 3 |
| ⑥ | W20-2 | DETOUR AHEAD | 4 |
| ⑦ | M4-9S | DETOUR STRAIGHT | 9 |
| ⑧ | D3-1 | "ARCH AVENUE" - PLAQUE | 18 |
| ⑨ | M4-100 | DETOUR ARROW DOUBLE | 2 |

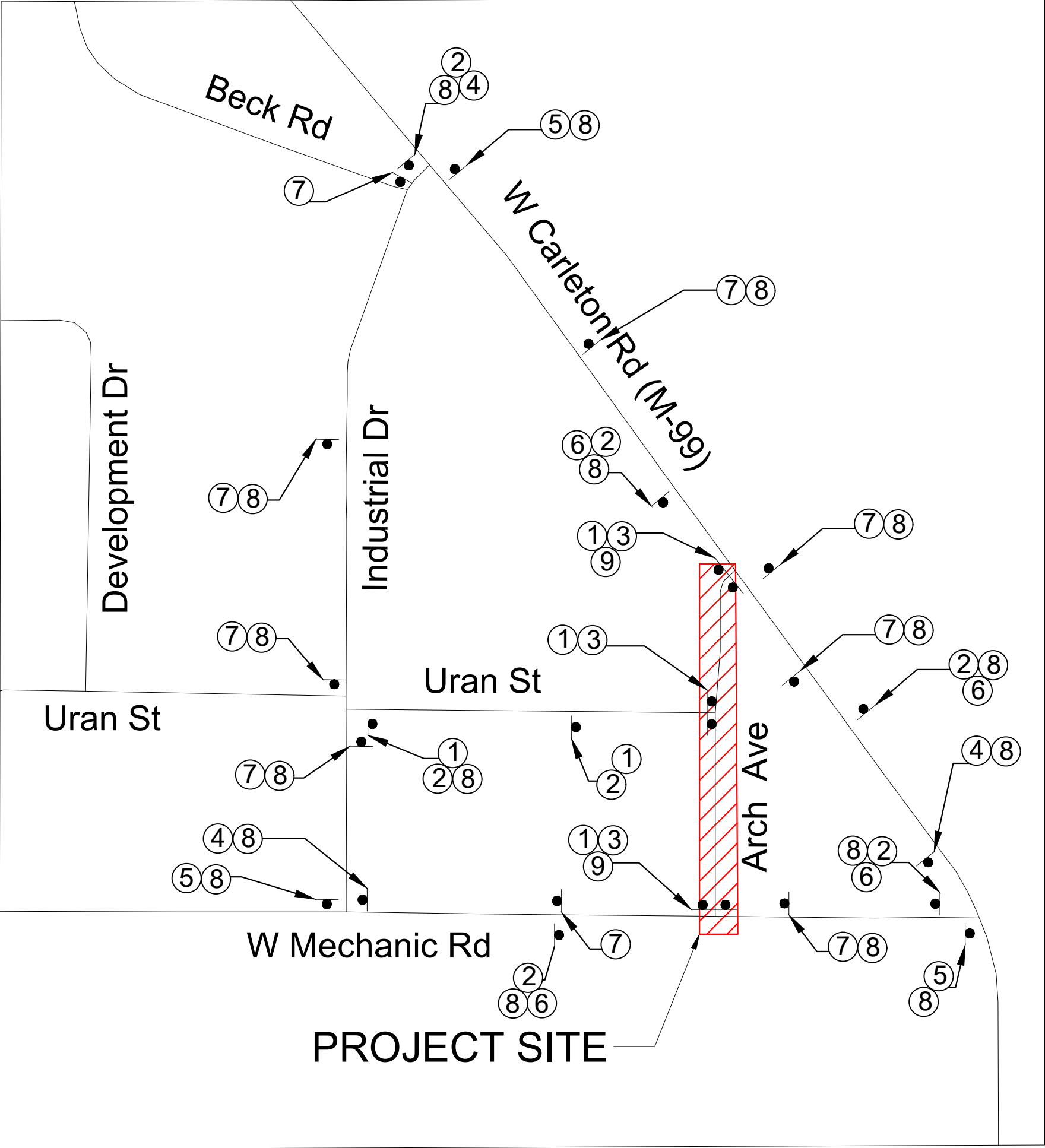
* QUANTITIES ARE MINIMUM REQUIRED. CONTRACTOR MAY INCREASE AS NEEDED FOR THEIR CONSTRUCTION PLANS. LIGHTED BARRELS AND/OR GRABBER CONES WILL BE NEEDED FOR FLAG CONTROL ZONES AND OVER NIGHT ONE LANE SECTIONS.

| PROJECT NOTES | |
|---------------|--|
| 1. | ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE SECTIONS OF THE CURRENT EDITION OF MDOT STANDARD SPECIFICATION FOR CONSTRUCTION. |
| 2. | ALL TRAFFIC CONTROL SHALL CONFORM TO THE REQUIREMENTS OF THE MOST CURRENT EDITION OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES. |

| REVISIONS | DATE |
|--------------|----------|
| DATE OF PLAN | 10/21/25 |
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|---------------------------------|---|--------------------|
| ARCH STREET MECHANIC TO M-99 | CITY OF HILLSDALE HILLSDALE COUNTY, MICHIGAN | TRAFFIC CONTROL |
|---------------------------------|---|--------------------|

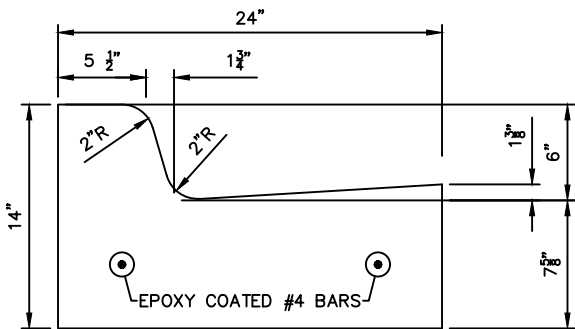
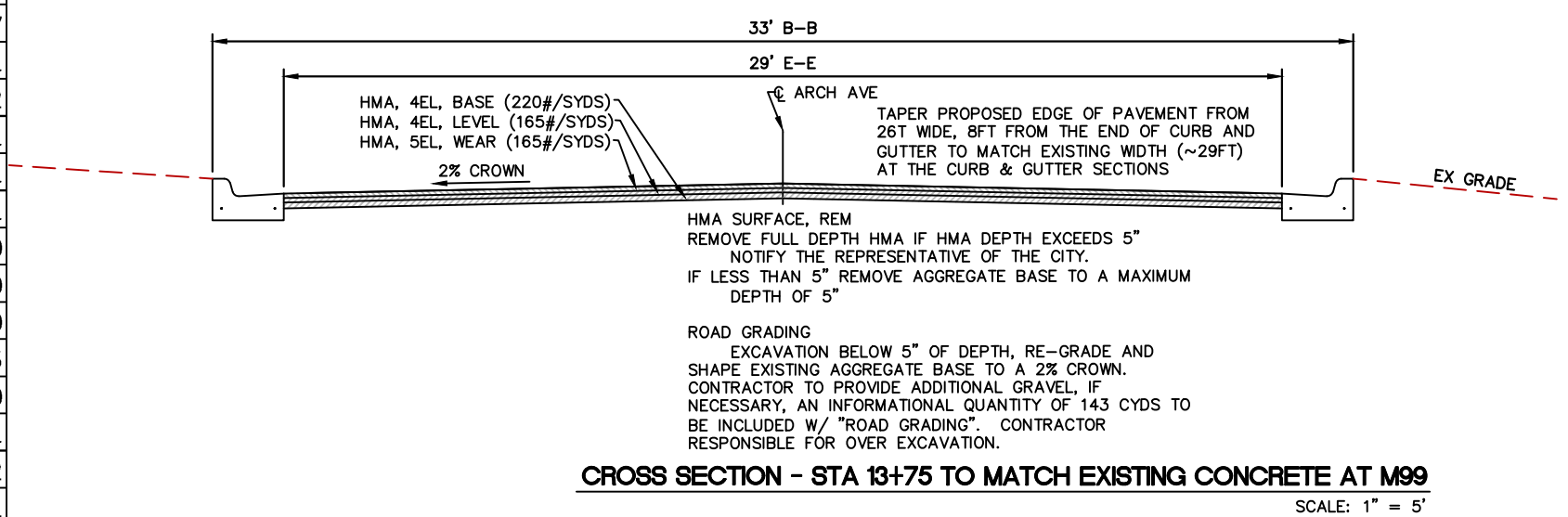
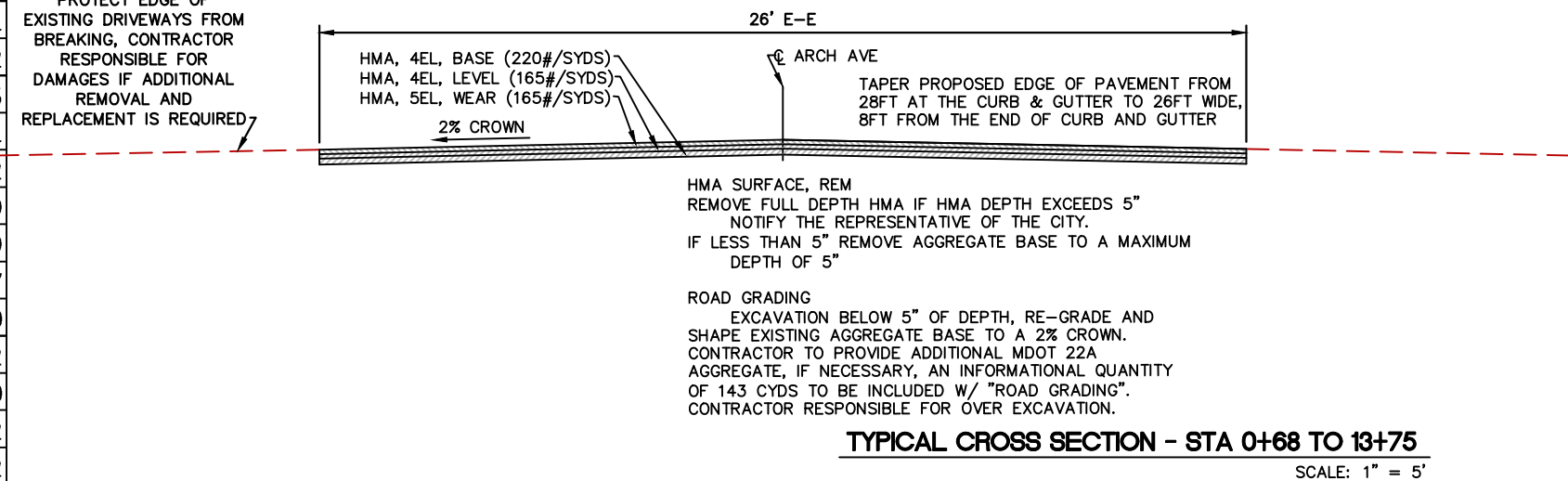
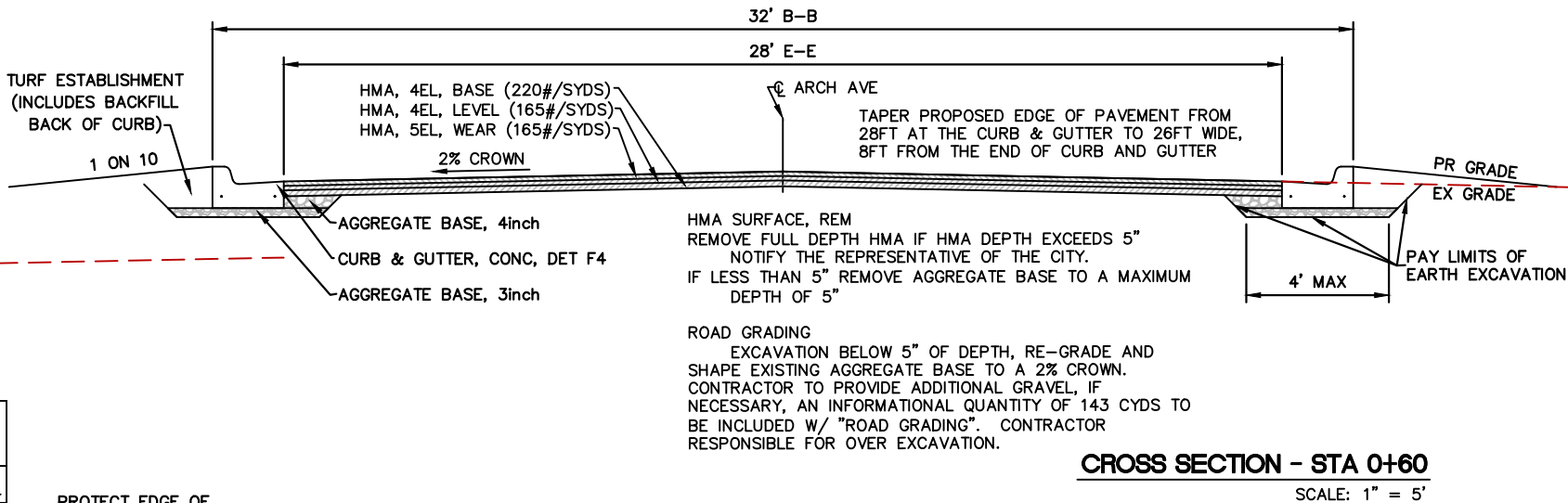
| SCALE | H 1" = 100' | |
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| | NAME | DATE |
| DESIGNED | KL B | 7/28/23 |
| DRAWN | ES/RDS | 10/21/25 |
| CHECKED | | |



| HMA APPLICATION TABLE | | | | | |
|-----------------------|----------|------|-------------|--------------|-----|
| COURSE | TYPE | ITEM | EST. YIELD | BINDER GRADE | AWI |
| ① | BASE | 4EL | 220 LBS/SYD | PG 58-28 | - |
| ② | LEVELING | 4EL | 165 LBS/SYD | PG 58-28 | - |
| ③ | TOP | 5EL | 165 LBS/SYD | PG 58-28 | 260 |

NOTE: BOND COAT SHALL BE APPLIED BETWEEN SUCCESSIVE COURSES OF HMA (PAYMENT INCLUDED IN HMA MIX). APPLICATION RATE 0.05 - 0.15 GAL/SYD SS-IH, AS DIRECTED BY ENGINEER.

| Project Quantities - Total | | |
|---|------|------|
| Above Ground Video Survey | LSUM | 1 |
| Mobilization, Max 10% | LSUM | 1 |
| Culv, Rem, Less than 24 inch | Ea | 2 |
| Sewer, Rem, Less than 24 inch | Ft | 18.5 |
| Structures, Rem | LSUM | 1 |
| Ditch Cleanout | Sta | 2 |
| Road Grading | Sta | 16.9 |
| Erosion Control, Inlet Protection, Fabric Drop | Ea | 9 |
| Aggregate Base, 3 inch | Syd | 77 |
| Aggregate Base, 4 inch | Syd | 20 |
| Aggregate Surface Cse, 12 inch | Syd | 132 |
| Shld, Cl III, 4 inch | Syd | 160 |
| Culv, Cl A, Conc, 12 inch | Ft | 72 |
| Culv End Section, Conc, 12inch | Ea | 2 |
| Sewer, Cl A, 12 inch, Tr Det B | Ft | 277 |
| Dr Structure Cover, Adj, Case 2 | Ea | 1 |
| Dr Structure Cover, Type G | Ea | 2 |
| Dr Structure, 48 inch dia | Ea | 1 |
| Dr Structure, 60 inch dia | Ea | 1 |
| Dr Structure, Tap, 12 inch | Ea | 1 |
| HMA Surface, Rem | Syd | 5390 |
| HMA, 4EL | Ton | 1130 |
| HMA, 5EL | Ton | 470 |
| Conc Pavt, Misc, Nonreinf, 8 inch | Syd | 65 |
| Curb and Gutter, Conc, Det F4 | Ft | 150 |
| Post, Mailbox | Ea | 1 |
| Sign, Type III, Rem | Ea | 2 |
| _ Bollard | Ea | 1 |
| Pavt Mrkg, Ovly Cold Plastic, 24 inch, Stop Bar | Ft | 34 |
| Pavt Mrkg, Waterborne, 4 inch, Yellow | Ft | 3090 |
| Pavt Mrkg, Waterborne, 6 inch, White | Ft | 2440 |
| Traffic Control | LSUM | 1 |
| Riprap, Plain | Syd | 2 |
| Turf Establishment | Syd | 1090 |
| Gate Box, Adj, Case 2 | Ea | 1 |
| Sanitary Structure Cover, Adj, Case 1 | Ea | 3 |



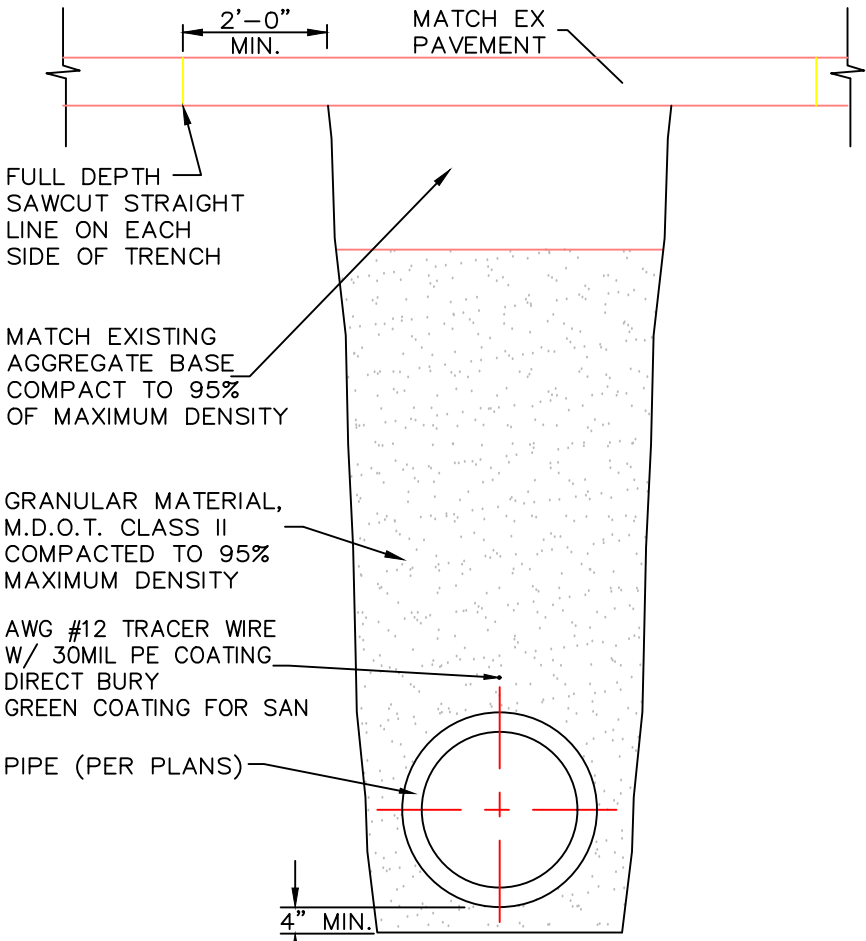
| REVISIONS | DATE |
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| DATE OF PLAN | 10/21/25 |
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ARCH STREET
MECHANIC TO M-99

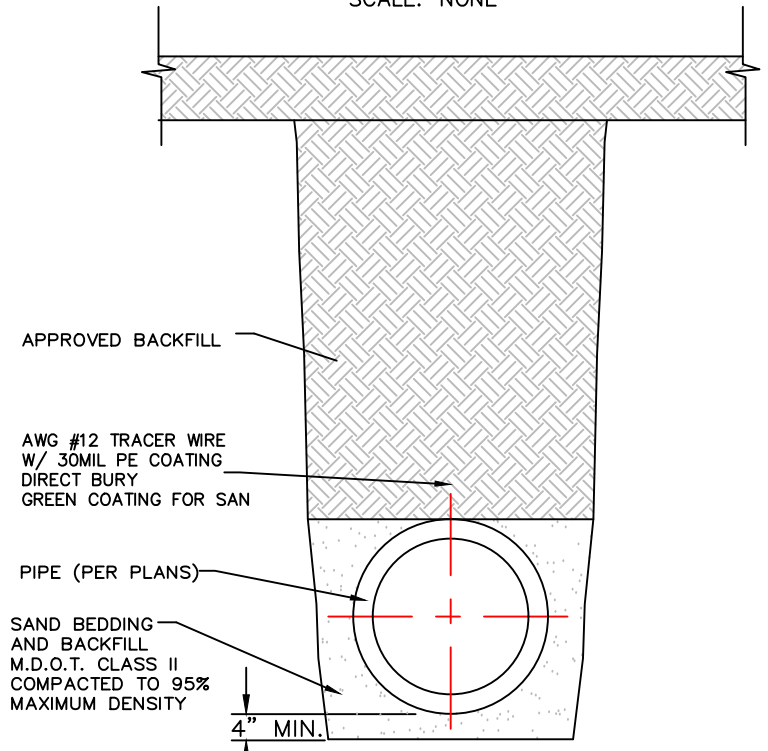
CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN

PAVEMENT SECTIONS
INFORMATIONAL QUANTITIES

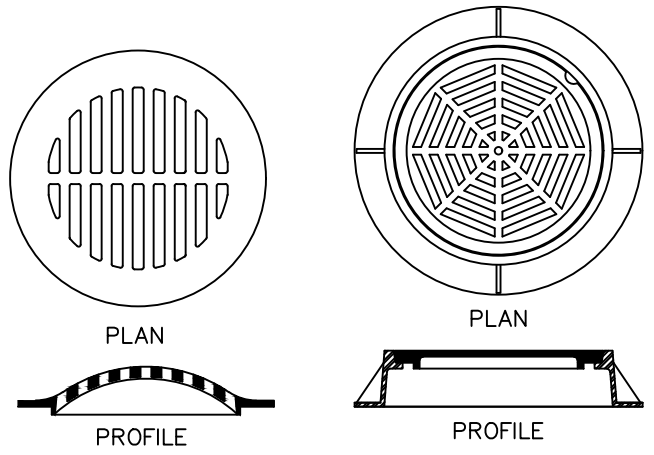
| SCALE | H 1" = 100' | |
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| | NAME | DATE |
| DESIGNED | KLB | 7/28/23 |
| DRAWN | ES/RDS | 10/21/25 |
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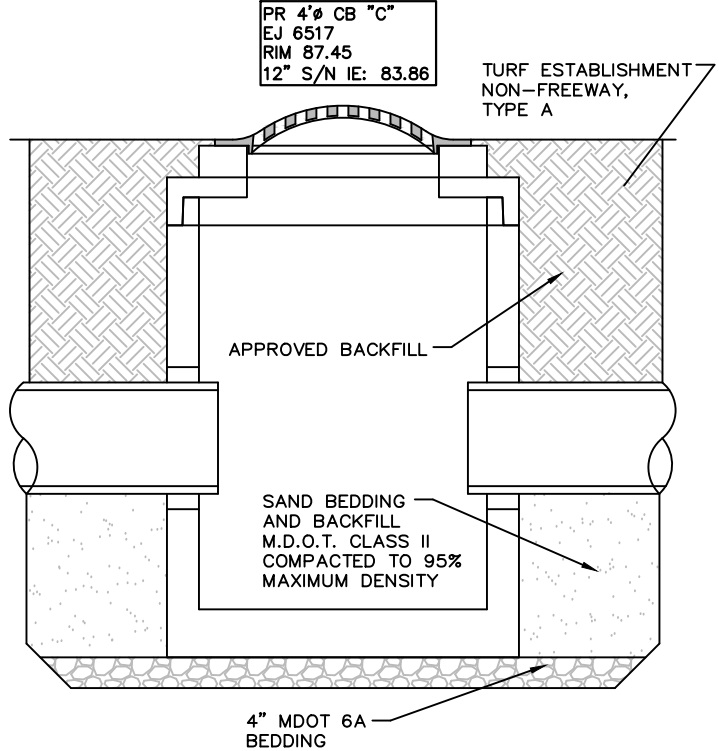
**STORM SEWER TRENCH DETAIL
UNDER EXISTING ROADWAY**
SCALE: NONE



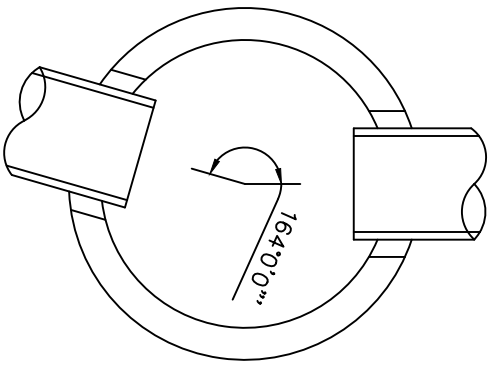
**STORM SEWER TRENCH DETAIL
UNDER LAWN OR DITCH AREA**
SCALE: NONE



| CASTING EQUIVALENTS | |
|---------------------|----------|
| EAST JORDAN | M.D.O.T. |
| 1040 | "B" |
| 6508 | "E" |
| 6517 | "G" |
| 7045 | "K" |
| 7065 | "C" |
| 1040 w/ "Sanitary" | "q" |

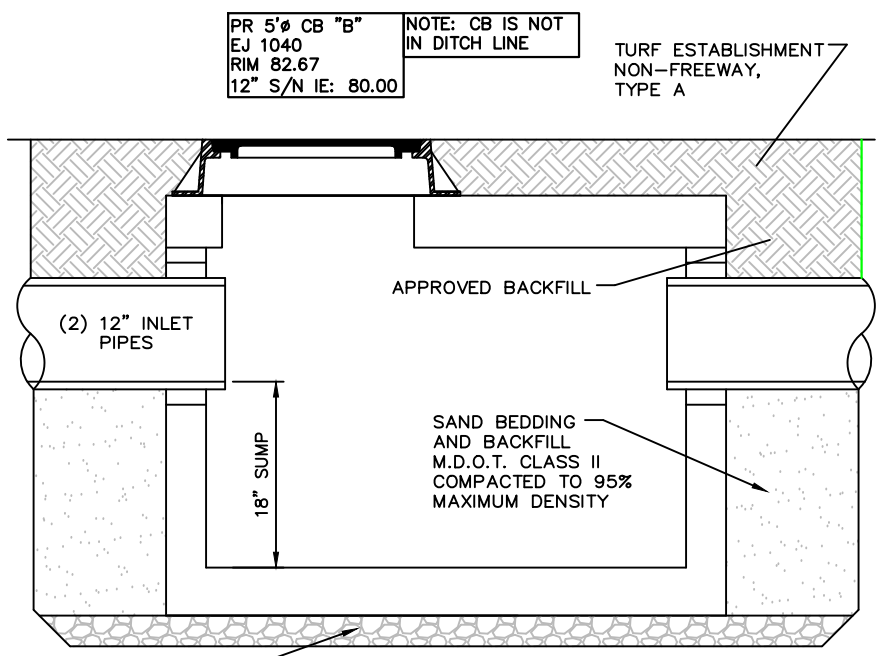


CB 'C' DETAIL
SCALE: NONE

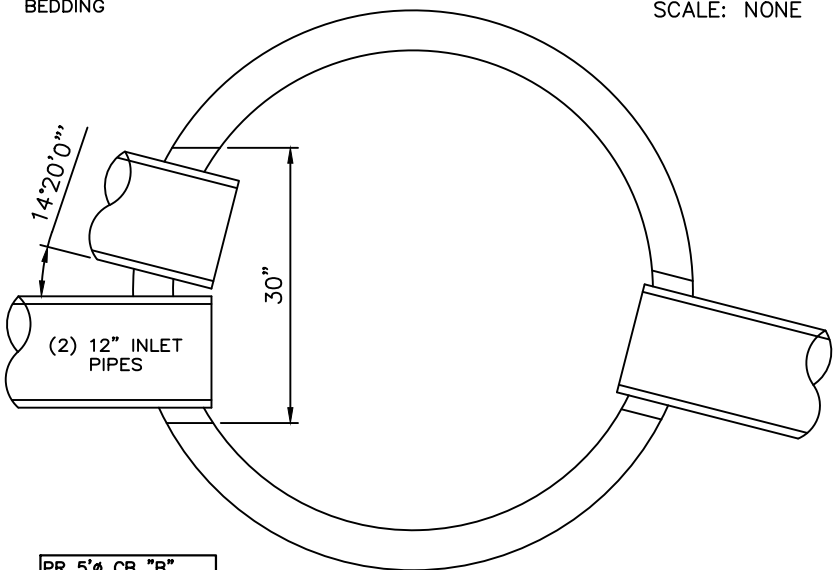


PR 4" CB "C"
EJ 6517
RIM 87.45
12" S/N IE: 83.86

CB 'C' DETAIL
SCALE: NONE



CB 'B' DETAIL
SCALE: NONE



PR 5" CB "B"
EJ 1040
RIM 82.67
12" S/N IE: 80.00

CB 'B' DETAIL
SCALE: NONE

| REVISIONS | DATE |
|--------------|----------|
| DATE OF PLAN | 10/21/25 |
| | |
| | |
| | |
| | |
| | |
| | |
| | |
| | |

**ARCH STREET
MECHANIC TO M-99**
**CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN**
**STORM SEWER
DETAIL SHEET**

| SCALE | H 1" = 100' | |
|----------|-------------|----------|
| DESIGNED | NAME | DATE |
| | KL B | 7/28/23 |
| DRAWN | ES/RDS | 10/21/25 |
| CHECKED | | |

10-Nov-25

**Arch Street
Mechanic to Carleton (M-99)**

Street Resurfacing and drainage improvements

Opinion of Probable Costs

Summary:

| | | |
|--|-----------|-------------------|
| Opinion of Probable Construction Costs | \$ | 368,275.00 |
| Design Engineering | \$ | 19,650.00 |
| Inspection and Project Management | \$ | 13,910.00 |
| Special Assessment | \$ | 4,870.00 |
| Contingencies | \$ | 41,295.00 |
| Total Opinion of Probable Costs | \$ | 448,000.00 |

Design and Inspection are at 9.1% of Construction Costs. Consulting Firms are typically 15-20% of Construction Costs.

| Construction | | | | | |
|---|---|----------|-------|--------------|----------------------|
| Line | Pay Item | Quantity | Units | Unit Price | Price |
| 1 | Above Ground Video Survey | 1 | LSUM | \$ 2,125.00 | \$ 2,125.00 |
| 2 | Mobilization, Max 10% | 1 | LSUM | \$ 36,968.00 | \$ 36,968.00 |
| 3 | Culv, Rem, Less than 24 inch | 2 | Ea | \$ 1,110.00 | \$ 2,220.00 |
| 4 | Sewer, Rem, Less than 24 inch | 18.5 | Ft | \$ 25.00 | \$ 462.50 |
| 5 | Structures, Rem | 1 | LSUM | \$ 100.00 | \$ 100.00 |
| 6 | Ditch Cleanout | 2 | Sta | \$ 600.00 | \$ 1,200.00 |
| 7 | Roadway Grading | 16.9 | Sta | \$ 2,350.00 | \$ 39,715.00 |
| 8 | Erosion Control, Inlet Protection, Fabric Drop | 9 | Ea | \$ 140.00 | \$ 1,260.00 |
| 9 | Aggregate Base, 3 inch | 77 | Syd | \$ 15.00 | \$ 1,155.00 |
| 10 | Aggregate Base, 4 inch | 20 | Syd | \$ 15.00 | \$ 300.00 |
| 11 | Aggregate Surface Cse, 12 inch | 132 | Syd | \$ 31.00 | \$ 4,092.00 |
| 12 | Shld, CI III, 4 inch | 160 | Syd | \$ 25.00 | \$ 4,000.00 |
| 13 | Culv, CI A, Conc, 12 inch | 72 | Ft | \$ 75.00 | \$ 5,400.00 |
| 14 | Sewer, CI A, 12 inch, Tr Det B | 277 | Ft | \$ 90.00 | \$ 24,930.00 |
| 15 | Dr Structure Cover, Adj, Case 2 | 1 | Ea | \$ 500.00 | \$ 500.00 |
| 16 | Dr Structure Cover, Type G | 2 | Ea | \$ 630.00 | \$ 1,260.00 |
| 17 | Dr Structure, 48 inch dia | 1 | Ea | \$ 4,000.00 | \$ 4,000.00 |
| 18 | Dr Structure, 60 inch dia | 1 | Ea | \$ 5,000.00 | \$ 5,000.00 |
| 19 | Dr Structure, Tap, 12 inch | 1 | Ea | \$ 700.00 | \$ 700.00 |
| 20 | HMA Surface, Rem | 5390 | Syd | \$ 9.00 | \$ 48,510.00 |
| 21 | HMA, 4EL | 1130 | Ton | \$ 80.00 | \$ 90,400.00 |
| 22 | HMA, 5EL | 470 | Ton | \$ 89.00 | \$ 41,830.00 |
| 23 | Conc Pavt, Misc, Nonreinf, 8 inch | 65 | Syd | \$ 68.00 | \$ 4,420.00 |
| 24 | Curb and Gutter, Conc, Det F4 | 150 | Ft | \$ 45.00 | \$ 6,750.00 |
| 25 | Post, Mailbox | 1 | Ea | \$ 300.00 | \$ 300.00 |
| 26 | Sign, Type III, Rem | 2 | Ea | \$ 25.00 | \$ 50.00 |
| 27 | BOLLARD | 1 | Ea | \$ 185.00 | \$ 185.00 |
| 28 | Pavt Mrkg, Ovly Cold Plastic, 24 inch, Stop Bar | 34 | Ft | \$ 15.00 | \$ 510.00 |
| 29 | Pavt Mrkg, Waterborne, 4 inch, Yellow | 3090 | Ft | \$ 0.25 | \$ 772.50 |
| 30 | Pavt Mrkg, Waterborne, 6 inch, White | 2440 | Ft | \$ 0.25 | \$ 610.00 |
| 31 | Traffic Control | 1 | LSUM | \$ 15,000.00 | \$ 15,000.00 |
| 32 | Riprap, Plain | 2 | Syd | \$ 300.00 | \$ 600.00 |
| 33 | Turf Establishment | 1090 | Syd | \$ 15.00 | \$ 16,350.00 |
| 34 | Gate Box, Adj, Case 2 | 1 | Ea | \$ 100.00 | \$ 100.00 |
| 35 | Sanitary Structure Cover, Adj, Case 1 | 3 | Ea | \$ 1,500.00 | \$ 4,500.00 |
| 36 | Culv End Sect, Conc, 12 inch | 2 | Ea | \$ 1,000.00 | \$ 2,000.00 |
| Opinion of Probable Construction Costs | | | | | \$ 368,275.00 |



MEMORANDUM

Date: January 13, 2026

To: City Council, City Manager Mackie, DPS Director Blake

From: Robert Stiverson, PE, City Engineer

Subject: Industrial Dr – Mechanic to Beck Rd
Proctor – Industrial Dr to Dead End

Please find the attach draft Opinion of Probable Costs, bid document, and plans for the subject project.

We are recommending a budget of

| | |
|--|---------------------|
| Construction – Industrial | \$643,176.57 |
| Engineering/Project Management/Special Assessment | \$ 35,920.00 |
| Contingencies: | \$ 64,403.43 |
| Total: | \$743,500.00 |
| | |
| Construction – Proctor | \$105,000.00 |
| Engineering/Project Management/Special Assessment | \$ 5,000.00 |
| Contingencies | \$ 15,000.00 |
| Total: | \$125,000.00 |

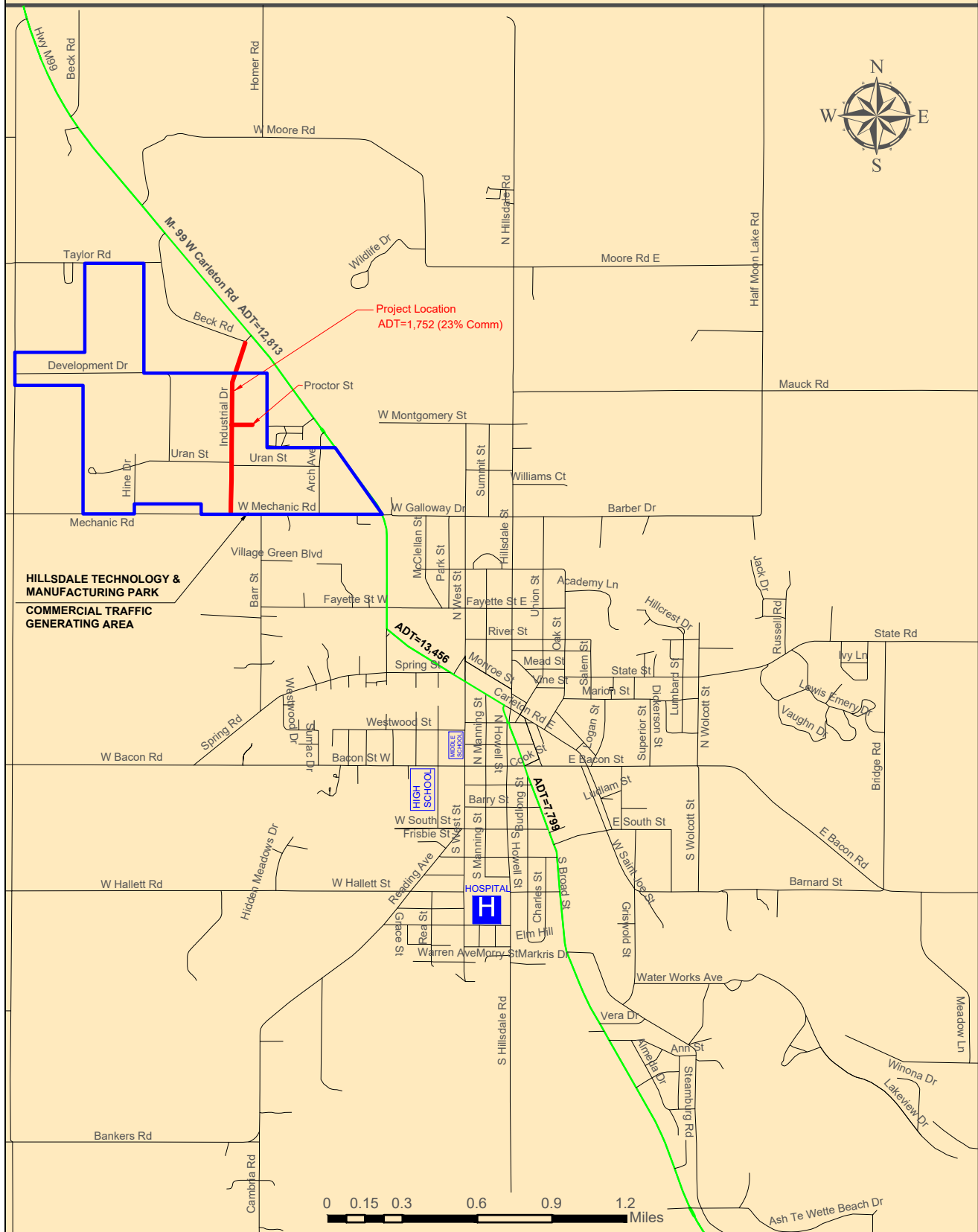
Project Management is based on full-time inspection, however, we plan on performing Part Time inspection with the hours based on the quality and performance of the contractor.

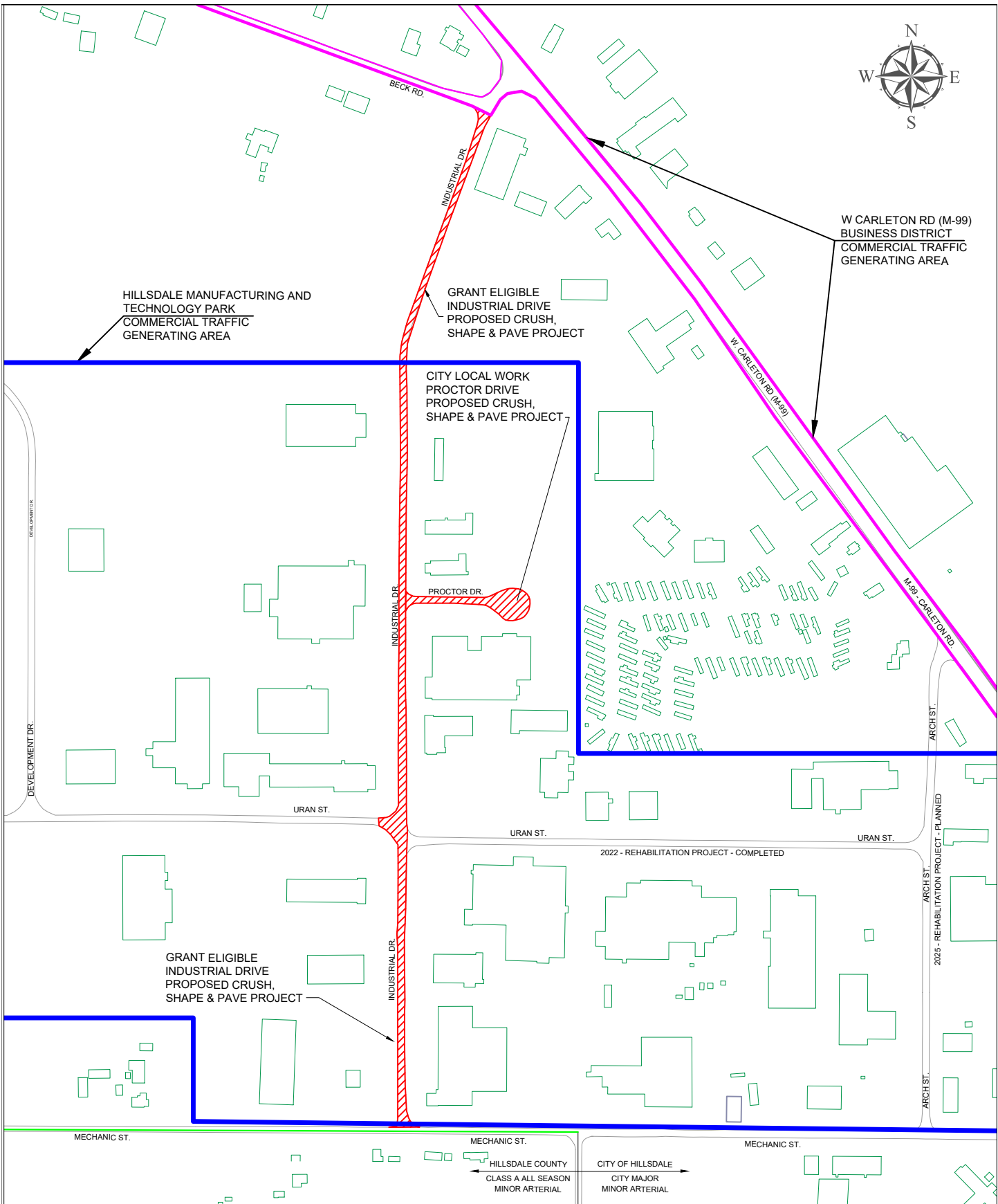
As always, Construction costs are based on Historic Bid Tabulations for the City of Hillsdale with a comparison of MDOT Unit Prices. Project Management/Inspection is based on MDOT guideline for installation of Quantities and previous experience.

Contingencies are approximately 10%, and are recommended based on there are unknowns in the field that could impact project costs.

The City has been award a TEDF Grant in the Amount of \$375,000.00 for Industrial Dr from Mechanic to Beck Road.

CITY OF HILLSDALE, MICHIGAN

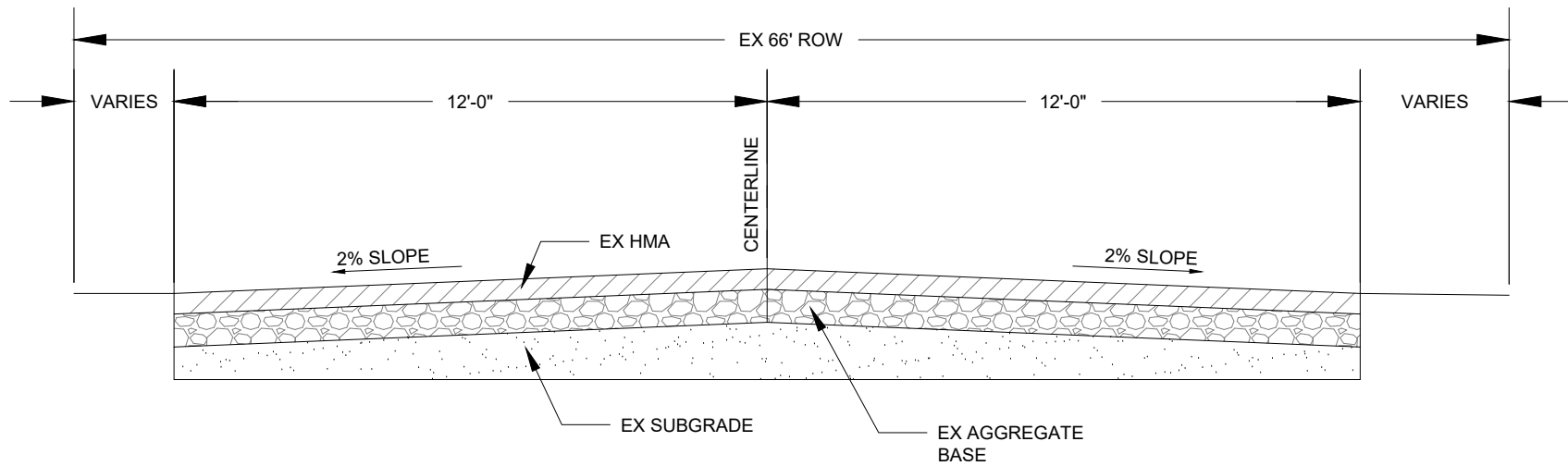




INDUSTRIAL DRIVE BECK RD. TO MECHANIC ST

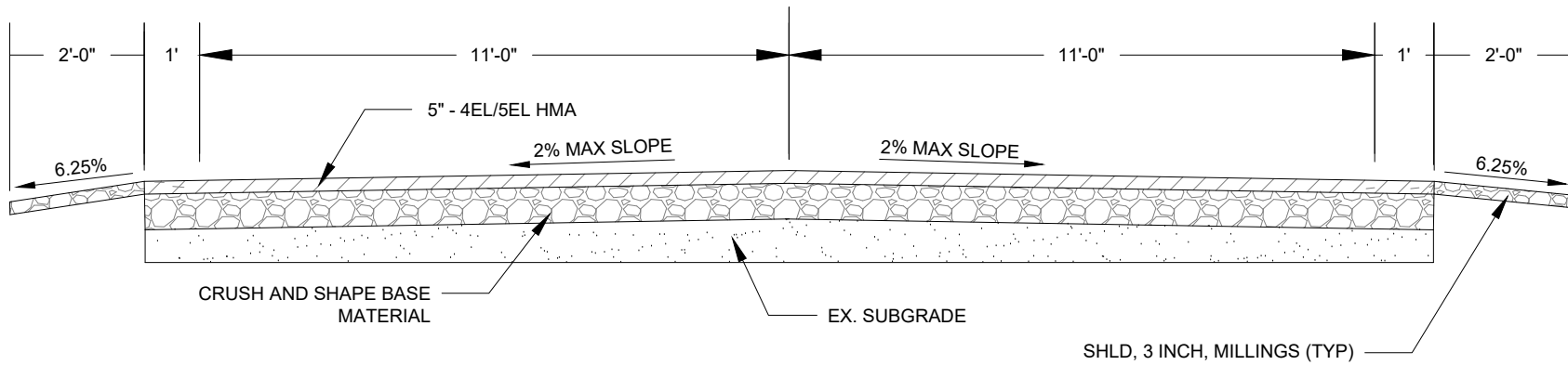
- STATE TRUCKLINE - M-99
- HILLSDALE TECHNOLOGY PARK BOUNDARY
- HILLSDALE COUNTY ALL SEASON ROAD

| | Name | Date | Drawing No. |
|----------|------|---------|--------------|
| Designed | KLB | 4/4/25 | 1 |
| Drawn | KLB | 4/4/25 | |
| Revised | RDS | 1/13/26 | |
| | | | Sheet 1 of 1 |



TYP. ROAD CROSS SECTION
EXISTING

1



TYP. ROAD CROSS SECTION
PROPOSED

2

Engineer's Opinion of Costs

| | |
|---|--|
| Project Number: 2027 - TEDF F Estimate Number: 1: Industrial Dr - Beck to Mechanic Project Type: Miscellaneous Location: Industrial Dr - Beck to Mechanic Description: Crush/Shape/Pave with concrete curbs at intersections and pavement markings | Project Engineer: Kristin Bauer Date Created: 4/2/2025 Date Edited: 8/28/2025 Fed/State #: Fed Item: Control Section: |
|---|--|

| Line | Pay Item | Description | Quantity | Units | Unit Price | Total |
|-----------------------|----------|---|------------|-------|-------------|--------------|
| Category: 0000 | | | | | | |
| 0001 | 1100001 | Mobilization, Max 10% | 1.000 | LSUM | \$62,218.00 | \$62,218.00 |
| 0002 | 2040050 | Pavt, Rem | 200.000 | Syd | \$13.00 | \$2,600.00 |
| 0003 | 2050016 | Excavation, Earth | 150.000 | Cyd | \$40.00 | \$6,000.00 |
| 0004 | 2050041 | Subgrade Undercutting, Type II | 300.000 | Cyd | \$41.13 | \$12,339.00 |
| 0005 | 2087051 | _ Soil Erosion and Sedimentation Control | 1.000 | LSUM | \$25,000.00 | \$25,000.00 |
| 0006 | 3020050 | Aggregate Base, Conditioning | 300.000 | Syd | \$12.00 | \$3,600.00 |
| 0007 | 3050002 | HMA Base Crushing and Shaping | 10,925.000 | Syd | \$2.71 | \$29,606.75 |
| 0008 | 3077011 | _ Shoulder, 3 Inch, Millings | 2,000.000 | Syd | \$20.00 | \$40,000.00 |
| 0009 | 4030005 | Dr Structure Cover, Adj, Case 1 | 11.000 | Ea | \$750.00 | \$8,250.00 |
| 0010 | 4030006 | Dr Structure Cover, Adj, Case 2 | 5.000 | Ea | \$750.00 | \$3,750.00 |
| 0011 | 4037050 | _ EJIW 1045 w/1040 "Sanitary" Lid | 16.000 | Ea | \$1,000.00 | \$16,000.00 |
| 0012 | 5010005 | HMA Surface, Rem | 500.000 | Syd | \$10.00 | \$5,000.00 |
| 0013 | 5012024 | HMA, 4EL | 2,200.000 | Ton | \$100.00 | \$220,000.00 |
| 0014 | 5012036 | HMA, 5EL | 1,000.000 | Ton | \$110.00 | \$110,000.00 |
| 0015 | 8010007 | Driveway, Nonreinf Conc, 8 inch | 200.000 | Syd | \$80.00 | \$16,000.00 |
| 0016 | 8020038 | Curb and Gutter, Conc, Det F4 | 750.000 | Ft | \$30.00 | \$22,500.00 |
| 0017 | 8027050 | _ Concrete Spillway, Modified | 1.000 | Ea | \$700.00 | \$700.00 |
| 0018 | 8070095 | Post, Mailbox | 8.000 | Ea | \$141.74 | \$1,133.92 |
| 0019 | 8110045 | Pavt Mrkg, Ovly Cold Plastic, 24 inch, Stop Bar | 70.000 | Ft | \$15.37 | \$1,075.90 |
| 0020 | 8110231 | Pavt Mrkg, Waterborne, 4 inch, White | 7,100.000 | Ft | \$0.27 | \$1,917.00 |
| 0021 | 8110232 | Pavt Mrkg, Waterborne, 4 inch, Yellow | 7,100.000 | Ft | \$0.24 | \$1,704.00 |
| 0022 | 8127051 | _ Traffic Control | 1.000 | LSUM | \$25,000.00 | \$25,000.00 |

| Line | Pay Item | Description | Quantity | Units | Unit Price | Total |
|----------------------|----------|-----------------------|-----------|-------|------------|--------------|
| 0023 | 8167011 | _ Turf Establishment | 4,300.000 | Syd | \$16.00 | \$68,800.00 |
| 0024 | 8230431 | Gate Box, Adj, Case 1 | 3.000 | Ea | \$400.00 | \$1,200.00 |
| Category 0000 Total: | | | | | | \$684,394.57 |

| Line | Pay Item | Description | Quantity | Units | Unit Price | Total |
|-----------------|----------|-------------|----------|-------|------------|--------------|
| Estimate Total: | | | | | | \$684,394.57 |

Engineer's Opinion of Costs

Project Number: Proctor Street

Estimate Number: 1

Project Type: Miscellaneous

Location: Industrial to Dead End

Description:

Project Engineer: Robert Stiverson, PE

Date Created: 1/13/2026

Date Edited: 1/13/2026

Fed/State #:

Fed Item:

Control Section:

| Line | Pay Item | Description | Quantity | Units | Unit Price | Total |
|-----------------------|----------|---------------------------------|-----------|-------|------------|-------------|
| Category: 0000 | | | | | | |
| 0001 | 1100001 | Mobilization, Max | 1.000 | LSUM | \$8,680.50 | \$8,680.50 |
| 0002 | 3020050 | Aggregate Base, Conditioning | 110.000 | Syd | \$12.00 | \$1,320.00 |
| 0003 | 3050002 | HMA Base Crushing and Shaping | 2,185.000 | Syd | \$2.70 | \$5,899.50 |
| 0004 | 3077011 | _ Shoulder, 3 Inch, Millings | 490.000 | Syd | \$20.00 | \$9,800.00 |
| 0005 | 4030005 | Dr Structure Cover, Adj, Case 1 | 2.000 | Ea | \$750.00 | \$1,500.00 |
| 0006 | 5010005 | HMA Surface, Rem | 110.000 | Syd | \$10.00 | \$1,100.00 |
| 0007 | 5012024 | HMA, 4EL | 510.000 | Ton | \$100.00 | \$51,000.00 |
| 0008 | 5012036 | HMA, 5EL | 220.000 | Ton | \$110.00 | \$24,200.00 |
| 0009 | 8127051 | _ Traffic Control | 1.000 | LSUM | \$1,500.00 | \$1,500.00 |

Category 0000 Total: \$105,000.00

| Line | Pay Item | Description | Quantity | Units | Unit Price | Total |
|-----------------|----------|-------------|----------|-------|------------|--------------|
| Estimate Total: | | | | | | \$105,000.00 |



Notice of Public Hearing

Date and Resolution Number Establishing Special Assessment District: January 20, 2026,
Resolution #3665

Project Description: 2026-1 Arch Avenue, Industrial Drive, and Proctor Drive milling and
resurfacing

Public Hearing #1 Date, Time, and Location: Monday, February 16, 2026 at 7:00 p.m., 3rd Floor
Council Chambers, Hillsdale City Hall, 97 North Broad Street, Hillsdale, Michigan 49242

Notice Mailing Date: On or before February 6, 2026

Hillsdale City Council has made a determination that the above identified public improvements are necessary and proper, and that all or part of the costs thereof should be defrayed by special assessment against certain specially benefitting properties. Therefore, pursuant to Hillsdale City Code Section 2-334, a public hearing has been scheduled to consider any objections to this project. **You are receiving this notice because it has been determined that you are the owner of property specially benefitting from the proposed project.**

Written objections may be mailed or dropped off to:

**Hillsdale City Clerk
97 N Broad St
Hillsdale, MI 49242**

- The plans, specifications and estimates of cost have been placed on file with the City Clerk for review.
- Affected property owners will be given an opportunity during the public hearing to comment, ask questions about the project, and submit written objections to the improvements or the description of the lands and premises to be assessed.
- If more than 50 percent of the number of owners of privately owned real property to be assessed object in writing to the proposed improvement, the improvement shall not be made without the affirmative vote of seven of the members of the council.

After the close of the public hearing, Council may make a motion to vote on a resolution to make the improvement and to defray all or part of the cost by special assessment. This resolution will direct the assessor to prepare the assessment roll and must include the percentage of the cost to be levied by special assessment, the method of allocation, the number of annual installments, the interest rate to be charged upon the deferred balance, and a statement that special assessments may

be paid in advance, with interest only to the date of payment. If passed, a second public hearing will be scheduled and noticed to provide affected property owners and interested parties an opportunity to protest the amount of any assessment.

Michigan Compiled Law (MCL) Section 211.741 Required Statements:

- Appearance and protest at the hearing in the special assessment proceedings is required in order to appeal the amount of the special assessment to the state tax tribunal.
- An owner or party in interest, or his or her agent may appear in person at the hearing to protest the special assessment, or shall be permitted to file his or her appearance or protest by letter and his or her personal appearance shall not be required.

Additional Appeal Information:

- Hillsdale City Charter, Section 11.7. – Contested assessments. “Except and unless notice is given to the Council in writing of an intention to contest or enjoin the collection of any special assessment within thirty days after the date of the meeting of the Council at which the assessment roll is finally confirmed, which notice shall state the grounds on which the proceedings are to be contested, no suit or action of any kind shall be instituted or maintained for the purpose of contesting or enjoining the collection of such special assessment. Further, whether or not any public improvement is completed in any special assessment district, no owner of real property located in such district shall be entitled to commence any suit or action for the purpose of contesting or enjoining the collection of any such special assessment after he has received a benefit from the substantial completion of that portion of such public improvement for which he is assessed.” (emphasis added)
- Michigan Compiled Laws, Section **211.746 Statement of right to file written appeal**. Sec. 6. “If a special assessment is made against property, the notice of the special assessment sent to the property owner or person responsible for payment of the ad valorem property taxes under the general property tax act, Act No. 206 of the Public Acts of 1893, being sections 211.1 to 211.157 of the Michigan Compiled Laws, shall include, in addition to any other requirements by statute or charter, a statement that the owner or any person having an interest in the real property may file a written appeal of the special assessment with the state tax tribunal within 30 days after the confirmation of the special assessment roll if that special assessment was protested at the hearing held for the purpose of confirming the roll.” (emphasis added)
 - Petition forms are available and may be filed online with the Michigan Tax Tribunal at www.michigan.gov/taxtrib.
 - The correct form to use can be found under Small Claims, “Property Tax Appeal Petition Form Special Assessment.” Failure to use the correct form may result in a delay or dismissal of your appeal.

400 ARCH LLC
PO BOX 292
BETTENDORF IA 52722

AAA STORAGE BY U LLC
P O BOX 660
READING MI 49274

ACT TEST PANELS LLC
273 INDUSTRIAL DR
HILLSDALE MI 49242

ARCHIE REAL ESTATE LLC
33 BLOOMFIELD HILLS PKWY STE 120
BLOOMFIELD HILLS MI 48304

COBRA
HOLDINGS LLC
240 URAN ST
HILLSDALE MI 49242

HILLSDALE HOLDINGS LLC
228 BETHANNA DR
COLDWATER MI 49036

CONDON FAMILY LLC
THOMAS & KURTIS CONDON, MEMBERS
2398 STEAMBURG RD
HILLSDALE MI 49242

DESJARDIN, DAN
1423 HUDSON RD
HILLSDALE MI 49242

EMAC PROPERTIES LLC
1350 S PITTSFORD RD
OSSEO MI 49266

ESSEX SPECIALTY PRODUCTS
INC
C/O TAX DEPT - PROP
P O 2899
WILMINGTON DE 19805

FOUST ELECTRO MOLD INC
277 INDUSTRIAL AVE
HILLSDALE MI 49242

HILLSDALE CLASSICAL LLC
89 S HOWELL ST
HILLSDALE MI 49242

HILLSDALE PROPERTIES, LLC
PERDEW, DAN, RESIDENT AGENT
215 MECHANIC ST
HILLSDALE MI 49242

JACKSON COMMUNITY COLLEGE
211 EMMONS RD
JACKSON MI 49201

JACKSON-HILLSDALE COMM MH BOARD
1200 N WEST AVE
JACKSON MI 49202

LEONARD'S PROPERTY MANAGEMENT LLC
6719 HALLENBECK HWY
MANITOU BEACH MI 49253

PATILLO FAMILY PROPERTIES LLC
3220 W CARLETON RD
HILLSDALE MI 49242

PENN, MICHAEL ALLAN
2806 W CARLETON RD
HILLSDALE MI 49242

PH COMMERCIAL LLC
728 SILVER SHORE DR SE
GRAND RAPIDS MI 49548

PRECISION GAGE LLC
1401 S GRANDSTAFF DR
AUBURN IN 46706

RATHBUN, LARRY
410 WEST ST
JONESVILLE MI 49250

RUPERT, DENNIS A & RENEE C
4411 MECHANIC RD
HILLSDALE MI 49242

SANDY, TROY A
SANDY, TROY T
1995 MOORE RD
HILLSDALE MI 49242

TI GROUP AUTOMOTIVE SYSTEMS LLC
C/O JESSICA RICHARDS
2020 TAYLOR RD
AUBURN HILLS MI 48326

TWOZONE, LLC
HOMOVEC, DREW T, RESIDENT AGENT
221 INDUSTRIAL DR
HILLSDALE MI 49242

| Parcel Number | Street Address | Owner Name | 2025 Class | Current use | Total Acres | Arch, Industrial, or | | | 2025 SEV | Estimated True Cash Value | Per Parcel Cap by Ordinance (HMC Sec 2-235) | Cap Based on Property Class | FF Share with Class Caps | % of Total Cost specially assessed |
|----------------|----------------------|------------------------------------|------------|---------------------------------|-------------|----------------------|------------|-------------|------------|---------------------------|---|-----------------------------|--------------------------|------------------------------------|
| | | | | | | Proctor | Front Feet | Corner Lot? | | | | | | |
| 006-015-300-13 | 3220 W Carleton Rd | Patillo Family Properties LLC | 201 | shopping center | 2.83 | | 415.00 | Long | 433,600 | \$ 867,200 | \$ 216,800.00 | \$ 10,000.00 | \$ 10,000.00 | 0.75% |
| 006-016-400-21 | 3310 Beck Rd | Jackson-Hillsdale Comm Ment Health | 201 | vacant lot | 2.20 | | 181.28 | Short | 20,000 | \$ 40,000 | \$ 10,000.00 | \$ 10,000.00 | \$ 10,000.00 | 0.75% |
| 006-016-400-22 | 300 Industrial Dr | Jackson-Hillsdale Comm Ment Health | 201 | vacant lot | 6.27 | | 778.60 | No | 65,000 | \$ 130,000 | \$ 32,500.00 | \$ 10,000.00 | \$ 10,000.00 | 0.75% |
| 006-016-400-35 | 3120 W Carleton Rd | Jackson Community College | 201 | school | 8.34 | | 613.05 | Long | 714,200 | \$ 1,428,400 | \$ 357,100.00 | \$ 10,000.00 | \$ 10,000.00 | 0.75% |
| 006-221-226-07 | 260 Industrial Dr | Precision Gage LLC | 301 | industrial processing/warehouse | 4.38 | | 300.00 | No | 403,700 | \$ 807,400 | \$ 201,850.00 | \$ 15,000.00 | \$ 15,000.00 | 1.13% |
| 006-221-226-11 | 282 Industrial Dr | Precision Gage LLC | 301 | industrial processing/warehouse | 5.53 | | 380.00 | No | 1,295,600 | \$ 2,591,200 | \$ 647,800.00 | \$ 15,000.00 | \$ 15,000.00 | 1.13% |
| 006-221-226-12 | 285 Industrial Dr | AAA Storage By U LLC | 201 | warehouse, mini | 5.24 | | 380.00 | No | 95,300 | \$ 190,600 | \$ 47,650.00 | \$ 10,000.00 | \$ 10,000.00 | 0.75% |
| 006-221-226-13 | 279 Industrial Dr | Hillsdale Classical LLC | 301 | school | 1.09 | | 174.78 | No | 140,809 | \$ 281,617 | \$ 70,404.25 | \$ 15,000.00 | \$ 13,732.68 | 1.04% |
| 006-221-226-14 | 277 Industrial Dr | Foust Electro Mold Inc | 301 | industrial processing/warehouse | 1.09 | | 174.78 | No | 120,400 | \$ 240,800 | \$ 60,200.00 | \$ 15,000.00 | \$ 13,732.68 | 1.04% |
| 006-221-226-15 | Proctor Dr Parking | Hillsdale Classical LLC | 301 | parking lot | 1.17 | | 165.00 | No | 24,000 | \$ 48,000 | \$ 12,000.00 | \$ 15,000.00 | \$ 12,000.00 | 0.90% |
| 006-221-226-16 | Proctor Dr | ACT Test Panels LLC | 301 | vacant lot | 1.47 | | 75.00 | No | 16,600 | \$ 33,200 | \$ 8,300.00 | \$ 15,000.00 | \$ 5,892.84 | 0.44% |
| 006-221-226-17 | Proctor Dr Parking | ACT Test Panels LLC | 301 | parking lot | 1.47 | | 75.00 | No | 22,900 | \$ 45,800 | \$ 11,450.00 | \$ 15,000.00 | \$ 5,892.84 | 0.44% |
| 006-221-226-21 | 263 Industrial Dr | Leonard's Property Management LLC | 301 | industrial processing/warehouse | 2.57 | | 451.85 | Long | 198,900 | \$ 397,800 | \$ 99,450.00 | \$ 15,000.00 | \$ 15,000.00 | 1.13% |
| 006-221-226-22 | 256 Industrial Dr | Precision Gage LLC | 301 | industrial processing/warehouse | 3.41 | | 234.00 | Short | 688,400 | \$ 1,376,800 | \$ 344,200.00 | \$ 15,000.00 | \$ 13,789.25 | 1.04% |
| 006-221-226-24 | 266 Industrial Dr | Condon Family LLC | 301 | industrial processing/warehouse | 8.74 | | 600.00 | No | 832,100 | \$ 1,664,200 | \$ 416,050.00 | \$ 15,000.00 | \$ 15,000.00 | 1.13% |
| 006-221-226-25 | 273 Industrial Dr | ACT Test Panels LLC | 301 | industrial processing/warehouse | 3.34 | | 349.56 | No | 595,000 | \$ 1,190,000 | \$ 297,500.00 | \$ 15,000.00 | \$ 15,000.00 | 1.13% |
| 006-221-276-01 | 221 Industrial Dr | Two2One LLC | 301 | industrial processing/warehouse | 5.24 | | 205.90 | Short | 283,700 | \$ 567,400 | \$ 141,850.00 | \$ 15,000.00 | \$ 12,133.36 | 0.91% |
| 006-221-276-04 | 215 Industrial Dr | PH Commercial LLC | 301 | industrial processing/warehouse | 1.61 | | 290.68 | No | 137,200 | \$ 274,400 | \$ 68,600.00 | \$ 15,000.00 | \$ 15,000.00 | 1.13% |
| 006-221-276-05 | 225 Mechanic St | Hillsdale Properties LLC | 301 | industrial processing/warehouse | 3.53 | | 456.00 | Long | 54,800 | \$ 109,600 | \$ 27,400.00 | \$ 15,000.00 | \$ 15,000.00 | 1.13% |
| 006-221-276-07 | 200 Industrial Dr | Hillsdale Properties LLC | 301 | industrial processing/warehouse | 4.23 | | 290.96 | No | 223,800 | \$ 447,600 | \$ 111,900.00 | \$ 15,000.00 | \$ 15,000.00 | 1.13% |
| 006-221-276-08 | 250 Industrial Dr | Cobra Holdings LLC | 301 | industrial processing/warehouse | 4.38 | | 300.00 | Short | 301,500 | \$ 603,000 | \$ 150,750.00 | \$ 15,000.00 | \$ 15,000.00 | 1.13% |
| 006-221-276-09 | 215 Mechanic St | Hillsdale Properties LLC | 301 | industrial processing/warehouse | 6.42 | | 467.70 | Short | 489,100 | \$ 978,200 | \$ 244,550.00 | \$ 15,000.00 | \$ 15,000.00 | 1.13% |
| 006-222-100-10 | 2806 W CARLETON RD | PENN, MICHAEL A | 401 | single-family residence | 2.58 | | 389.68 | Long | 182,000 | \$ 364,000 | \$ 91,000.00 | \$ 5,000.00 | \$ 5,000.00 | 0.38% |
| 006-222-100-11 | 420 ARCH AVE | 400 ARCH LLC | 301 | vacant lot | 0.39 | | 66 | No | 87,300 | \$ 174,600 | \$ 43,650.00 | \$ 15,000.00 | \$ 5,185.70 | 0.39% |
| 006-222-100-14 | 2768 W CARLETON RD | SANDY, TROY A | 201 | automotive service/sales | 0.62 | | 342.48 | Long | 151,500 | \$ 303,000 | \$ 75,750.00 | \$ 10,000.00 | \$ 10,000.00 | 0.75% |
| 006-222-100-15 | 2764 W CARLETON RD | SANDY, TROY A | 201 | vacant lot | 0.90 | | 16.50 | No | 95,000 | \$ 190,000 | \$ 47,500.00 | \$ 10,000.00 | \$ 1,296.42 | 0.10% |
| 006-222-151-04 | 400 ARCH AVE | 400 ARCH LLC | 301 | industrial processing/warehouse | 3.37 | | 269.11 | Short | 375,800 | \$ 751,600 | \$ 187,900.00 | \$ 15,000.00 | \$ 15,000.00 | 1.13% |
| 006-222-152-10 | 200 ARCH AVE | TI GROUP AUTOMOTIVE SYSTEMS LLC | 301 | industrial processing/warehouse | 5.67 | | 724.73 | Long | 623,600 | \$ 1,247,200 | \$ 311,800.00 | \$ 15,000.00 | \$ 15,000.00 | 1.13% |
| 006-222-152-12 | 190 URAN ST | ESSEX SPECIALTY PRODUCTS | 301 | industrial processing/warehouse | 20.30 | | 215.24 | Short | 1,195,400 | \$ 2,390,800 | \$ 597,700.00 | \$ 15,000.00 | \$ 12,683.75 | 0.96% |
| 006-222-177-01 | 407 ARCH AVE | RATHBUN, LARRY | 201 | warehouse/fleet service | 1.14 | | 140.60 | No | 45,800 | \$ 91,600 | \$ 22,900.00 | \$ 10,000.00 | \$ 10,000.00 | 0.75% |
| 006-222-177-02 | 405 ARCH AVE | RATHBUN, LARRY | 201 | warehouse/fleet service | 1.15 | | 128.00 | No | 35,300 | \$ 70,600 | \$ 17,650.00 | \$ 10,000.00 | \$ 10,000.00 | 0.75% |
| 006-222-177-03 | 305 ARCH AVE | EMAC PROPERTIES LLC | 301 | industrial processing/warehouse | 0.37 | | 80.00 | No | 115,100 | \$ 230,200 | \$ 57,550.00 | \$ 15,000.00 | \$ 6,285.70 | 0.47% |
| 006-222-177-06 | 301 ARCH AVE | ARCHIE REAL ESTATE LLC | 301 | industrial processing/warehouse | 3.48 | | 300.00 | No | 522,300 | \$ 1,044,600 | \$ 261,150.00 | \$ 15,000.00 | \$ 15,000.00 | 1.13% |
| 006-222-177-10 | 129 MECHANIC ST | RUPERT, DENNIS A & RENEE C | 201 | warehouse/fleet service | 0.85 | | 215.24 | Long | 80,800 | \$ 161,600 | \$ 40,400.00 | \$ 10,000.00 | \$ 8,455.83 | 0.64% |
| 006-222-177-14 | 303 ARCH AVE | RATHBUN, LARRY | 301 | vacant lot | 0.61 | | 33.00 | No | 9,700 | \$ 19,400 | \$ 4,850.00 | \$ 15,000.00 | \$ 2,592.85 | 0.20% |
| 006-222-177-15 | 305 ARCH AVE PARKING | EMAC PROPERTIES LLC | 301 | parking lot | 0.22 | | 47.00 | No | 5,100 | \$ 10,200 | \$ 2,550.00 | \$ 15,000.00 | \$ 2,550.00 | 0.19% |
| 006-222-177-16 | 201 ARCH AVE | DESJARDIN, DAN | 301 | warehouse/fleet service | 2.01 | | 159.99 | No | 64,500 | \$ 129,000 | \$ 32,250.00 | \$ 15,000.00 | \$ 12,570.61 | 0.95% |
| 006-222-177-17 | 271 ARCH AVE | ARCHIE REAL ESTATE LLC | 301 | vacant lot | 2.76 | | 227.00 | No | 24,600 | \$ 49,200 | \$ 12,300.00 | \$ 15,000.00 | \$ 12,300.00 | 0.93% |
| Totals: | | | | | 130.95 | | 10,713.71 | | 10,770,409 | \$ 21,540,817 | \$ 5,385,204.25 | | \$ 421,094.50 | 31.74% |

| | | |
|---|---|--------------|
| Parcel Count: | Per Parcel Flat Rate without caps (Property Owner Share/Parcel Count) | |
| | 38 | \$ 17,453.95 |
| % of Total specially assessed per parcel: | 2.63% | |

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|---|
| Calculated from SEV on last tax roll (estimated for exempt) |
| 25% |

| | | | |
|--|--|-----------------|---|
| Total ESTIMATED Project Cost: | | \$ 1,326,500.00 | |
| | Cost allocation without per parcel caps: | | Cost allocation with per parcel cap by ordinance: |
| | | | Cost allocation with per parcel cap by ordinance: |
| City Share | 50% | \$ 663,250.00 | 53% \$ 700,250.84 |
| Property Owner Share | 50% | \$ 663,250.00 | 47% \$ 626,249.16 |
| inferred values - exempt, abated, or easement access | | | |
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Estimated based on current policy

City of Hillsdale

Agenda Item Summary

Meeting Date: February 16, 2026

Agenda Item: Public Hearing

SUBJECT: 2026 Special Assessment District – SAD 2026-2, South Street – Public Hearing and Resolution

BACKGROUND PROVIDED BY STAFF:

At the January 20, 2026 City Council meeting a public hearing date of February 16, 2026 was set to consider any objections to the improvements under consideration for reconstruction of South St. The total estimated cost for this project is \$775,000. By City policy adopted February 17, 2025, up to 50% of the total project costs may be covered through special assessment to the 37 parcels currently identified in the South St. Special Assessment District (SAD 2026-2) which includes South St. from S. Broad St. (M-99) to Reading Ave.

The project cost split is in accordance with the City's Policy on Special Assessment Districts for Street Projects updated at the February 17, 2025 meeting. It is important to note that the total assessed cost to the affected property owners will not go above the policy maximum assessment limits based on classification or 25% of the property value per Hillsdale Ordinance Chapter 2, Article V, Section 2-335, whichever is the lesser amount. Notice of the meeting was published once each week for two successive weeks in the local newspaper. Affected property owners were mailed information on the proposed district on February 5, 2026.

According to the City Charter, Sec. 2-335 Hearing procedure, "If more than 50% of the number of owners of privately owned real property to be assessed for such improvement shall object in writing to the proposed improvement, the improvement shall not be made without the affirmative vote of seven of the members of the council."

RECOMMENDATION:

Based on the written objections received, which exceed 50% of the number of owners of privately owned real property proposed to be assessed, staff does not recommend establishment of the South Street Special Assessment District (SAD 2025-2). Pursuant to Sec. 2-335 of the City Charter, the improvement may not proceed absent the affirmative vote of seven members of the Council.

CITY OF HILLSDALE
RESOLUTION NO. _____

A RESOLUTION TO APPROVE ESTABLISHMENT OF THE SOUTH STREET SPECIAL ASSESSMENT DISTRICT (SAD 2026-2).

Minutes of a regular meeting of the City Council of the City of Hillsdale, Hillsdale County Michigan, held in the City Hall, City Council Chambers, 97 North Broad Street, Hillsdale, Michigan, in said City, on February 16, 2026 at 7:00 p.m.

PRESENT: _____

ABSENT: _____

The following preamble and resolution were offered by Councilperson _____ and supported by Councilperson _____.

WHEREAS, the City Council, by resolution 3666 at its January 20, 2026 regular meeting, deemed it necessary and declared its intention to construct improvements by reconstruction and other appurtenances of South Street from South Broad Street to Reading Avenue, and did provide for a public hearing to hear any objections to the proposed improvements; and

WHEREAS, a public hearing was held February 16, 2026 for said purpose; and

WHEREAS, the total cost of this project is estimated to be \$775,000.

NOW, THEREFORE, BE IT RESOLVED, that said public improvements be made and the City Manager be directed to proceed with the same; and

BE IT FURTHER RESOLVED, that the plans, specifications and detailed estimates relating to said improvements be hereby approved and adopted and the City Manager is directed to take action necessary to accomplish the said improvements; and

BE IT FURTHER RESOLVED, that Council does hereby determine that up to 50% of the costs are to be defrayed by special assessment, allocated as follows, in accordance with the policy and procedure adopted February 17, 2025:

1. The assessments will be individually determined by frontage and lot, and equally distributed thereto.

- a. In no case shall the whole amount to be levied by special assessment upon any lot or premises exceed 25 percent of the value of such lot or land as valued on the most recent assessment roll certified by the Board of Review.
- b. The whole amount to be levied upon any lot or premises is further subject to the following maximum amounts, based on property classification as defined in Michigan's General Property Tax Act, being Act 206 of 1893 as amended, Section 211.34c, and certified on same assessment roll;
 - i. For property classified as Residential no more than \$5,000
 - ii. For property classified as Commercial no more than \$10,000
 - iii. For all other property \$15,000
2. The special assessment may be paid in full without interest on or before August 31, 2026.
3. If remaining unpaid, the assessment shall be divided into 15 annual installments with the first installment also to be paid on or before August 31, 2026 without interest.
4. Deferred special assessment installments shall be subject to interest to the date of payment up to 6% (to be determined based on today's 10-year Treasury bond rate plus 1%).
5. Unpaid installments as of September 1 each year shall be certified by the City Treasurer and added to the winter tax bill.
6. All or a portion of the deferred special assessment balance or installments may be paid in advance at any time with interest only to the date of payment.
7. That the premiums upon which special assessments shall be levied, and which shall be hereafter known and designated as Special Assessment District 2026-2, are described as follows:

Special Assessment Properties
South Street – South Broad Street to Reading Avenue

BE IT FURTHER RESOLVED, that the Assessor is hereby directed to cause the special assessments to be made, and report same to Council within 90 days, at which time the report shall be placed on file with the City Clerk and a public hearing scheduled to review the special assessment roll.

The foregoing resolution offered by Councilmember _____

And supported by Councilmember _____

The vote in favor of the resolution being as follows:

Roll call: _____

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Motion _____, _____ - _____

Resolution declared _____.

Date: February 16, 2026

Scott Sessions, Mayor

Katy Price, Clerk

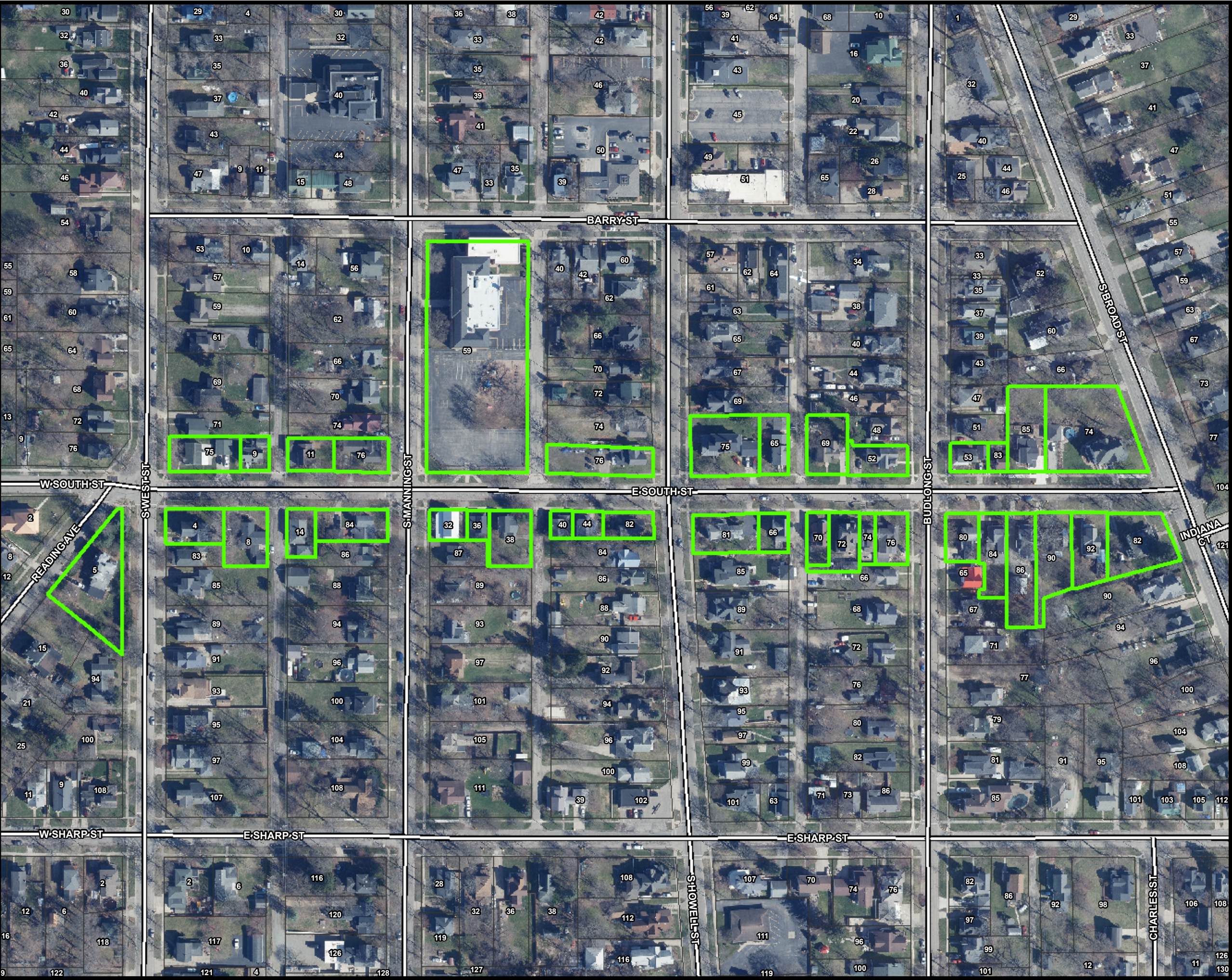
CERTIFICATION

As the Clerk for the City of Hillsdale, Hillsdale County, Michigan, I certify that this is a true and complete copy of a resolution adopted by the Hillsdale City Council, Hillsdale County at its regular meeting, held February 16, 2026.

Katy Price, Clerk

City of Hillsdale Special Assessment District 2026-2

South St from M-99/Broad St to Reading Ave



- Legend**
- City Boundary
 - Railroad
 - Streets
 - Spec Asmt District 2026-2 (36 Parcels)
 - Parcels



0 100 200 400 Feet





MEMORANDUM

Date: January 6, 2026

To: City Council, City Manager Mackie, DPS Director Blake

From: Robert Stiverson, PE, City Engineer

Subject: South Street – Reading Ave to Broad St (M-99)

Please find the attach draft Opinion of Probable Costs, bid document, and plans for Arch street.

We are recommending a budget of

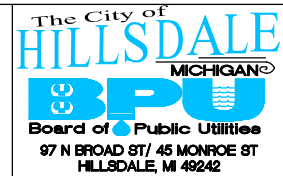
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|---|------------------|
| Construction | \$633,000 |
| Tree Removal & Power Pole/Telephone Pole relocation | \$ 17,000 |
| Engineering/Project Management/Special Assessment | \$ 60,000 |
| Contingencies: | \$ 65,000 |
| Total: | \$775,000 |

Project Management is based on full-time inspection, however, we plan on performing Part Time inspection with the hours based on the quality and performance of the contractor.

As always, Construction costs are based on Historic Bid Tabulations for the City of Hillsdale with a comparison of MDOT Unit Prices. Project Management/Inspection is based on MDOT guideline for installation of Quantities and previous experience.

Contingencies are approximately 10%, and are recommended based on there are unknowns in the field that could impact project costs.

CITY OF HILLSDALE
SOUTH STREET
STREET RECONSTRUCTION
READING AVE TO BROAD ST (M99)



| REVISIONS | DATE |
|--------------|--------|
| DATE OF PLAN | 1/6/26 |
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Know what's **below**.
Call before you dig.

FOR PROTECTION OF UNDERGROUND UTILITIES AND IN CONFORMANCE WITH PUBLIC ACT 53, THE CONTRACTOR SHALL DIAL 1-800-482-7171 OR 811 A MINIMUM OF THREE FULL WORKING DAYS, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS PRIOR TO THE BEGINNING OF EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED.

THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE SIZE, LOCATION, DEPTH, PRESSURE, OR ANY OTHER CHARACTERISTICS OF UNDERGROUND UTILITIES, TANKS OR SEPTIC FIELDS WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OF COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN.

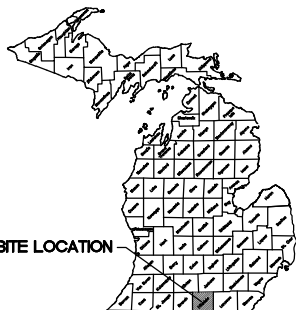
IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND MAKE EVERY EFFORT TO PROTECT AND/OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND.

REFERENCES TO SPECIFICATIONS:

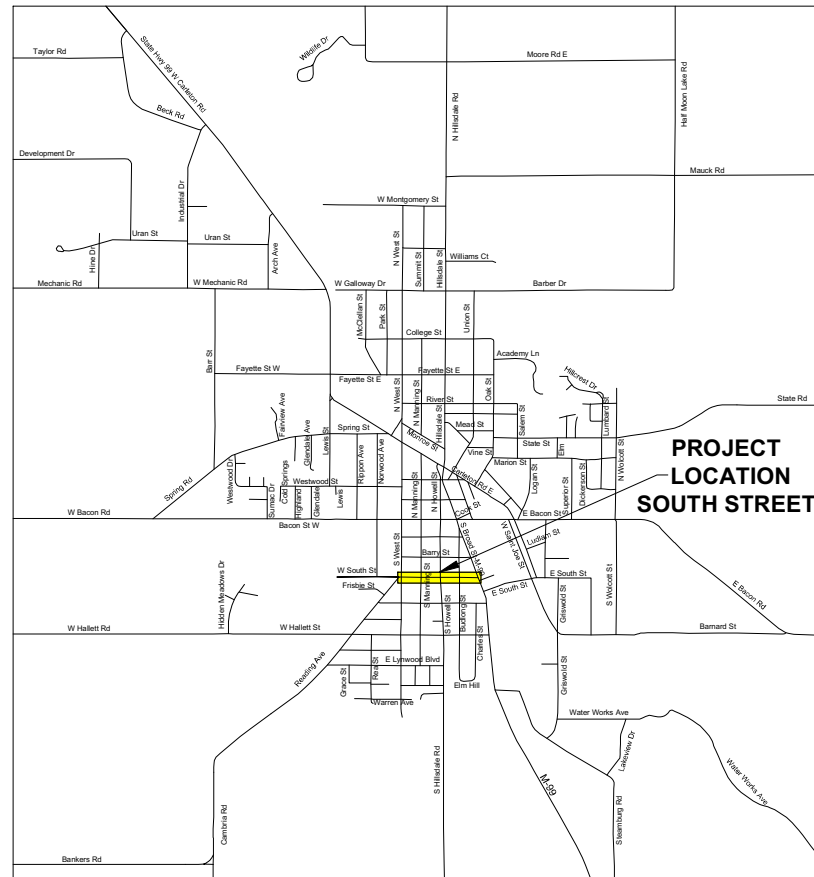
THE IMPROVEMENTS COVERED BY THESE PLANS SHALL BE DONE IN ACCORDANCE WITH THE PROJECT DRAWINGS, NOTES, AND THE APPLICABLE SECTIONS OF THE 2020 MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.

ALL TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE MOST CURRENT VERSION OF THE MICHIGAN MANUAL OF TRAFFIC CONTROL DEVICES (MMUTCD)

| SHEET NO. | DESCRIPTION |
|-----------|--|
| C1 | COVER SHEET |
| C2 | DEMOLITION PLAN - READING AVE TO STA 28+50 |
| C3 | DEMOLITION PLAN - STA. 22+50 TO BROAD (M-99) |
| C4 | CONSTRUCTION - READING AVE TO STA 22+50 |
| C5 | CONSTRUCTION - STA 22+50 TO STA 28+50 |
| C6 | CONSTRUCTION - STA 28+50 TO BROAD (M99) ST |
| C7 | PAVEMENT MARKING PLAN |
| C8 | PAVEMENT DETAILS |
| C9 | TRAFFIC CONTROL PLAN |
| C10 | TRAFFIC CONTROL PLAN - SIGN DETAILS |
| C11 | NOTE SHEET & LEGEND |



STATE LOCATION MAP
NOT TO SCALE



AREA MAP
NOT TO SCALE

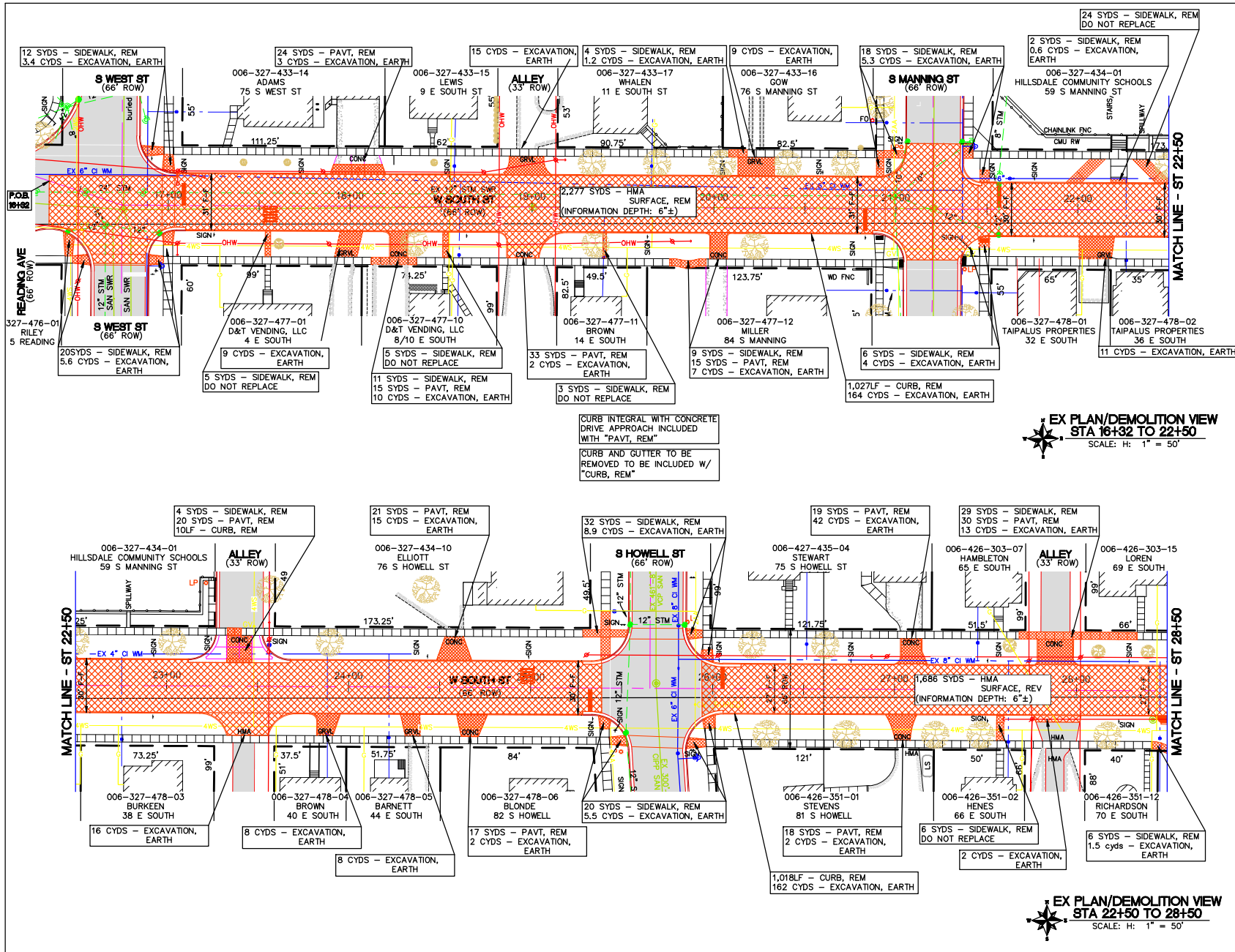
SOUTH STREET
READING AVE TO BROAD (M-99) ST
SECTION 26 and 27, T6S-R3W
CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN

COVER
SHEET

| SCALE | | |
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| DRAWN | RDS | 1/6/26 |
| CHECKED | | |

DRAWING NO.

C1



| REVISIONS | DATE |
|--------------|--------|
| DATE OF PLAN | 1/6/26 |
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**SOUTH STREET
READING AVE TO BROAD (M-99) ST
SECTION 26 and 27, T6S-R3W
CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN**

| SCALE | NAME | DATE |
|----------|------|--------|
| DESIGNED | RDS | 1/6/26 |
| DRAWN | RDS | 1/6/26 |
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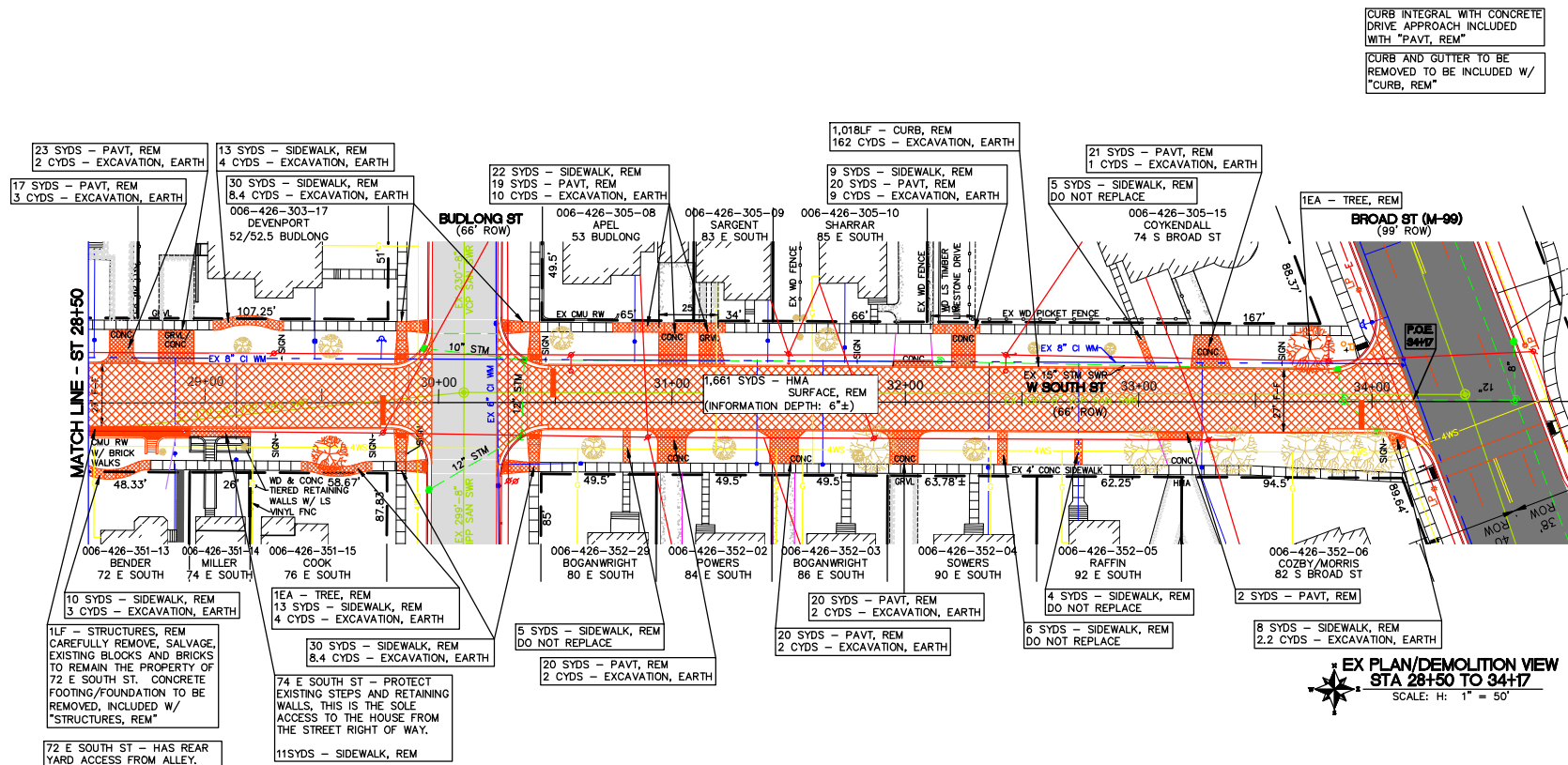
| REVISIONS | DATE |
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| DATE OF PLAN | 1/6/26 |

SOUTH STREET
READING AVE TO BROAD (M-99) ST
SECTION 26 and 27, T6S-R3W
CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN
DEMOLITION PLAN
STA 28+50 TO BROAD (M99) ST

| SCALE | | |
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| | NAME | DATE |
| DESIGNED | RDS | 1/6/26 |
| DRAWN | RDS | 1/6/26 |
| CHECKED | | |

DRAWING NO.

C3

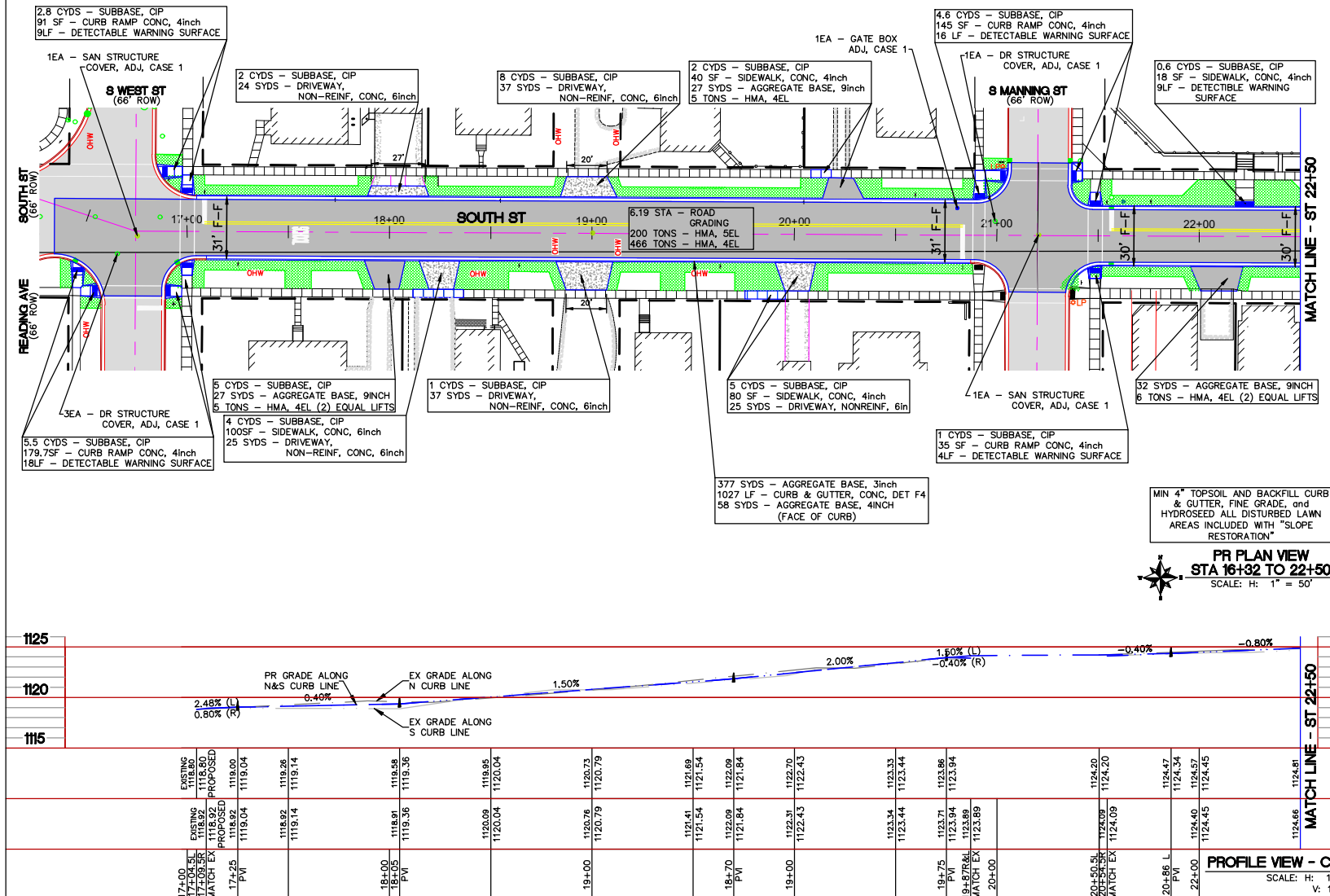


| REVISIONS | DATE |
|--------------|--------|
| DATE OF PLAN | 1/6/26 |

SOUTH STREET
READING AVE TO BROAD (M-99) ST
SECTION 26 and 27, T6S-R3W
CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN
CONSTRUCTION PLAN
READING AVE TO STA 22+50

| SCALE | NAME | DATE |
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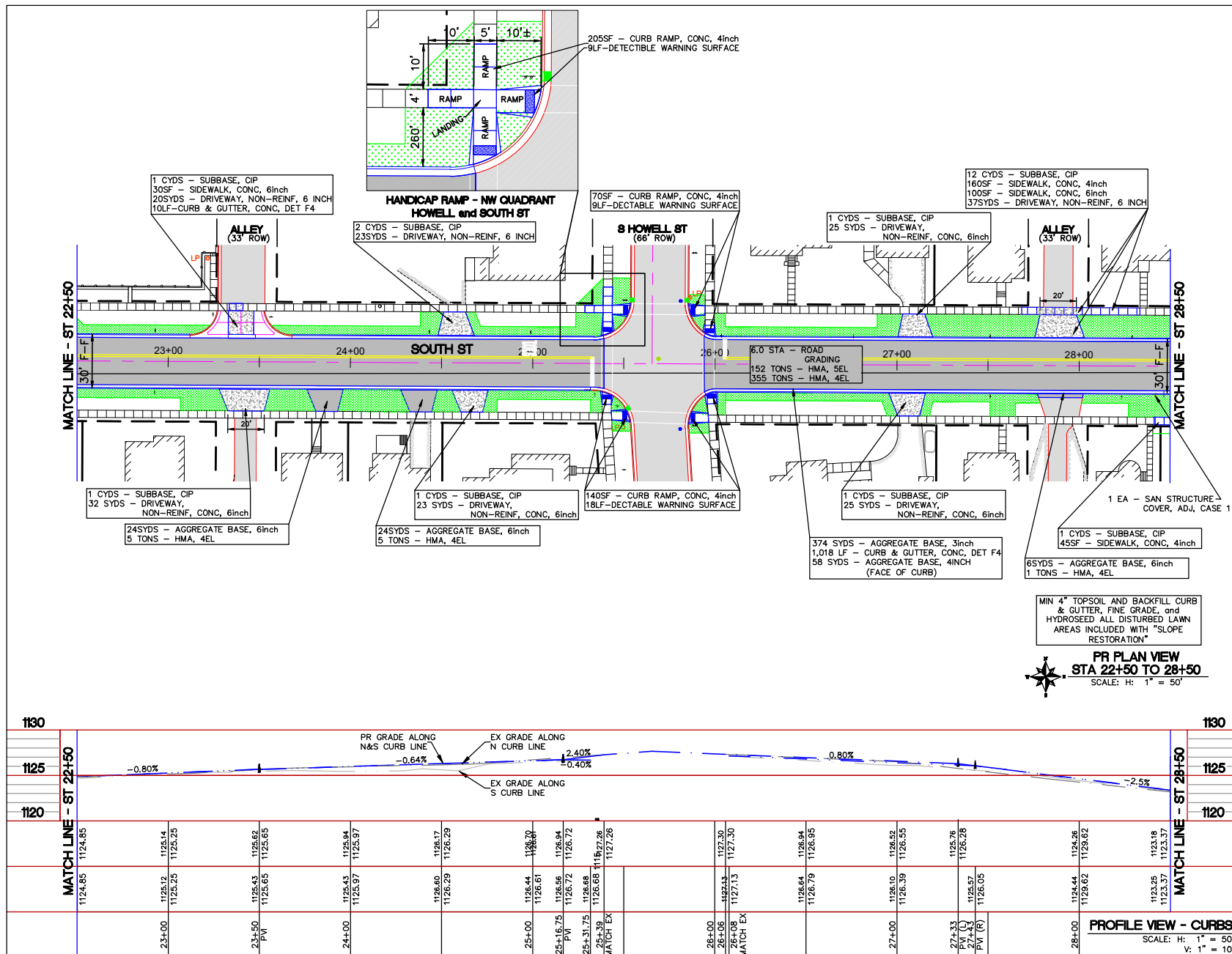


**SOUTH STREET
DING AVE TO BROAD (M-99) ST
SECTION 26 and 27, T6S-R3W
CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN**

**CONSTRUCTION PLAN
STA 22+50 TO STA 28+50**

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| SCALE | | |
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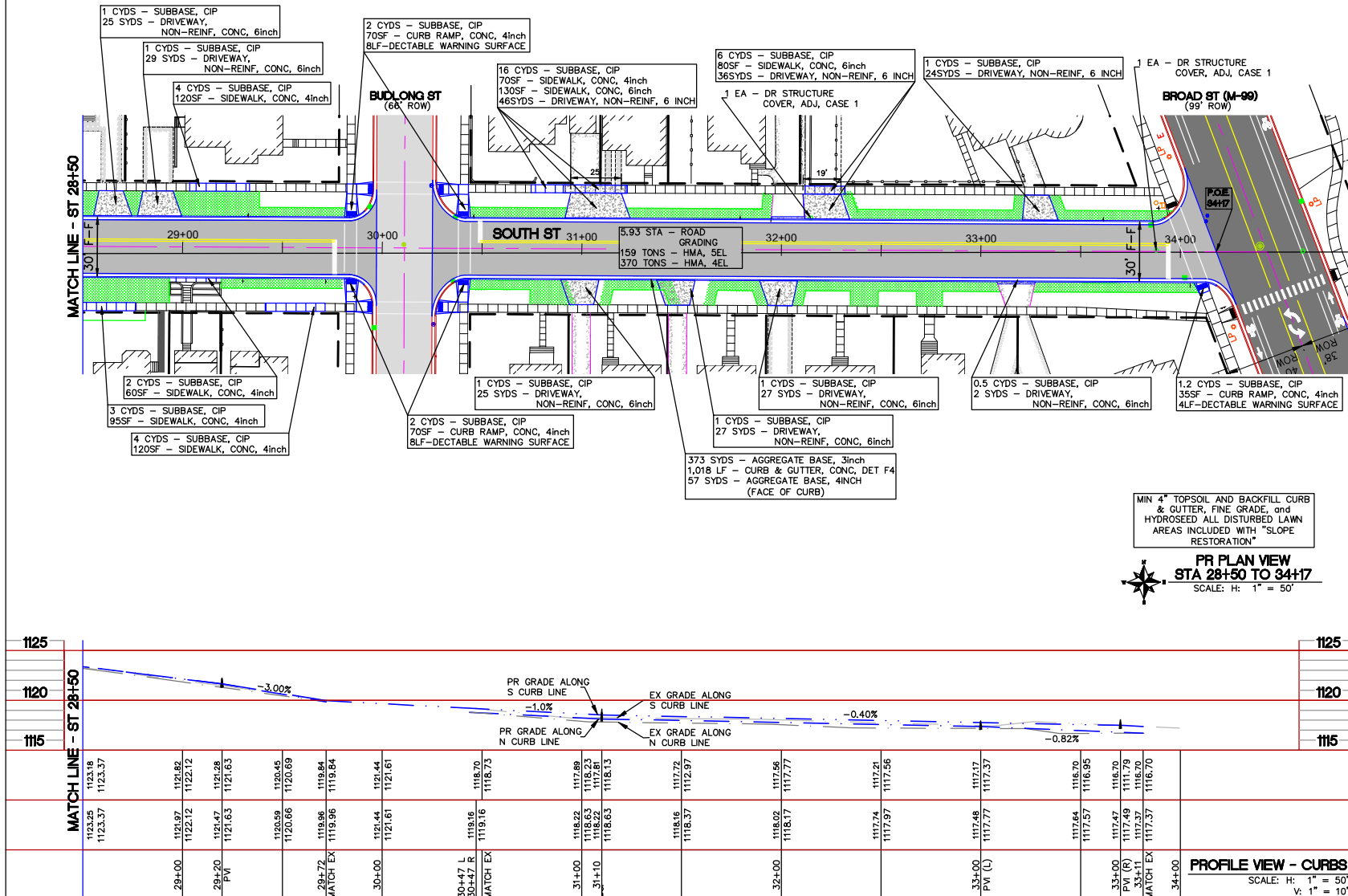


| REVISIONS | DATE |
|--------------|--------|
| DATE OF PLAN | 1/6/26 |

SOUTH STREET
READING AVE TO BROAD (M-99) ST
SECTION 26 and 27, T6S-R3W
CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN
CONSTRUCTION PLAN
STA 28+50 TO BROAD (M-99) ST

| SCALE | NAME | DATE |
|-------------|------|--------|
| DESIGNED | RDS | 1/6/26 |
| DRAWN | RDS | 1/6/26 |
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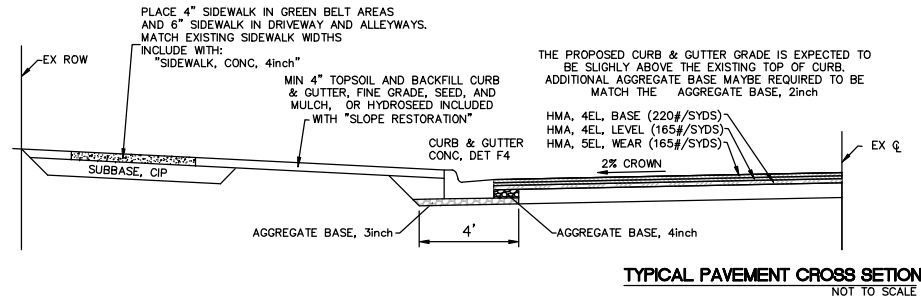
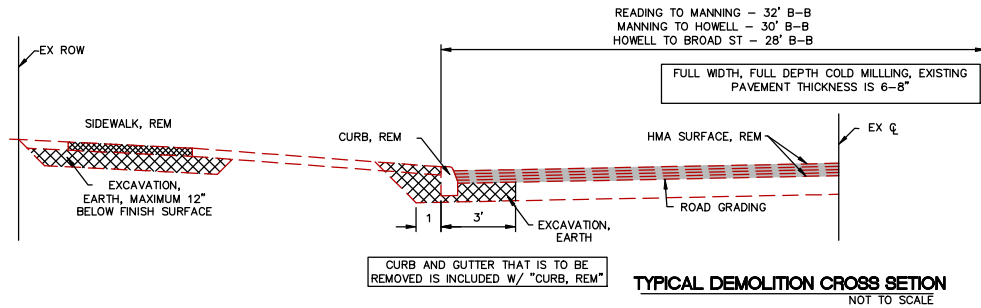
C6



| HMA APPLICATION TABLE | | | | | |
|-----------------------|----------|------|-------------|--------------|--|
| COURSE | TYPE | ITEM | EST. YIELD | BINDER GRADE | |
| ① | BASE | 4EL | 220 LBS/SYD | PG 58-28 | |
| ② | LEVELING | 4EL | 165 LBS/SYD | PG 58-28 | |
| ③ | TOP | 5EL | 165 LBS/SYD | PG 58-28 | |

NOTE: BOND COAT SHALL BE APPLIED BETWEEN SUCCESSIVE COURSES OF HMA (PAYMENT INCLUDED IN HMA MIX). APPLICATION RATE 0.05 - 0.15 GAL/SYD SS-IH, AS DIRECTED BY ENGINEER.

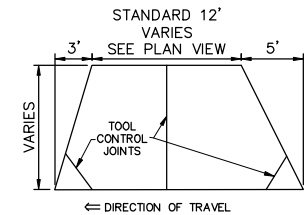
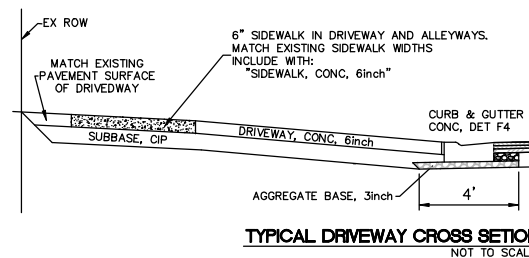
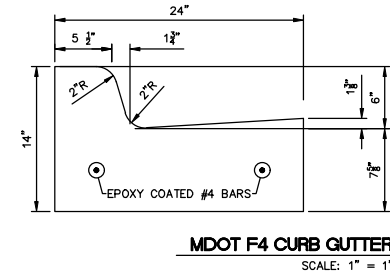
| Project Quantities - Totals | | |
|-----------------------------|--|----------|
| 1027051 | Above Ground Video | 1 LSUM |
| 1100001 | Mobilization, Max | 1 LSUM |
| 2040021 | Curb, Rem | 3063 Ft |
| 2040050 | Pavt, Rem | 374 Syd |
| 2040055 | Sidewalk, Rem | 374 Syd |
| 2040060 | Structures, Rem | 1 LSUM |
| 2050016 | Excavation, Earth | 705 Cyd |
| 2057002 | Road Grading | 18 Sta |
| 2080020 | Erosion Control, Inlet Protection, Fabric Drop | 20 Ea |
| 3010002 | Subbase, CIP | 120 Cyd |
| 3020008 | Aggregate Base, 3 inch | 1124 Syd |
| 3020010 | Aggregate Base, 4 inch | 173 Syd |
| 3020016 | Aggregate Base, 6 inch | 185 Syd |
| 4030005 | Dr Structure Cover, Adj, Case 1 | 6 Ea |
| 5010005 | HMA Surface, Rem | 5625 Syd |
| 5010061 | HMA Approach | 36 Ton |
| 5012024 | HMA, 4EL | 1191 Ton |
| 5012036 | HMA, 5EL | 511 Ton |
| 8010005 | Driveway, Nonreinf Conc, 6 inch | 572 Syd |
| 8020038 | Curb and Gutter, Conc, Det F4 | 3063 Ft |
| 8030010 | Detectable Warning Surface | 149 Ft |
| 8030044 | Sidewalk, Conc, 4 inch | 808 Sft |
| 8030046 | Sidewalk, Conc, 6 inch | 440 Sft |
| 8032001 | Curb Ramp, Conc, 4 inch | 1775 Sft |
| 8110126 | Pavt Mrkg, Regular Dry, 4 inch, Yellow | 2930 Ft |
| 8110127 | Pavt Mrkg, Regular Dry, 6 inch, White | 483 Ft |
| 8117001 | Pavt Mrkg, Regular Dry, 24 inch, Stop Bar | 132 Ft |
| 8117050 | Pavt Mrkg, Regular Dry, School | 2 Ea |
| 8120170 | Traffic Control | 1 LSUM |
| 8167011 | Slope Restoration | 2310 Syd |
| 8230431 | Gate Box, Adj, Case 1 | 1 Ea |
| 8252145 | Sanitary Structure Cover, Adj, Case 1 | 3 Ea |



HMA SURFACE, REM
EXISTING HMA DEPTH EXPECTED TO BE 6-8"
REMOVE FULL DEPTH HMA IF HMA DEPTH EXCEEDS 8"
NOTIFY THE REPRESENTATIVE OF THE CITY.

HMA SURFACES LESS THAN 5" THICK THAT ARE TO BE REMOVED TO BE INCLUDED W/ "EXCAVATION, EARTH"

ROAD GRADING
EXCAVATION BELOW 5" OF DEPTH, RE-GRADE AND SHAPE EXISTING AGGREGATE BASE TO A 2% CROWN.
CONTRACTOR TO PROVIDE ADDITIONAL MDOT 22A AGGREGATE, IF NECESSARY, AN INFORMATIONAL QUANTITY OF 143 CYDS TO BE INCLUDED W/ "ROAD GRADING".
CONTRACTOR RESPONSIBLE FOR OVER EXCAVATION.



| REVISIONS | DATE |
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| DATE OF PLAN | 1/6/26 |
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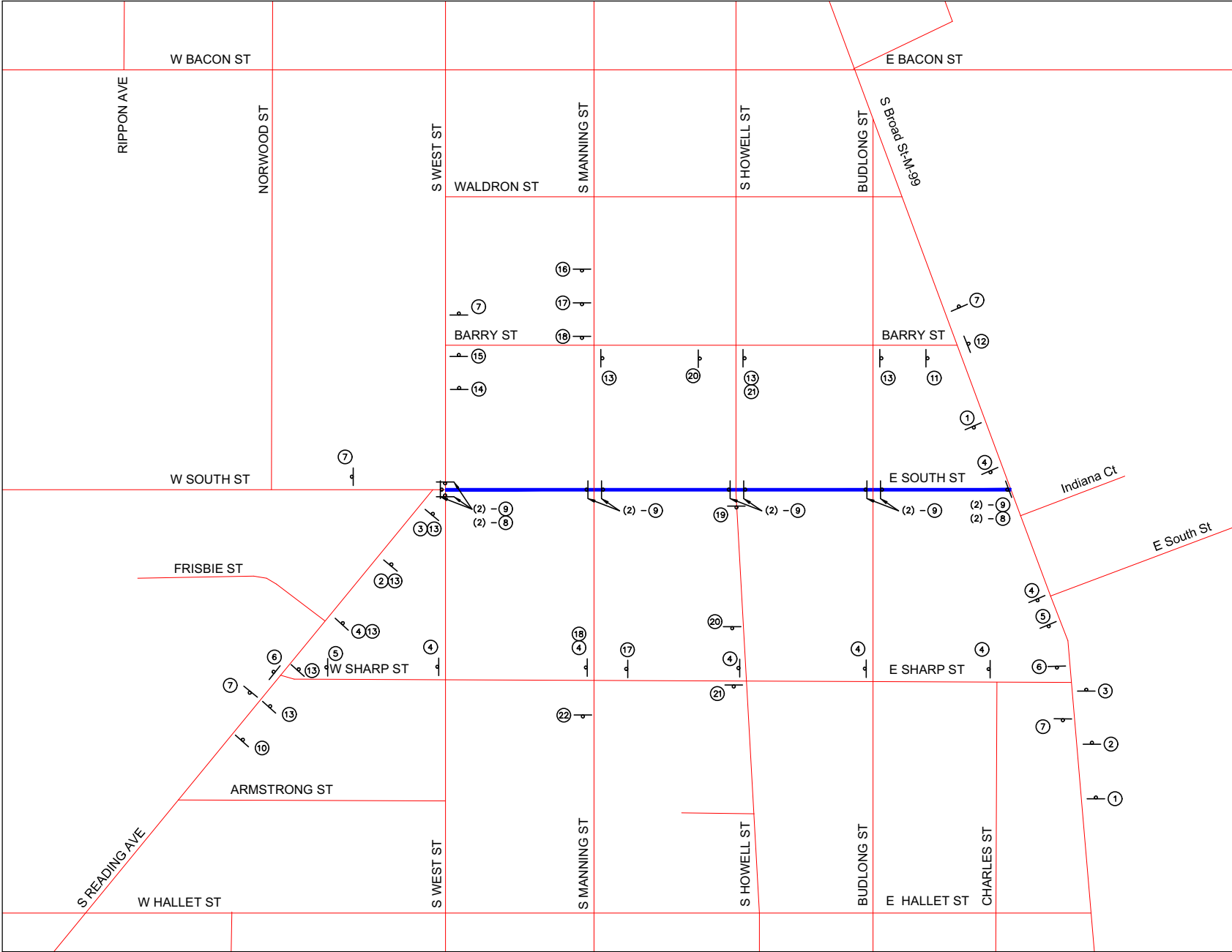
SOUTH STREET
READING AVE TO BROAD (M-99) ST
SECTION 26 and 27, T6S-R3W
CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN

PAVEMENT DETAILS

| SCALE | | |
|----------|------|--------|
| | NAME | DATE |
| DESIGNED | RDS | 1/6/26 |
| DRAWN | RDS | 1/6/26 |
| CHECKED | | |

DRAWING NO.

C8



| REVISIONS | DATE |
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| DATE OF PLAN | 1/6/26 |
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**SOUTH STREET
READING AVE TO BROAD (M-99) ST**
SECTION 26 and 27, T6S-R3W
CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN

**TRAFFIC
CONTROL PLAN**

| SCALE | | |
|----------|------|--------|
| | NAME | DATE |
| DESIGNED | RDS | 1/6/26 |
| DRAWN | RDS | 1/6/26 |
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| REVISIONS | DATE |
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| DATE OF PLAN | 1/6/26 |










SOUTH STREET
READING AVE TO BROAD (M-99) ST
SECTION 26 and 27, T6S-R3W
CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN
TRAFFIC CONTROL PLAN
SIGN DETAILS

| SCALE | NAME | DATE |
|----------|------|--------|
| DESIGNED | RDS | 1/6/26 |
| DRAWN | RDS | 1/6/26 |
| CHECKED | | |







DRAWING NO.

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SIGNING REQUIREMENTS - SOUTH ST

| MAP SYMBOL | SIGN | SIGN DESIGNATION | SIGN | # of LOCATIONS |
|------------|---|--------------------------|---|----------------|
| 1 |  | M 3-4 D 3-1 W 20-3 | 24 x 12 36 x 18 36 x 36 (LIGHTED & FLAGGED) | 2 |
| 2 |  | M 3-4 D 3-1 M 4-9 | 24 x 12 36 x 18 30 x 24 | 2 |
| 3 |  | M 3-4 D 3-1 M 4-9 | 24 x 12 36 x 18 30 x 24 | 2 |
| 4 |  | M 3-4 D 3-1 M 4-9 | 24 x 12 36 x 18 30 x 24 | 8 |
| 5 |  | M 3-4 D 3-1 M 4-9 | 24 x 12 36 x 18 30 x 24 | 3 |
| 6 |  | M 3-4 D 3-1 M 4-9 | 24 x 12 36 x 18 30 x 24 | 3 |
| 7 |  | D 3-1 M 4-8a | 36 x 18 30 x 24 | 5 |
| 8 |  | R 11-2 | 48 x 30 (LIGHTED & FLAGGED) | 8 |
| 9 |  | TYPE III BARRICADE | 60 x 48 (LIGHTED) DOUBLE SIDED | 20 |

SIGNING REQUIREMENTS - SOUTH ST

| MAP SYMBOL | SIGN | SIGN DESIGNATION | SIGN | # of LOCATIONS |
|--|---|--------------------------|---|----------------|
| 10 |  | M 3-4 D 3-1 W 20-3 | 24 x 12 36 x 18 36 x 36 (LIGHTED & FLAGGED) | 2 |
| 11 |  | M 3-4 D 3-1 M 4-9 | 24 x 12 36 x 18 30 x 24 | 2 |
| 12 |  | M 3-4 D 3-1 M 4-9 | 24 x 12 36 x 18 30 x 24 | 2 |
| 13 |  | M 3-4 D 3-1 M 4-9 | 24 x 12 36 x 18 30 x 24 | 8 |
| 14 |  | M 3-4 D 3-1 M 4-9 | 24 x 12 36 x 18 30 x 24 | 1 |
| 15 |  | M 3-4 D 3-1 M 4-9 | 24 x 12 36 x 18 30 x 24 | 1 |
| CONTRACTOR TO MAKE THEIR OWN DETERMINATION OFF MINOR TRAFIC CONTROLS, TYPE II (CONES) AND PEDESTRAIN BARRIERS. TO BE INCLUDED WITH "MAINTAINING TRAFFIC" | | | | |
| TEMPORARY SIGNS AND SIGN COVERS ARE TO BE INCLUDED WITH "MAINTAINING TRAFFIC" | | | | |

SIGNING REQUIREMENTS - MANNING

| MAP SYMBOL | SIGN | SIGN DESIGNATION | SIGN | # of LOCATIONS |
|--|---|--------------------------|---|----------------|
| 16 |  | M 3-4 D 3-1 W 20-3 | 24 x 12 36 x 18 36 x 36 (LIGHTED & FLAGGED) | 2 |
| 17 |  | M 3-4 D 3-1 M 4-9 | 24 x 12 36 x 18 30 x 24 | 2 |
| 18 |  | M 3-4 D 3-1 M 4-9 | 24 x 12 36 x 18 30 x 24 | 2 |
| 19 |  | M 3-4 D 3-1 M 4-9 | 24 x 12 36 x 18 30 x 24 | 8 |
| 20 |  | M 3-4 D 3-1 M 4-9 | 24 x 12 36 x 18 30 x 24 | 1 |
| 21 |  | M 3-4 D 3-1 M 4-9 | 24 x 12 36 x 18 30 x 24 | 1 |
| 22 |  | D 3-1 M 4-8a | 36 x 18 30 x 24 | 5 |
| CONTRACTOR TO MAKE THEIR OWN DETERMINATION OFF MINOR TRAFIC CONTROLS, TYPE II (CONES) AND PEDESTRAIN BARRIERS. TO BE INCLUDED WITH "MAINTAINING TRAFFIC" | | | | |
| TEMPORARY SIGNS AND SIGN COVERS ARE TO BE INCLUDED WITH "MAINTAINING TRAFFIC" | | | | |

MAINTAINING TRAFFIC SCHEDULE

CONTRACTOR IS TO SUBMIT A PROGRESS SCHEDULE PRIOR TO STARTING CONSTRUCTION WITH THE FOLLOWING RESTRICTIONS IN MIND:

HOLIDAYS: CONTRACTOR SHALL OBSERVE THE HOLIDAYS AND HOLIDAY REQUIREMENTS LISTED IN THE MDOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION

WORK SHALL BE DONE IN SUCH A MANNER AS TO LIMIT THE IMPACT TO THE TRAFFIC ALONG READING AVE, MANNING ST, HOWELL ST AND M-99 ONCE THE CONTRACTOR COMMENCES WORK, THEY SHALL NOT LEAVE TO COMPLETE WORK IN OTHER AREAS WITHOUT OPENING WEST ST AND MANNING STREET TO TRAFFIC.

DETOUR ROUTE SHALL FOLLOW THE DETAILS SHOWN ON THIS SHEET AND COMPLY WITH MDOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, MICHIGAN MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES, AND MDOT MAINTAINING TRAFFIC TYPICAL (M0020, WZD-125-E, WZD-100-A)

CONTRACTOR IS TO PROVIDE 2 WEEKS NOTICE THE PROJECT ENGINEER WILL ALSO COORDINATE ACTIVITIES WITH THE LOCAL BUSINESSES, TRUCKING COMPANIES, AND EMERGENCY SERVICES REGARDING STREET CLOSURES AND TRUCKING ROUTES.

SIGN COVERS SHALL BE INSTALLED OVER SIGNS DURING PERIODS WHEN WORK IS NOT BEING COMPLETED BUT THE ROADWAY IS OPEN TO TRAFFIC. THESE TIMES MAY INCLUDE THE PERIOD OF TIME BETWEEN WHEN THE TEMPORARY SIGNS ARE PLACED AND START OF CONSTRUCTION, AND BETWEEN THE END OF CONSTRUCTION AND REMOVAL OF THE TEMPORARY SIGNS. INCLUDED WITH "SIGN COVER"

FURNISHING, INSTALLING, MAINTAINING, RELOCATING, AND REMOVING ALL TRAFFIC CONES AND OTHER TRAFFIC DEVICES NOT IDENTIFIED ON THE PLANS OR IN THE PROPOSAL WILL BE PAID FOR AS "MINOR TRAF DEVICES" AND SHALL BE COMPLETED IN ACCORDANCE WITH SECTION 812.04.F OF THE MDOT 2012 STANDARD SPECIFICATIONS FOR CONSTRUCTION

M3-4 SIGNS REPRESENT THE DIRECTION OF TRAVEL - EXAMPLE  REPRESENTS WEST BOUND TRAFFIC

CONSTRUCTION NOTES (APPLICABLE TO ALL SHEETS, AS NEEDED):

SOIL EROSION CONTROL MEASURES

TO PROTECT SLOPES AND DITCHES, SOO OR SEED/MULCH SHOULD BE PLACED AS SOON AS POSSIBLE AND AS DIRECTED BY THE ENGINEER. TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE UTILIZED DURING CONSTRUCTION IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND AS NECESSARY TO CONTROL SOIL EROSION AND SEDIMENTATION AND AS DIRECTED BY THE ENGINEER.

PLAN ELEVATIONS

ELEVATIONS IN THESE PLANS ARE BASED ON USGS DATUM.

UNDERGROUND UTILITIES

FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL DIAL 1-800-482-7171 A MINIMUM OF THREE WORKING DAYS EXCLUDING SATURDAYS, SUNDAYS & HOLIDAYS PRIOR TO EXCAVATING IN THE VICINITY OF UTILITY LINES. ALL "MISS DIG" PARTICIPATING MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING THE UTILITY OWNERS WHO MAY NOT BE PART OF THE "MISS DIG" ALERT SYSTEM.

EXISTING WATER MAINS AND SEWERS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO PROPERLY IDENTIFIED EXISTING WATER MAINS AND/OR EXISTING SEWERS DURING THE CONSTRUCTION OF THE PROJECT.

ADJUSTMENT OF CATCH BASINS

IT IS THE CONTRACTOR'S RESPONSIBILITY TO PLACE THE LOCATION AND ELEVATION OF ALL CATCH BASIN CASTINGS PROPERLY ALIGNED WITH THE PROPOSED CURB. ADJUSTMENT OF CASTINGS ON NEW STRUCTURES IS INCLUDED IN PAYMENT FOR THE DRAINAGE STRUCTURE COVER SPECIFIED. ADJUSTMENT OF CASTINGS ON EXISTING STRUCTURES WILL BE PAID AS DR STRUCTURE COVER, ADJ, CASE 1. THESE ITEMS INCLUDE ALL BLOCK OR GRADE RINGS NECESSARY FOR PROPER ADJUSTMENT.

PROPERTY CORNER PRESENTATION

CONTRACTOR SHALL TAKE CARE TO ENSURE THAT PROPERTY CORNERS BEHIND THE SIDEWALKS SCHEDULED FOR REMOVAL AND REPLACEMENT ARE NOT DISTURBED.

SALVAGE

THE CITY RESERVES THE RIGHT TO SALVAGE ALL EXISTING MATERIALS (CASTINGS, HYDRANTS, SIGNS, ETC) MATERIALS DESIRED TO BE SALVAGED SHALL BE STOCKPILED WITHIN THE PROJECT LIMITS FOR THE CITY TO PICK UP. ITEMS THAT THE CITY DECIDES NOT TO SALVAGE BECOME PROPERTY OF THE CONTRACTOR.

CURB DIMENSIONS

ALL CURB DIMENSIONS SHALL BE FROM BACK OF CURB UNLESS OTHERWISE INDICATED

LAWN SPRINKLER SYSTEMS AND LANDSCAPING

OWNERS OF EXISTING LAWN SPRINKLER SYSTEMS AND/OR LANDSCAPING SHALL BE NOTIFIED (IN WRITING WITH A COPY SEND TO THE ENGINEER) BY THE CONTRACTOR TWO WEEKS IN ADVANCE OF ANY WORK TO BE DONE THAT WILL AFFECT THOSE SYSTEMS AND/OR LANDSCAPING. IF THE PROPERTY OWNER FAILS TO RELOCATE THE LAWN SPRINKLER SYSTEM PRIOR TO THE CONTRACTOR BEGINNING WORK, AND IF THE CONTRACTOR CUTS THE SYSTEM DURING THE CONSTRUCTION, THE CONTRACTOR SHALL CAP THE SYSTEM PIPE AND WITNESS THE LOCATION OF THE CAP WITH A WOODEN STAKE FOR THE PROPERTY OWNERS USE. THE CONTRACTOR SHALL PLACE THE SALVAGED SPRINKLER HEADS ON THE PROPERTY OWNERS PROPERTY. IF THE PROPERTY OWNER FAILS THE RELOCATING LANDSCAPING PRIOR TO THE CONTRACTOR BEGINNING WORK, THE CONTRACTOR SHALL CAREFULLY SALVAGE THE LANDSCAPING ITEMS AND STOCKPILE THEM ON THE PROPERTY OWNERS PROPERTY FOR THE PROPERTY OWNER. ANY OTHER MODIFICATION TO THE LAWN SPRINKLER SYSTEMS AND/OR LANDSCAPING, IS THE RESPONSIBILITY OF THE OWNER AND IS NOT PART OF THE CONTRACT. THIS WORK IS INCLUDED IN OTHER ITEMS OF THE PROJECT.

CONCRETE WORK

THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF PLANS TO POUR CONCRETE A MINIMUM OF 24 HOURS BEFORE THE POUR. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF TWO HOURS BETWEEN FORMING A SECTION OF FLAT WORK AND POURING THE SECTION TO ALLOW FOR INSPECTION OF THE GRADES, GRADINGS, AND SUB-BASE. FAILURE TO PROVIDE NOTICE AND TIME FOR INSPECTION WILL BE CONSIDERED CAUSE TO REJECT THE PRODUCT OR CAUSE TO REQUIRE RESCHEDULING OF THE WORK, WITH NO ADJUSTMENTS TO THE COMPLETION DATES.

SUBBASE (CIP)

WHEN THE NATURAL MATERIAL MEETING SUBBASE REQUIREMENTS IS LEFT IN PLACE, IT WILL NOT BE PAID FOR. THE GRADING AND COMPACTIVE WORK REQUIRED SHALL BE INCLUDED IN COMPENSATION FOR THE ROADWAY GRADING. EXCAVATION FOR INSTALLATION OF NEW SAND SUBBASE, IF REQUIRED, IS TO BE INCLUDED IN SUBBASE (CIP).

DRIVEWAYS

EXISTING DRIVEWAYS SHALL BE REMOVED WHERE NECESSARY, WHERE SHOWN ON PLANS OR DIRECTED BY ENGINEER, AND SHALL BE PAID FOR AS PAVT, REM. GRADING AND PREPARATION FOR NEW DRIVEWAY SHALL BE INCLUDED IN ROADWAY GRADING. CONTRACTOR SHALL MAINTAIN ACCESS TO DRIVEWAYS DURING CONSTRUCTION INCLUDED IN ROADWAY GRADING.

NOTICE TO RESIDENTS

THE CONTRACTOR SHALL NOTIFY RESIDENTS 24 HOURS IN ADVANCE OF DISRUPTION TO SERVICE, SUCH AS DRIVEWAY CLOSING OR UTILITY SERVICE.

RELOCATION OF GUY ANCHORS

CITY OF HILLSDALE B.P.U. GUY ANCHOR RELOCATIONS WILL BE RELOCATED BY THE UTILITY COMPANY THROUGHOUT THE PROJECT TO A LOCATION DETERMINED IN THE FIELD ALLOWING NEW SEWER CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION ACTIVITIES WITH THE GUY ANCHOR RELOCATIONS.

SAW CUTTING

SAW CUTTING OF EXISTING PAVEMENT SHALL BE INCLUDED IN THE UNIT PRICE FOR THE ITEM BEING REMOVED.

SAWCUTTING PAVEMENT

SAWCUTTING EXISTING PAVEMENT AT REMOVAL LIMITS WHERE INDICATED ON THE PLANS AND AS DIRECTED BY THE ENGINEER SHALL BE INCLUDED IN ROADWAY GRADING.

ROADWAY GRADING

ROADWAY GRADING SHALL INCLUDE REMOVAL OF ALL BASE MATERIALS REGARDLESS OF THICKNESS TO A DEPTH SUFFICIENT TO INSTALL THE REQUIRED NEW SUBBASE AND BASE DEPTHS. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF ONE LANE OF TRAFFIC AT ALL TIMES TO ALLOW EMERGENCY VEHICLE ACCESS AND FOR ACCESS TO LOCAL BUSINESSES AND RESIDENCES.

CURB AND GUTTER

PLACEMENT OF AND PAYMENT FOR CONCRETE CURB AND GUTTER INCLUDES PLACING REBAR DOWELS EPOXY ANCHORED INTO EXISTING CURB AND GUTTER AT POINTS OF CONNECTION IN ACCORDANCE WITH MDOT STANDARD PLAN R-30-G.

SURFACE RESTORATION

AREAS DISTURBED BY CONSTRUCTION, SURFACE SHALL BE GRADED SMOOTH AND RESTORED WITH 4" OF NEW TOPSOIL, HYDROSEEDDED, FERTILIZED, MULCHED, AND ANCHORING MULCHED. SLOPES OF 1:2 OR STEEPER SHALL RECEIVE SLOPE RESTORATION PEGGED IN PLACE. AREAS BETWEEN THE CURB AND SIDEWALK SHALL BE FILLED AND GRADED SMOOTH AND RESTORED AS NOTED ABOVE. RESTORATION SHALL BE FROM BACK OF CURB TO RIGHT OF WAY AS DIRECTED BY ENGINEER. RESTORATION OF DISTURBED AREAS OUTSIDE OF THE STREET RIGHT-OF-WAY WILL NOT BE PAID FOR SEPARATELY UNLESS SHOWN ON THE PLANS OR AS DIRECTED BY ENGINEER. SURFACE RESTORATION WILL BE PAID FOR AS SLOPE RESTORATION.

MAINTAINING TRAFFIC

CONTRACTOR SHALL MAINTAIN ACCESS TO LOCAL RESIDENTS AND EMERGENCY VEHICLES DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE TEMPORARY AGGREGATE AT DRIVEWAYS AS NECESSARY TO MAINTAIN ACCESS. TEMPORARY GRAVEL INCLUDED IN ROADWAY GRADING.

WATER SERVICES

CITY OF HILLSDALE BPU OR THEIR CONTRACTOR WILL REPLACE ALL REQUIRED WATER SERVICES IN THE PROJECT AREA DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE CITY OF HILLSDALE.

ADJUSTMENT OF SANITARY SEWER STRUCTURES: IT IS THE CONTRACTOR'S RESPONSIBILITY TO PLACE THE LOCATION AND ELEVATION OF ALL CASTINGS TO BE PROPERLY ALIGNED WITH THE FINISH GRADE. SANITARY CASTING THAT DO NOT PROVIDE AN OPENING OF 24" ARE TO BE REPLACED WITH MDOT COVER "B", AND INCLUDED IN THE COST OF THE ADJUSTMENT. ADJUSTMENT OF CASTINGS ON EXISTING STRUCTURES WILL BE PAID AS SANITARY STRUCTURE COVER, ADJ, CASE 1 OR 2. THESE ITEMS INCLUDE ALL CASTINGS, BLOCK OR ADJUSTING RINGS AS NECESSARY FOR PROPER ADJUSTMENT.

ADJUSTMENT OF GATE BOXES AND WATER SHUTOFF BOXES: IT IS THE CONTRACTOR'S RESPONSIBILITY TO PLACE THE LOCATION AND ELEVATION OF ALL GATE BOXES AND WATER SHUTOFF BOXES TO BE PROPERLY ALIGNED WITH THE FINISH GRADE. ADJUST OF CASTINGS ON EXISTING GATE BOXES WILL BE PAID AS GATE BOX, ADJ, CASE 1 OR 2. THESE ITEMS INCLUDE ALL ADJUSTING RINGS AS NECESSARY FOR PROPER ADJUSTMENT

PUBLIC UTILITIES: THE EXISTING UTILITIES LISTED BELOW AND SHOWN ON THE PLANS REPRESENT THE BEST INFORMATION AVAILABLE. THIS INFORMATION DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO VERIFY THEIR ACCURACY OR THE RESPONSIBILITY IN CASE UTILITIES HAVE BEEN REMOVED OR CONSTRUCTED.

GAS:

MICHIGAN GAS UTILITY
70 SAUK RIVER DRIVE
COLDWATER, MI 49036
P - 517-781-0511
ATTN: DONALD SEEKMAN
donald.seekman@mgichiganutilities.com

CABLE TELEVISION:

COMCAST
25626 TELEGRAPH RD.
SOUTHFIELD, MI 48034
P - 734-359-1669
ATTN: JEFF DOBIES

WATER/SEWER:

CITY OF HILLSDALE BPU
45 MONROE STREET
HILLSDALE, MI 49242
P - 517-437-6412
ATTN: CRAIG WICKHAM
cwickham@cityofhillsdale.com

ELECTRIC:

CITY OF HILLSDALE BPU
45 MONROE STREET
HILLSDALE, MI 49242
P - 517-437-6417
ATTN: DAVID MACKIE

TELEPHONE:

AT&T
1041 HURST ROAD
JACKSON, MI 49201
P - 517-750-0660
ATTN: KAREN TRUDGEN
karen.m.trudgen@att.com

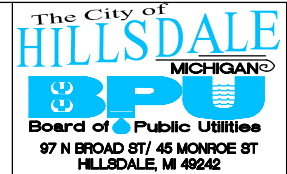
PUBLIC WORKS:

CITY OF HILLSDALE
149 WATER WORKS AVE
HILLSDALE, MI 49242
517-437-6491
ATTN: JASON BLAKE
jblake@cityofhillsdale.org

THE CONTRACTOR SHALL EXPOSE AND VERIFY LOCATION AND DEPTH OF EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. CONFLICTS IN GRADE SHALL BE REPORTED TO THE CITY ENGINEER AND ADJUSTMENTS MADE AT NO ADDITIONAL COST TO THE OWNER.

| LEGEND | |
|--------|------------------------------------|
| | MONUMENT / SECTION CORNER |
| | FOUND PROPERTY IRON |
| | SECTION LINE |
| | EXISTING PROPERTY LINE |
| | EXISTING RIGHT OF WAY LINE |
| | EXISTING EASEMENT LINE |
| | EXISTING CENTERLINE |
| | EXISTING DITCH CENTERLINE |
| | EXISTING SWALE CENTERLINE |
| | EXISTING DECORATIVE FENCE |
| | EXISTING FENCE LINE/CHAINLINK |
| | EXISTING CONTOURS |
| | BOLLARD / POST |
| | EXISTING SIGN |
| | UTILITY POWER POLE |
| | GUY WIRE |
| | EXISTING LIGHT POLES/STREET LIGHTS |
| | UNDERGROUND ELECTRIC LINE |
| | OVERHEAD ELECTRICAL WIRES |
| | UNDERGROUND GAS LINE |
| | UNDERGROUND TELEPHONE LINE |
| | TELEPHONE RISER |
| | EXISTING DECIDUOUS TREES |
| | EXISTING CONIFEROUS TREES |
| | EXISTING SANITARY MANHOLE |
| | SANITARY CLEAN-OUT |
| | EXISTING SANITARY SEWER |
| | EXISTING STORM MANHOLE |
| | EXISTING CURB CATCHBASIN |
| | EXISTING MANHOLE/CATCHBASIN |
| | EXISTING STORM SEWER |
| | EXISTING HYDRANT |
| | EXISTING VALVE / CURB STOP |
| | EXISTING WATERMAIN |
| | EXISTING CURB & GUTTER |
| | EXISTING HMA/BIT SURFACE |
| | EXISTING CONCRETE SURFACE |
| | EXISTING GRAVEL SURFACE |
| | EXISTING SIDEWALK |
| | EXISTING TRAFFIC ARROWS |
| | SOIL BORING |
| | FLAGPOLE |
| | HANDICAP PARKING SYMBOL |

| LEGEND - PROPOSED FEATURES | |
|----------------------------|-----------------------------------|
| | PROPOSED SANITARY SEWER |
| | PROPOSED MANHOLE |
| | SANITARY CLEAN-OUT |
| | PROPOSED STORM SEWER |
| | PROPOSED CURB CATCHBASIN |
| | PROPOSED MANHOLE/CATCHBASIN |
| | PROPOSED MANHOLE |
| | PROPOSED WATERMAIN |
| | PROPOSED HYDRANT |
| | PROPOSED VALVE & SHUT OFF |
| | UNDERGROUND ELECTRIC LINE |
| | OVERHEAD ELECTRICAL WIRES |
| | PROPOSED LIGHT POLES |
| | PROPOSED CURB & GUTTER |
| | PROPOSED HMA/BIT SURFACE |
| | EXISTING CONCRETE SURFACE |
| | EXISTING GRAVEL SURFACE |
| | EXISTING SIDEWALK |
| | PROPOSED FLOW ARROW |
| | PROPOSED CONTOURS |
| | PROPOSED MODIFIED CURB AND GUTTER |



| REVISIONS | DATE |
|--------------|--------|
| DATE OF PLAN | 1/6/26 |
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| SOUTH STREET READING AVE TO BROAD (M-99) ST SECTION 26 and 27, T6S-R3W CITY OF HILLSDALE HILLSDALE COUNTY, MICHIGAN | NOTE SHEET LEGEND | |
| | | |

| SCALE | | |
|----------|------|--------|
| | NAME | DATE |
| DESIGNED | RDS | 1/6/26 |
| DRAWN | RDS | 1/6/26 |
| CHECKED | | |

DRAWING NO.

C11



Know what's below.
Call before you dig.

Engineer's Opinion of Costs

| | | | |
|-------------------------|---|--------------------------|----------------------|
| Project Number: | South St | Project Engineer: | Robert Stiverson, PE |
| Estimate Number: | 1 | Date Created: | 12/8/2025 |
| Project Type: | Miscellaneous | Date Edited: | 1/7/2026 |
| Location: | Reading Ave to Broad Street | Fed/State #: | |
| Description: | Full Depth HMA Pavement Removal and Overlay, with spot repairs to Sidewalks and Curb & Gutter | Fed Item: | |
| | | Control Section: | |

| Line | Pay Item | Description | Quantity | Units | Unit Price | Total |
|-----------------------|----------|--|-----------|-------|-------------|--------------|
| Category: 0001 Street | | | | | | |
| 0001 | 1027051 | _ Above Ground Video | 1.000 | LSUM | \$6.00 | \$6.00 |
| 0002 | 1080010 | Utility Relocation Adjustment | 1.000 | Dlr | \$12,000.00 | \$12,000.00 |
| 0003 | 1100001 | Mobilization, Max | 1.000 | LSUM | \$65,598.50 | \$65,598.50 |
| 0004 | 2027050 | _ Tree, Rem | 2.000 | Ea | \$2,500.00 | \$5,000.00 |
| 0005 | 2040021 | Curb, Rem | 3,063.000 | Ft | \$10.00 | \$30,630.00 |
| 0006 | 2040050 | Pavt, Rem | 374.000 | Syd | \$11.00 | \$4,114.00 |
| 0007 | 2040055 | Sidewalk, Rem | 374.000 | Syd | \$13.00 | \$4,862.00 |
| 0008 | 2040060 | Structures, Rem | 1.000 | LSUM | \$7,500.00 | \$7,500.00 |
| 0009 | 2050016 | Excavation, Earth | 705.000 | Cyd | \$14.00 | \$9,870.00 |
| 0010 | 2057002 | _ Road Grading | 18.000 | Sta | \$2,200.00 | \$39,600.00 |
| 0011 | 2080020 | Erosion Control, Inlet Protection, Fabric Drop | 20.000 | Ea | \$125.00 | \$2,500.00 |
| 0012 | 3010002 | Subbase, CIP | 120.000 | Cyd | \$19.00 | \$2,280.00 |
| 0013 | 3020008 | Aggregate Base, 3 inch | 1,124.000 | Syd | \$5.00 | \$5,620.00 |
| 0014 | 3020010 | Aggregate Base, 4 inch | 173.000 | Syd | \$10.50 | \$1,816.50 |
| 0015 | 3020016 | Aggregate Base, 6 inch | 185.000 | Syd | \$15.00 | \$2,775.00 |
| 0016 | 4030005 | Dr Structure Cover, Adj, Case 1 | 6.000 | Ea | \$700.00 | \$4,200.00 |
| 0017 | 5010005 | HMA Surface, Rem | 5,625.000 | Syd | \$10.00 | \$56,250.00 |
| 0018 | 5010061 | HMA Approach | 36.000 | Ton | \$150.00 | \$5,400.00 |
| 0019 | 5012024 | HMA, 4EL | 1,191.000 | Ton | \$97.00 | \$115,527.00 |
| 0020 | 5012036 | HMA, 5EL | 511.000 | Ton | \$115.00 | \$58,765.00 |
| 0021 | 8010005 | Driveway, Nonreinf Conc, 6 inch | 572.000 | Syd | \$56.00 | \$32,032.00 |
| 0022 | 8020038 | Curb and Gutter, Conc, Det F4 | 3,063.000 | Ft | \$28.00 | \$85,764.00 |

| Line | Pay Item | Description | Quantity | Units | Unit Price | Total |
|-----------------------------------|----------|--|-----------|-------|------------|-------------|
| 0023 | 8030010 | Detectable Warning Surface | 149.000 | Ft | \$65.00 | \$9,685.00 |
| 0024 | 8030044 | Sidewalk, Conc, 4 inch | 808.000 | Sft | \$6.00 | \$4,848.00 |
| 0025 | 8030046 | Sidewalk, Conc, 6 inch | 440.000 | Sft | \$8.00 | \$3,520.00 |
| 0026 | 8032001 | Curb Ramp, Conc, 4 inch | 1,775.000 | Sft | \$8.00 | \$14,200.00 |
| 0027 | 8110126 | Pavt Mrkg, Regular Dry, 4 inch, Yellow | 2,930.000 | Ft | \$1.00 | \$2,930.00 |
| 0028 | 8110127 | Pavt Mrkg, Regular Dry, 6 inch, White | 483.000 | Ft | \$1.00 | \$483.00 |
| 0029 | 8117001 | _ Pavt Mrkg, Regular Dry, 24 inch, Stop Bar | 132.000 | Ft | \$2.00 | \$264.00 |
| 0030 | 8117050 | _ Pavt Mrkg, Regular Dry, School | 2.000 | Ea | \$250.00 | \$500.00 |
| 0031 | 8120012 | Barricade, Type III, High Intensity, Double Sided, Lighted, Furn | 20.000 | Ea | \$80.00 | \$1,600.00 |
| 0032 | 8120013 | Barricade, Type III, High Intensity, Double Sided, Lighted, Oper | 20.000 | Ea | \$10.00 | \$200.00 |
| 0033 | 8120026 | Pedestrian Type II Barricade, Temp | 54.000 | Ea | \$80.00 | \$4,320.00 |
| 0034 | 8120035 | Channelizing Device, 42 inch, Fluorescent, Furn | 54.000 | Ea | \$15.00 | \$810.00 |
| 0035 | 8120036 | Channelizing Device, 42 inch, Fluorescent, Oper | 54.000 | Ea | \$30.00 | \$1,620.00 |
| 0036 | 8120170 | Minor Traf Devices | 1.000 | LSUM | \$9,965.00 | \$9,965.00 |
| 0037 | 8120350 | Sign, Type B, Temp, Prismatic, Furn | 560.000 | Sft | \$4.50 | \$2,520.00 |
| 0038 | 8120351 | Sign, Type B, Temp, Prismatic, Oper | 560.000 | Sft | \$11.50 | \$6,440.00 |
| 0039 | 8167011 | _ Slope Restoration | 2,310.000 | Syd | \$13.50 | \$31,185.00 |
| 0040 | 8230431 | Gate Box, Adj, Case 1 | 1.000 | Ea | \$700.00 | \$700.00 |
| 0041 | 8252145 | Sanitary Structure Cover, Adj, Case 1 | 3.000 | Ea | \$700.00 | \$2,100.00 |
| Category 0001 Total: \$650,000.00 | | | | | | |

| Line | Pay Item | Description | Quantity | Units | Unit Price | Total |
|-----------------|----------|-------------|----------|-------|------------|--------------|
| Estimate Total: | | | | | | \$650,000.00 |



Notice of Public Hearing

Date and Resolution Number Establishing Special Assessment District: January 20, 2026, Resolution #3666

Project Description: 2026-2 South St milling and resurfacing

Public Hearing #1 Date, Time, and Location: Monday, February 16, 2026 at 7:00 p.m., 3rd Floor Council Chambers, Hillsdale City Hall, 97 North Broad Street, Hillsdale, Michigan 49242

Notice Mailing Date: On or before February 6, 2026

Hillsdale City Council has made a determination that the above identified public improvements are necessary and proper, and that all or part of the costs thereof should be defrayed by special assessment against certain specially benefitting properties. Therefore, pursuant to Hillsdale City Code Section 2-334, a public hearing has been scheduled to consider any objections to this project. **You are receiving this notice because it has been determined that you are the owner of property specially benefitting from the proposed project.**

Written objections may be mailed or dropped off to:

**Hillsdale City Clerk
97 N Broad St
Hillsdale, MI 49242**

- The plans, specifications and estimates of cost have been placed on file with the City Clerk for review.
- Affected property owners will be given an opportunity during the public hearing to comment, ask questions about the project, and submit written objections to the improvements or the description of the lands and premises to be assessed.
- If more than 50 percent of the number of owners of privately owned real property to be assessed object in writing to the proposed improvement, the improvement shall not be made without the affirmative vote of seven of the members of the council.

After the close of the public hearing, Council may make a motion to vote on a resolution to make the improvement and to defray all or part of the cost by special assessment. This resolution will direct the assessor to prepare the assessment roll and must include the percentage of the cost to be levied by special assessment, the method of allocation, the number of annual installments, the interest rate to be charged upon the deferred balance, and a statement that special assessments may be paid in advance, with interest only to the date of payment. If passed, a second public hearing

will be scheduled and noticed to provide affected property owners and interested parties an opportunity to protest the amount of any assessment.

Michigan Compiled Law (MCL) Section 211.741 Required Statements:

- Appearance and protest at the hearing in the special assessment proceedings is required in order to appeal the amount of the special assessment to the state tax tribunal.
- An owner or party in interest, or his or her agent may appear in person at the hearing to protest the special assessment, or shall be permitted to file his or her appearance or protest by letter and his or her personal appearance shall not be required.

Additional Appeal Information:

- Hillsdale City Charter, Section 11.7. – Contested assessments. “Except and unless notice is given to the Council in writing of an intention to contest or enjoin the collection of any special assessment within thirty days after the date of the meeting of the Council at which the assessment roll is finally confirmed, which notice shall state the grounds on which the proceedings are to be contested, no suit or action of any kind shall be instituted or maintained for the purpose of contesting or enjoining the collection of such special assessment. Further, whether or not any public improvement is completed in any special assessment district, no owner of real property located in such district shall be entitled to commence any suit or action for the purpose of contesting or enjoining the collection of any such special assessment after he has received a benefit from the substantial completion of that portion of such public improvement for which he is assessed.” (emphasis added)
- Michigan Compiled Laws, Section **211.746 Statement of right to file written appeal**. Sec. 6. “If a special assessment is made against property, the notice of the special assessment sent to the property owner or person responsible for payment of the ad valorem property taxes under the general property tax act, Act No. 206 of the Public Acts of 1893, being sections 211.1 to 211.157 of the Michigan Compiled Laws, shall include, in addition to any other requirements by statute or charter, a statement that the owner or any person having an interest in the real property may file a written appeal of the special assessment with the state tax tribunal within 30 days after the confirmation of the special assessment roll if that special assessment was protested at the hearing held for the purpose of confirming the roll.” (emphasis added)
 - Petition forms are available and may be filed online with the Michigan Tax Tribunal at www.michigan.gov/taxtrib.
 - The correct form to use can be found under Small Claims, “Property Tax Appeal Petition Form Special Assessment.” Failure to use the correct form may result in a delay or dismissal of your appeal.

ADAMS, MARK & LISA FAMILY TRUST
ADAMS, MARK D & LISA A, TRUSTEES
1015 E ANGELENO AVE
BURBANK CA 91501

APEL, JONAH WHITLEY & ELYSE SHEA
53 BUDLONG ST
HILLSDALE MI 49242

BARNETT, IDA
44 E SOUTH ST
HILLSDALE MI 49242

BENDER, MEGAN
5389 S HILLSDALE RD
HILLSDALE MI 49242

BLONDE, DUSTIN A & KATHERINE E
82 S HOWELL ST
HILLSDALE MI 49242

BOGANWRIGHT, BEN
POWERS, HAROLD
86 E SOUTH ST
HILLSDALE MI 49242

BOGANWRIGHT, MARY JEAN
86 E SOUTH ST
HILLSDALE MI 49242

BROWN, YVONNE M
BROWN, BLAKE T
3430 N LAKE PLEASANT RD
HILLSDALE MI 49242

BURKEEN, DEBRA
39740 WARREN RD
CANTON MI 48187-4303

COOK, WALTER E
76 E SOUTH ST
HILLSDALE MI 49242-1845

COYKENDALL, ERIC R & WENDY L
74 S BROAD ST
HILLSDALE MI 49242

COZBY, PAUL WOODS & SHERRY MORRIS
82 S BROAD ST
HILLSDALE MI 49242

D&T VENDING, LLC
CLARK, TERRY & DONNA
426 E UNION ST
COLDWATER MI 49036

DEVENPORT, BRET M & LORI L
3120 E BEAR LK RD
OSSEO MI 49266

ELLIOTT, WARD J & JEANETTE L
76 S HOWELL ST
HILLSDALE MI 49242

GOW, SUZETTE K
76 S MANNING ST
HILLSDALE MI 49242

HAMBLETON, DAVID DEAN & CASSIE LYNN
67 S HOWELL ST
HILLSDALE MI 49242

HENES, EVERETT & KIMBERLY
66 E SOUTH ST
HILLSDALE MI 49242

HILLSDALE COMMUNITY SCHOOLS
CARL BAILEY SCHOOL
30 S NORWOOD AVE
HILLSDALE MI 49242

LEWIS, FAYE E
9 E SOUTH ST
HILLSDALE MI 49242

LIBERTYWORKS LLC
YOUTZ, DAVID/YOUTZ, WILMA
P O BOX 10273
HONOLULU HI 96816

LOREN, MICHELLE L
69 E SOUTH ST
HILLSDALE MI 49242

MILLER, JUSTIN H & CRYSTAL L
84 S MANNING ST
HILLSDALE MI 49242

MILLER, ROSE MARIE
27478 COUNTY RD M
WEST UNITY OH 43570

POWERS, MARY J
86 E SOUTH ST
HILLSDALE MI 49242

RAFFIN, MATTHEW R & GRACE
92 E SOUTH ST
HILLSDALE MI 49242

RICHARDSON, RUSSELL THOMAS II
RICHARDSON, CARMEL E
70 E SOUTH ST
HILLSDALE MI 49242

RILEY, DONALD E
5 READING AVE
HILLSDALE MI 49242

SARGENT, JEFFREY & JANET
83 E SOUTH ST
HILLSDALE MI 49242

SHARRAR, DALE & TERESA
85 E SOUTH ST
HILLSDALE MI 49242

HUKILL, ANGELA DAWN
SOWERS, DENNIS TODD
3660 GAY RD
HILLSDALE MI 49242

SOWERS, DENNIS TODD
HUKILL, ANGELA DAWN
90 E SOUTH ST
HILLSDALE MI 49242

STEVENS, LINDA S
81 S HOWELL ST
HILLSDALE MI 49242

STEWART, PAULA L
75 S HOWELL ST
HILLSDALE MI 49242

TAIPALUS PROPERTIES LLC
TAIPALUS, JONATHAN
2441 STEAMBURG RD
HILLSDALE MI 49242-0283

WATSON, JILL M
10634 FRENCH RD
LITCHFIELD MI 49252

WHALEN, PATRICK B & KRISTI R
1651 S BUNN RD
HILLSDALE MI 49242

| Parcel Number | Street Address | Owner Name | 2025 Class | Current use | Total Acres | Project Street Front Feet | Corner Lot? | 2025 SEV | Estimated True Cash Value | Per Parcel Cap by Ordinance (HMC Sec 2-235) | Cap Based on Property Class | FF Share with Class Caps | % of Total Cost specially assessed |
|----------------|----------------------|-------------------------------------|------------------------|-------------|-------------|------------------------------|-------------|------------------|---------------------------------|---|-----------------------------------|-----------------------------|---|
| 006-327-433-14 | 75 S WEST ST | ADAMS, MARK & LISA FAMILY TRUST | 401 RES 1 FAMILY | | 0.14 | 111.25 | Long | 72,700 | \$ 145,400 | \$ 36,350.00 | \$ 5,000.00 | \$ 5,000.00 | 0.65% |
| 006-327-433-15 | 9 E SOUTH ST | LEWIS, FAYE E | 401 RES 1 FAMILY | | 0.08 | 62.00 | No | 54,000 | \$ 108,000 | \$ 27,000.00 | \$ 5,000.00 | \$ 5,000.00 | 0.65% |
| 006-327-433-16 | 76 S MANNING ST | GOW, SUZETTE K | 401 RES 1 FAMILY | | 0.11 | 82.50 | Long | 53,500 | \$ 107,000 | \$ 26,750.00 | \$ 5,000.00 | \$ 5,000.00 | 0.65% |
| 006-327-433-17 | 11 E SOUTH ST | WHALEN, PATRICK B & KRISTI R | 401 RES 1 FAMILY | | 0.11 | 90.75 | No | 47,400 | \$ 94,800 | \$ 23,700.00 | \$ 5,000.00 | \$ 5,000.00 | 0.65% |
| 006-327-434-01 | 59 S MANNING ST | HILLSDALE COMMUNITY SCHOOLS | 201 SCHOOL-ELEM PUBLIC | | 1.57 | 173.25 | Short | - | \$ 390,000 | \$ 97,500.00 | \$ 10,000.00 | \$ 10,000.00 | 1.29% |
| 006-327-434-10 | 76 S HOWELL ST | ELLIOTT, WARD J & JEANETTE L | 401 RES 1 FAMILY | | 0.20 | 173.25 | Long | 67,500 | \$ 135,000 | \$ 33,750.00 | \$ 5,000.00 | \$ 5,000.00 | 0.65% |
| 006-327-476-01 | 5 READING AVE | RILEY, DONALD E | 401 RES 1 FAMILY | | 0.39 | 10.00 | Short | 137,800 | \$ 275,600 | \$ 68,900.00 | \$ 5,000.00 | \$ 1,460.06 | 0.19% |
| 006-327-477-01 | 4 E SOUTH ST | LIBERTYWORKS LLC | 401 RES DUPLEX | | 0.14 | 99.00 | Long | 79,000 | \$ 158,000 | \$ 39,500.00 | \$ 5,000.00 | \$ 5,000.00 | 0.65% |
| 006-327-477-10 | 8 E SOUTH ST & 10 | D&T VENDING, LLC | 401 RES DUPLEX | | 0.17 | 74.25 | No | 84,700 | \$ 169,400 | \$ 42,350.00 | \$ 5,000.00 | \$ 5,000.00 | 0.65% |
| 006-327-477-11 | 14 E SOUTH ST DUPLEX | BROWN, YVONNE M | 401 RES DUPLEX | | 0.09 | 49.50 | No | 66,100 | \$ 132,200 | \$ 33,050.00 | \$ 5,000.00 | \$ 5,000.00 | 0.65% |
| 006-327-477-12 | 84 S MANNING ST | MILLER, JUSTIN H & CRYSTAL L | 401 RES 1 FAMILY | | 0.15 | 123.75 | Long | 61,100 | \$ 122,200 | \$ 30,550.00 | \$ 5,000.00 | \$ 5,000.00 | 0.65% |
| 006-327-478-01 | 32 E SOUTH ST DUPLEX | TAIPALUS PROPERTIES LLC | 401 RES DUPLEX | | 0.08 | 65.00 | Long | 75,300 | \$ 150,600 | \$ 37,650.00 | \$ 5,000.00 | \$ 5,000.00 | 0.65% |
| 006-327-478-02 | 36 E SOUTH ST | TAIPALUS PROPERTIES LLC | 401 RES 1 FAMILY | | 0.05 | 38.00 | No | 46,400 | \$ 92,800 | \$ 23,200.00 | \$ 5,000.00 | \$ 5,000.00 | 0.65% |
| 006-327-478-03 | 38 E SOUTH ST | BURKEEN, DEBRA | 401 RES 1 FAMILY | | 0.16 | 70.25 | No | 56,500 | \$ 113,000 | \$ 28,250.00 | \$ 5,000.00 | \$ 5,000.00 | 0.65% |
| 006-327-478-04 | 40 E SOUTH ST | WATSON, JILL M | 401 RES 1 FAMILY | | 0.05 | 40.00 | No | 60,800 | \$ 121,600 | \$ 30,400.00 | \$ 5,000.00 | \$ 5,000.00 | 0.65% |
| 006-327-478-05 | 44 E SOUTH ST | BARNETT, IDA | 401 RES 1 FAMILY | | 0.06 | 51.75 | No | 59,900 | \$ 119,800 | \$ 29,950.00 | \$ 5,000.00 | \$ 5,000.00 | 0.65% |
| 006-327-478-06 | 82 S HOWELL ST | BLONDE, DUSTIN A & KATHERINE E | 401 RES 1 FAMILY | | 0.10 | 84.00 | Long | 83,000 | \$ 166,000 | \$ 41,500.00 | \$ 5,000.00 | \$ 5,000.00 | 0.65% |
| 006-426-303-07 | 65 E SOUTH ST | HAMBLETON, DAVID DEAN & CASSIE LYNN | 401 RES 1 FAMILY | | 0.12 | 51.50 | No | 74,200 | \$ 148,400 | \$ 37,100.00 | \$ 5,000.00 | \$ 5,000.00 | 0.65% |
| 006-426-303-15 | 69 E SOUTH ST | LOREN, MICHELLE L | 401 RES 1 FAMILY | | 0.15 | 66.00 | No | 60,600 | \$ 121,200 | \$ 30,300.00 | \$ 5,000.00 | \$ 5,000.00 | 0.65% |
| 006-426-303-17 | 52 BUDLONG ST & 52.5 | DEVENPORT, BRET M & LORI L | 401 RES DUPLEX | | 0.12 | 51.00 | Long | 57,700 | \$ 115,400 | \$ 28,850.00 | \$ 5,000.00 | \$ 4,964.20 | 0.64% |
| 006-426-305-08 | 53 BUDLONG ST | APEL, JONAH WHITLEY & ELYSE SHEA | 401 RES 1 FAMILY | | 0.07 | 65.00 | Long | 54,100 | \$ 108,200 | \$ 27,050.00 | \$ 5,000.00 | \$ 5,000.00 | 0.65% |
| 006-426-305-09 | 83 E SOUTH ST | SARGENT, JEFFREY & JANET | 401 RES 1 FAMILY | | 0.04 | 34.00 | No | 30,800 | \$ 61,600 | \$ 15,400.00 | \$ 5,000.00 | \$ 5,000.00 | 0.65% |
| 006-426-305-19 | 74 S BROAD ST | COYKENDALL, ERIC R & WENDY L | 401 RES 1 FAMILY | | 0.50 | 175.00 | Long | 239,063 | \$ 478,126 | \$ 119,531.50 | \$ 5,000.00 | \$ 5,000.00 | 0.65% |
| 006-426-305-20 | 85 E SOUTH ST | SHARRAR, DALE & TERESA | 401 RES 1 FAMILY | | 0.23 | 66.00 | No | 59,137 | \$ 118,274 | \$ 29,568.50 | \$ 5,000.00 | \$ 5,000.00 | 0.65% |
| 006-426-351-01 | 81 S HOWELL ST | STEVENS, LINDA S | 401 RES 1 FAMILY | | 0.17 | 118.47 | Long | 74,300 | \$ 148,600 | \$ 37,150.00 | \$ 5,000.00 | \$ 5,000.00 | 0.65% |
| 006-426-351-02 | 66 E SOUTH ST | HENES, EVERETT & KIMBERLY | 401 RES 1 FAMILY | | 0.08 | 50.00 | No | 92,700 | \$ 185,400 | \$ 46,350.00 | \$ 5,000.00 | \$ 5,000.00 | 0.65% |
| 006-426-351-12 | 70 E SOUTH ST | RICHARDSON, RUSSELL THOMAS II | 401 RES 1 FAMILY | | 0.08 | 40.00 | No | 78,900 | \$ 157,800 | \$ 39,450.00 | \$ 5,000.00 | \$ 5,000.00 | 0.65% |
| 006-426-351-13 | 72 E SOUTH ST | BENDER, MEGAN | 401 RES 1 FAMILY | | 0.14 | 48.33 | No | 79,000 | \$ 158,000 | \$ 39,500.00 | \$ 5,000.00 | \$ 5,000.00 | 0.65% |
| 006-426-351-14 | 74 E SOUTH ST | MILLER, ROSE MARIE | 401 RES 1 FAMILY | | 0.05 | 26.00 | No | 57,800 | \$ 115,600 | \$ 28,900.00 | \$ 5,000.00 | \$ 5,000.00 | 0.65% |
| 006-426-351-15 | 76 E SOUTH ST | COOK, WALTER E | 401 RES 1 FAMILY | | 0.12 | 58.67 | Short | 81,000 | \$ 162,000 | \$ 40,500.00 | \$ 5,000.00 | \$ 5,000.00 | 0.65% |
| 006-426-352-02 | 84 E SOUTH ST | POWERS, MARY J | 401 RES DUPLEX | | 0.16 | 49.50 | No | 106,700 | \$ 213,400 | \$ 53,350.00 | \$ 5,000.00 | \$ 5,000.00 | 0.65% |
| 006-426-352-03 | 86 E SOUTH ST | BOGANWRIGHT, MARY JEAN | 401 RES 1 FAMILY | | 0.23 | 49.50 | No | 92,800 | \$ 185,600 | \$ 46,400.00 | \$ 5,000.00 | \$ 5,000.00 | 0.65% |
| 006-426-352-04 | 90 E SOUTH ST | SOWERS, DENNIS TODD | 401 RES 1 FAMILY | | 0.21 | 57.75 | No | 57,500 | \$ 115,000 | \$ 28,750.00 | \$ 5,000.00 | \$ 5,000.00 | 0.65% |
| 006-426-352-05 | 92 E SOUTH ST | RAFFIN, MATTHEW R & GRACE | 401 RES 1 FAMILY | | 0.20 | 62.25 | No | 65,400 | \$ 130,800 | \$ 32,700.00 | \$ 5,000.00 | \$ 5,000.00 | 0.65% |
| 006-426-352-06 | 82 S BROAD ST | COZBY, PAUL WOODS & SHERRY MORRIS | 401 RES 1 FAMILY | | 0.27 | 94.50 | Long | 189,000 | \$ 378,000 | \$ 94,500.00 | \$ 5,000.00 | \$ 5,000.00 | 0.65% |
| 006-426-352-29 | 80 E SOUTH ST | BOGANWRIGHT, BEN | 401 RES 1 FAMILY | | 0.10 | 49.50 | No | 83,700 | \$ 167,400 | \$ 41,850.00 | \$ 5,000.00 | \$ 5,000.00 | 0.65% |
| 006-427-435-04 | 75 S HOWELL ST | STEWART, PAULA L | 401 RES DUPLEX | | 0.28 | 121.75 | Long | 80,000 | \$ 160,000 | \$ 40,000.00 | \$ 5,000.00 | \$ 5,000.00 | 0.65% |
| Totals: | | | | | 6.94 | 2,733.21 | | 2,820,100 | \$ 6,030,200 | \$ 1,507,550.00 | | \$ 186,424.26 | 24.05% |

| | |
|--|--|
| Parcel Count: | Per Parcel Flat Rate without caps (Property Owner Share/Parcel Count) |
| 37 | \$ 10,472.97 |
| % of Total specially assessed per parcel: | 2.70% |

Calculated from
SEV on last tax roll
(estimated for
exempt)
25%

| | | | | | | |
|---|-----|---------------|---|---------------|------|--|
| Total ESTIMATED Project Cost: | | \$ 775,000.00 | | | | |
| Cost allocation without per parcel caps: | | | Cost allocation with per parcel cap by ordinance: | | | Cost allocation with per parcel cap by class (2025 policy): |
| City Share | 50% | \$ 387,500.00 | 50% | \$ 387,500.00 | 0.76 | 588,575.74 |
| Property Owner Share | 50% | \$ 387,500.00 | 50% | \$ 387,500.00 | 0.24 | 186,424.26 |
| Inferred values - exempt, abated, or easement access | | | | | | |
| Split/Combined for next year - new parcel, allocated values | | | | | | |

Estimated based on current policy

RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I,

Matthew Raffin

_____, owner of

92 E. South St., Hillsdale, MI,

hereby object to the improvements
to South St. proposed on January
20th, 2026, due to the financial
hardship of the Special
Assessment District.

Signature:

Matthew Raffin

Date:

01/31/2026

RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I, Dale Sharrar,

owner of 85 E South St,

hereby object to the improvements
to South St. proposed on January
20th, 2026, due to the financial
hardship of the Special Assessment
District.

Signature: Dale Sharrar

Date: 1/26/26

To the City of Hillsdale:

RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

I,

Wendy Coykendall
_____, owner of

74 S. Broad St., Hillsdale, MI 49242,

hereby object to the improvements
to South St. proposed on January
20th, 2026, due to the financial
hardship of the Special
Assessment District.

Signature:

Wendy Coykendall

Date:

2 - 2 - 2026

RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I,

Shawn Casey

_____, owner of

82 S. Broad St.

hereby object to the improvements
to South St. proposed on January
20th, 2026, due to the financial
hardship of the Special
Assessment District.

Signature:

Shawn Casey

Date:

2/2/26

RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I, Paula Stewart,

owner of 75 S. Howell St,

hereby object to the improvements
to South St. proposed on January
20th, 2026, due to the financial
hardship of the Special Assessment
District.

Signature: Paula L. Stewart

Date: 1-31-26

RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I,

Rose Miller

_____, owner of

74 East South Street,

hereby object to the improvements
to South St. proposed on January
20th, 2026, due to the financial
hardship of the Special
Assessment District.

Signature:

Rose Miller

Date:

January 31, 2026

RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I, Linda S Stevens,

owner of 81 S Howell St,

hereby object to the improvements
to South St. proposed on January
20th, 2026, due to the financial
hardship of the Special Assessment
District.

Signature: Linda S Stevens

Date: 1/31/2026

RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I, Megan Bender,

owner of 72 E South St,

hereby object to the improvements
to South St. proposed on January
20th, 2026, due to the financial
hardship of the Special Assessment
District.

Signature: Megan Bender

Date: 1/29/2026

RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I, Justin Miller,

owner of 84 South Manning St,

hereby object to the improvements
to South St. proposed on January
20th, 2026, due to the financial
hardship of the Special Assessment
District.

Signature:

Justin Miller

Date:

1-26-26

RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I, Surgette New,

owner of 76 S. Manning,

hereby object to the improvements
to South St. proposed on January
20th, 2026, due to the financial
hardship of the Special Assessment
District.

Signature: Surgette New

Date: Jan 31st

RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I, EVERETT A. HENES,

owner of 660 E. SOUTH ST. (49242),

hereby object to the improvements
to South St. proposed on January
20th, 2026, due to the financial
hardship of the Special Assessment
District.

Signature: 

Date: 1/28/2026

RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I, Patrick Whalen,

owner of 11 E. SOUTH ST. HILLSDALE, MI 49242

hereby object to the improvements
to South St. proposed on January
20th, 2026, due to the financial
hardship of the Special Assessment
District.

Signature: PA Wh

Date: 24 JAN 2026

RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I, Mark Adams, owner of 75 South

West St. hereby object to the

improvements to South St.

proposed on January 20th, 2026, due

to the financial hardship of the

Special Assessment District.

Signature: 

Date:

1/23/26

RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I, Russell Richardson,

owner of 70 E South St.,

hereby object to the improvements
to South St. proposed on January
20th, 2026, due to the financial
hardship of the Special Assessment
District.

Signature: Russell Richardson

Date: 1/26/2026

RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I,

Walter Cook

_____, owner of

76 E. South St., Hillsdale, MI

hereby object to the improvements
to South St. proposed on January
20th, 2026, due to the financial
hardship of the Special
Assessment District.

Signature:

Walter E Cook

Date:

01/30/2026

RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I, Shay Lewis,

owner of 9 E. South Street,

hereby object to the improvements
to South St. proposed on January
20th, 2026, due to the financial
hardship of the Special Assessment
District.

Signature: Shay E. Lewis

Date: 1/30/2026

RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I,

Jonah Apel

_____, owner of

53 Budlong St., Hillsdale MI 49242,

hereby object to the improvements
to South St. proposed on January
20th, 2026, due to the financial
hardship of the Special
Assessment District.

Signature:

Jonah Apel

Date:

1/23/2026

RECEIVED



FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I,

Jeffery J Sargent JR

_____, owner of

83 E South St Hillsdale MI,

hereby object to the improvements
to South St. proposed on January
20th, 2026, due to the financial
hardship of the Special
Assessment District.

Signature:

Jeffery J Sargent JR

Date:

1-25-2026

RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I,

Bret Davenport

_____, owner of

52 Budlong St,

hereby object to the improvements
to South St. proposed on January
20th, 2026, due to the financial
hardship of the Special
Assessment District.

Signature:

Bret Davenport

Date:

1/26/26

RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I,

John Toupalos, Toupalos Properties, LLC

_____, owner of

32 & 32.5 E South St. Hillsdale, MI,

hereby object to the improvements
to South St. proposed on January
20th, 2026, due to the financial
hardship of the Special
Assessment District.

Signature:

John Toupalos Member

Date:

1/29/26

RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I,

John Taipalus - Taipalus Properties, LLC

_____, owner of

36 E South St. Hillsdale, MI 49242,

hereby object to the improvements
to South St. proposed on January
20th, 2026, due to the financial
hardship of the Special
Assessment District.

Signature:

John Taipalus, Member

Date:

1/29/26

RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I, Ward Hunt,

owner of _____,

hereby object to the improvements
to South St. proposed on January
20th, 2026, due to the financial
hardship of the Special Assessment
District.

Signature: Ward Hunt

Date: _____

City of Hillsdale

Agenda Item Summary

Meeting Date: February 16, 2026

Agenda Item: Public Hearing

SUBJECT: 2026 Special Assessment District – SAD 2026-3A, Oak Street – Public Hearing and Resolution

BACKGROUND PROVIDED BY STAFF:

At the January 20, 2026 City Council meeting a public hearing date of February 16, 2026 was set to consider any objections to the improvements under consideration for reconstruction of Oak St. The total estimated cost for this project is \$1,287,300. By City policy adopted February 17, 2025, up to 50% of the total project costs may be covered through special assessment to the 62 parcels currently identified in the Oak St. Special Assessment District (SAD 2026-3A) which includes Oak St. from St. Joe River (bike path) to E. College St.

The project cost split is in accordance with the City's Policy on Special Assessment Districts for Street Projects updated at the February 17, 2025 meeting. It is important to note that the total assessed cost to the affected property owners will not go above the policy maximum assessment limits based on classification or 25% of the property value per Hillsdale Ordinance Chapter 2, Article V, Section 2-335, whichever is the lesser amount. Notice of the meeting was published once each week for two successive weeks in the local newspaper. Affected property owners were mailed information on the proposed district on February 5, 2026.

According to the City Charter, Sec. 2-335 Hearing procedure, "If more than 50% of the number of owners of privately owned real property to be assessed for such improvement shall object in writing to the proposed improvement, the improvement shall not be made without the affirmative vote of seven of the members of the council."

RECOMMENDATION:

Based on the written objections received, which exceed 50% of the number of owners of privately owned real property proposed to be assessed, staff does not recommend establishment of the Oak Street Special Assessment District (SAD 2025-3A). Pursuant to Sec. 2-335 of the City Charter, the improvement may not proceed absent the affirmative vote of seven members of the Council.

CITY OF HILLSDALE
RESOLUTION NO. _____

A RESOLUTION TO APPROVE ESTABLISHMENT OF THE OAK STREET SPECIAL ASSESSMENT DISTRICT (SAD 2026-3A).

Minutes of a regular meeting of the City Council of the City of Hillsdale, Hillsdale County Michigan, held in the City Hall, City Council Chambers, 97 North Broad Street, Hillsdale, Michigan, in said City, on February 16, 2026 at 7:00 p.m.

PRESENT: _____

ABSENT: _____

The following preamble and resolution were offered by Councilperson _____ and supported by Councilperson _____.

WHEREAS, the City Council, by resolution 3667 at its January 20, 2026 regular meeting, deemed it necessary and declared its intention to construct improvements by reconstruction and other appurtenances of Oak Street from St. Joe River (bike path) to East College Street, and did provide for a public hearing to hear any objections to the proposed improvements; and

WHEREAS, a public hearing was held February 16, 2026 for said purpose; and

WHEREAS, the total cost of this project is estimated to be \$1,287,300.

NOW, THEREFORE, BE IT RESOLVED, that said public improvements be made and the City Manager be directed to proceed with the same; and

BE IT FURTHER RESOLVED, that the plans, specifications and detailed estimates relating to said improvements be hereby approved and adopted and the City Manager is directed to take action necessary to accomplish the said improvements; and

BE IT FURTHER RESOLVED, that Council does hereby determine that up to 50% of the costs are to be defrayed by special assessment, allocated as follows, in accordance with the policy and procedure adopted February 17, 2025:

1. The assessments will be individually determined by frontage and lot, and equally distributed thereto.

- a. In no case shall the whole amount to be levied by special assessment upon any lot or premises exceed 25 percent of the value of such lot or land as valued on the most recent assessment roll certified by the Board of Review.
- b. The whole amount to be levied upon any lot or premises is further subject to the following maximum amounts, based on property classification as defined in Michigan's General Property Tax Act, being Act 206 of 1893 as amended, Section 211.34c, and certified on same assessment roll;
 - i. For property classified as Residential no more than \$5,000
 - ii. For property classified as Commercial no more than \$10,000
 - iii. For all other property \$15,000
2. The special assessment may be paid in full without interest on or before August 31, 2026.
3. If remaining unpaid, the assessment shall be divided into 15 annual installments with the first installment also to be paid on or before August 31, 2026 without interest.
4. Deferred special assessment installments shall be subject to interest to the date of payment up to 6% (to be determined based on today's 10-year Treasury bond rate plus 1%).
5. Unpaid installments as of September 1 each year shall be certified by the City Treasurer and added to the winter tax bill.
6. All or a portion of the deferred special assessment balance or installments may be paid in advance at any time with interest only to the date of payment.
7. That the premiums upon which special assessments shall be levied, and which shall be hereafter known and designated as Special Assessment District 2026-3A, are described as follows:

Special Assessment Properties
Oak Street – St. Joe River Bike Path to East College Street

BE IT FURTHER RESOLVED, that the Assessor is hereby directed to cause the special assessments to be made, and report same to Council within 90 days, at which time the report shall be placed on file with the City Clerk and a public hearing scheduled to review the special assessment roll.

The foregoing resolution offered by Councilmember _____

And supported by Councilmember _____

The vote in favor of the resolution being as follows:

Roll call: _____

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Motion _____, _____ - _____

Resolution declared _____.

Date: February 16, 2026

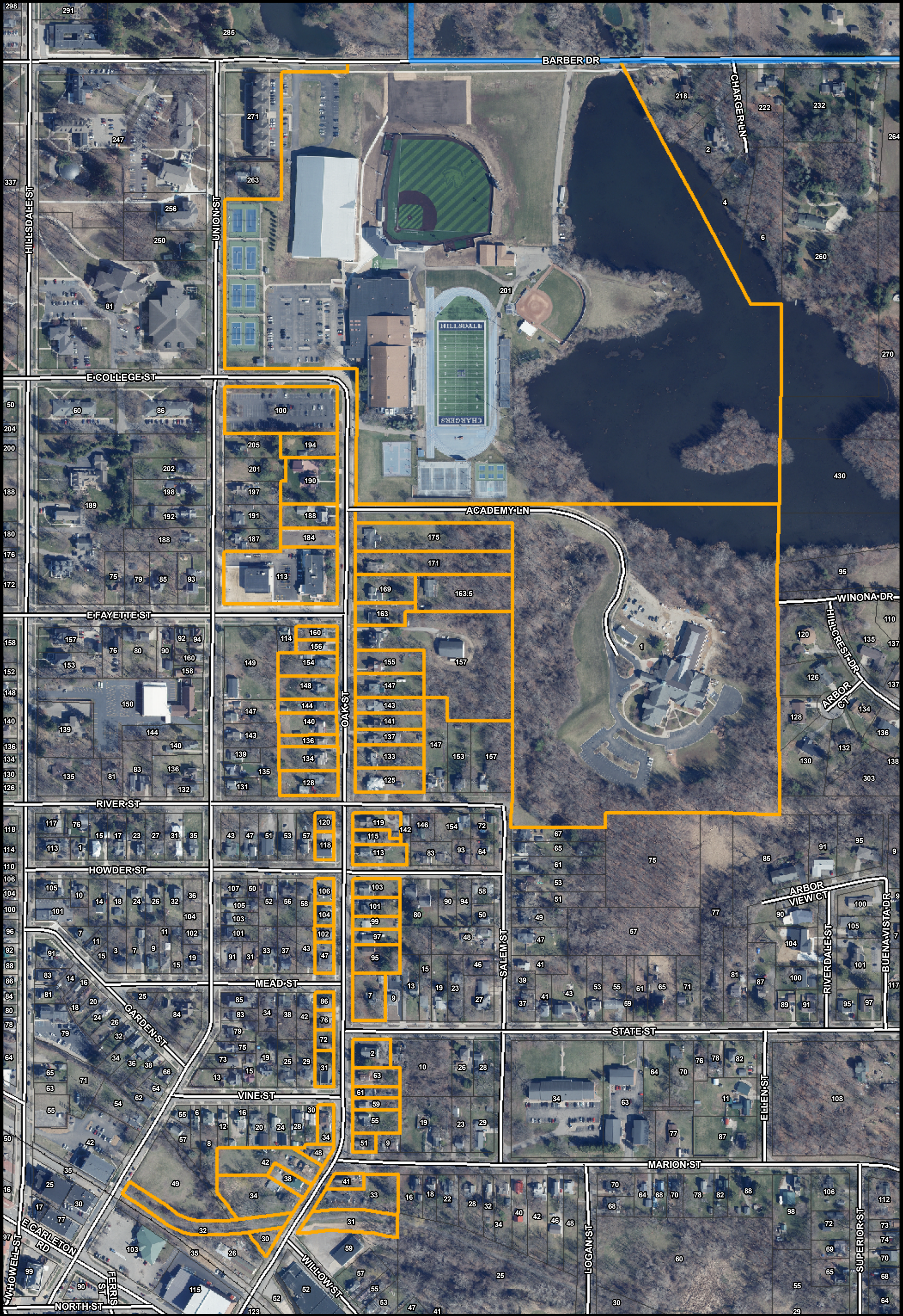
Scott Sessions, Mayor

Katy Price, Clerk

CERTIFICATION

As the Clerk for the City of Hillsdale, Hillsdale County, Michigan, I certify that this is a true and complete copy of a resolution adopted by the Hillsdale City Council, Hillsdale County at its regular meeting, held February 16, 2026.

Katy Price, Clerk

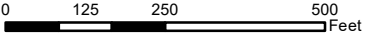


Legend

- City Boundary
- Railroad
- Streets
- Spec Asmt District 2026-3a (65 Parcels)
- Parcels

**City of Hillsdale
Special Assessment
District 2026-3a**

**Oak St from
The Bike Path
to College St**





MEMORANDUM

Date: January 13, 2026
To: City Council, City Manager Mackie, DPS Director Blake
From: Robert Stiverson, PE, City Engineer
Subject: Oak Street – Willow Street to Fayette Street

Please find the attach draft Opinion of Probable Costs, bid document, and plans for the subject project.

We are recommending a budget of

| | |
|--|------------------|
| Construction | \$800,000 |
| Engineering/Project Management/Special Assessment | \$ 80,000 |
| Contingencies: | \$ 80,000 |
| Total: | \$960,000 |

Project Management is based on full-time inspection, however, we plan on performing Part Time inspection with the hours based on the quality and performance of the contractor.

As always, Construction costs are based on Historic Bid Tabulations for the City of Hillsdale with a comparison of MDOT Unit Prices. Project Management/Inspection is based on MDOT guideline for installation of Quantities and previous experience.

Contingencies are approximately 10%, and are recommended based on there are unknowns in the field that could impact project costs.

CITY OF HILLSDALE

OAK STREET

STREET IMPROVEMENTS

WILLOW ST TO FAYETTE ST



Know what's below.
Call before you dig.

FOR PROTECTION OF UNDERGROUND UTILITIES AND IN CONFORMANCE WITH PUBLIC ACT 53, THE CONTRACTOR SHALL DIAL 1-800-482-7171 OR 811 A MINIMUM OF THREE FULL WORKING DAYS, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS PRIOR TO THE BEGINNING OF EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED.

THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE SIZE, LOCATION, DEPTH, PRESSURE, OR ANY OTHER CHARACTERISTICS OF UNDERGROUND UTILITIES, TANKS OR SEPTIC FIELDS WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OF COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND MAKE EVERY EFFORT TO PROTECT AND/OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND.

REFERENCES TO SPECIFICATIONS:

THE IMPROVEMENTS COVERED BY THESE PLANS SHALL BE DONE IN ACCORDANCE WITH THE PROJECT DRAWINGS, NOTES, AND THE APPLICABLE SECTIONS OF THE 2020 MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.

ALL TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE MOST CURRENT VERSION OF THE MICHIGAN MANUAL OF TRAFFIC CONTROL DEVICES (MMUTCD)

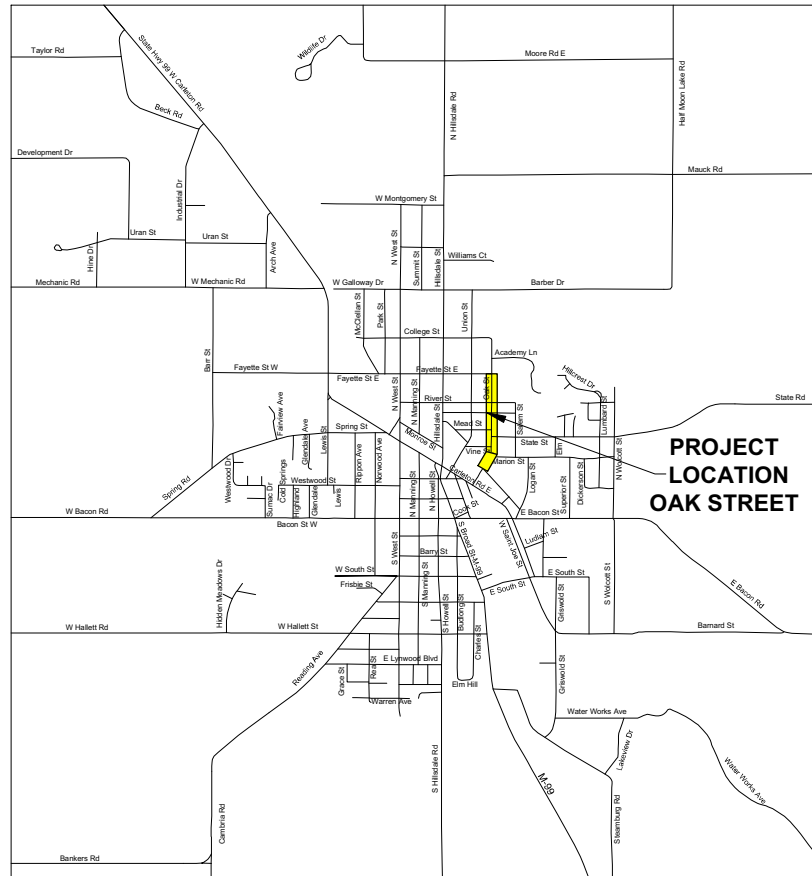
| SHEET NO. | DESCRIPTION |
|-----------|---|
| C1 | COVER SHEET |
| C2 | EXISTING/DEMOLITION PLAN - WILLOW TO STA 15+00 |
| C3 | EXISTING/DEMOLITION PLAN - STA 15+00 TO FAYETTE |
| C4 | CONSTRUCTION PLAN - WILLOW TO STA 9+00 |
| C5 | CONSTRUCTION PLAN - STA 9+00 TO 15+00 |
| C6 | CONSTRUCTION PLAN - STA 15+00 TO 21+00 |
| C7 | CONSTRUCTION PLAN - STA 21+00 TO FAYETTE |
| C8 | PAVEMENT MARKINGS - WILLOW TO STA 15+00 |
| C9 | PAVEMENT MARKINGS - STA 15+00 TO FAYETTE |
| C10 | PAVEMENT DETAILS/QUANTITIES |
| C11 | MAINTAINING TRAFFIC - PLAN VIEW |
| C12 | MAINTAINING TRAFFIC - SIGN DETAILS |
| C13 | NOTE SHEET & LEGEND |

| REVISIONS | DATE |
|--------------|--------|
| DATE OF PLAN | 1/9/26 |
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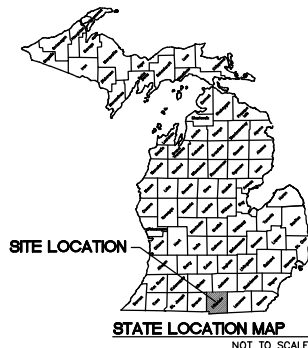
OAK STREET
WILLOW ST TO FAYETTE ST
SECTION 23 and 26, T6S-R3W
CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN
COVER
SHEET

| SCALE | NAME | DATE |
|----------|------|--------|
| DESIGNED | RDS | 1/9/26 |
| DRAWN | RDS | 1/9/26 |
| CHECKED | | |

DRAWING NO.
C1



AREA MAP
NOT TO SCALE



SITE LOCATION

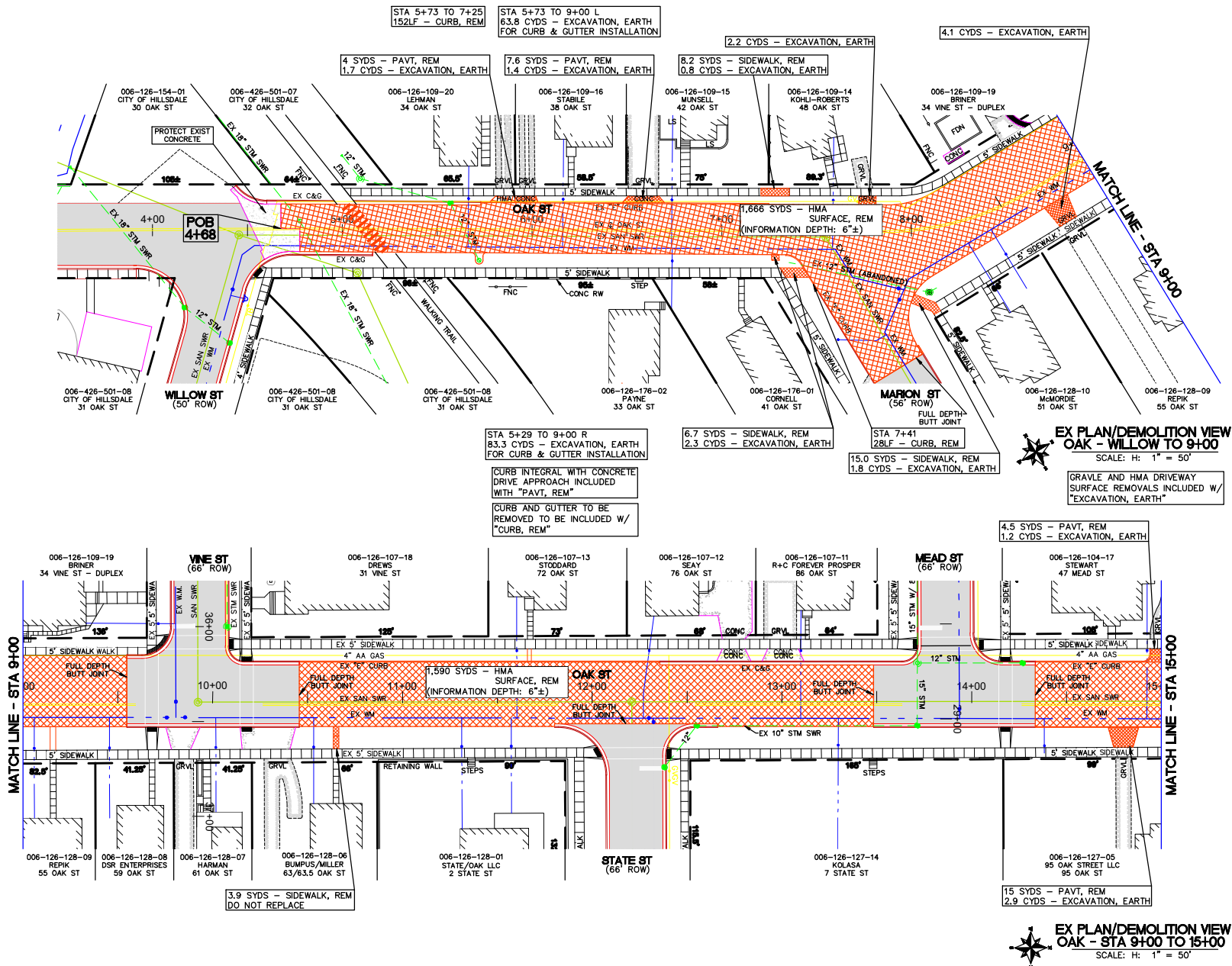
STATE LOCATION MAP
NOT TO SCALE

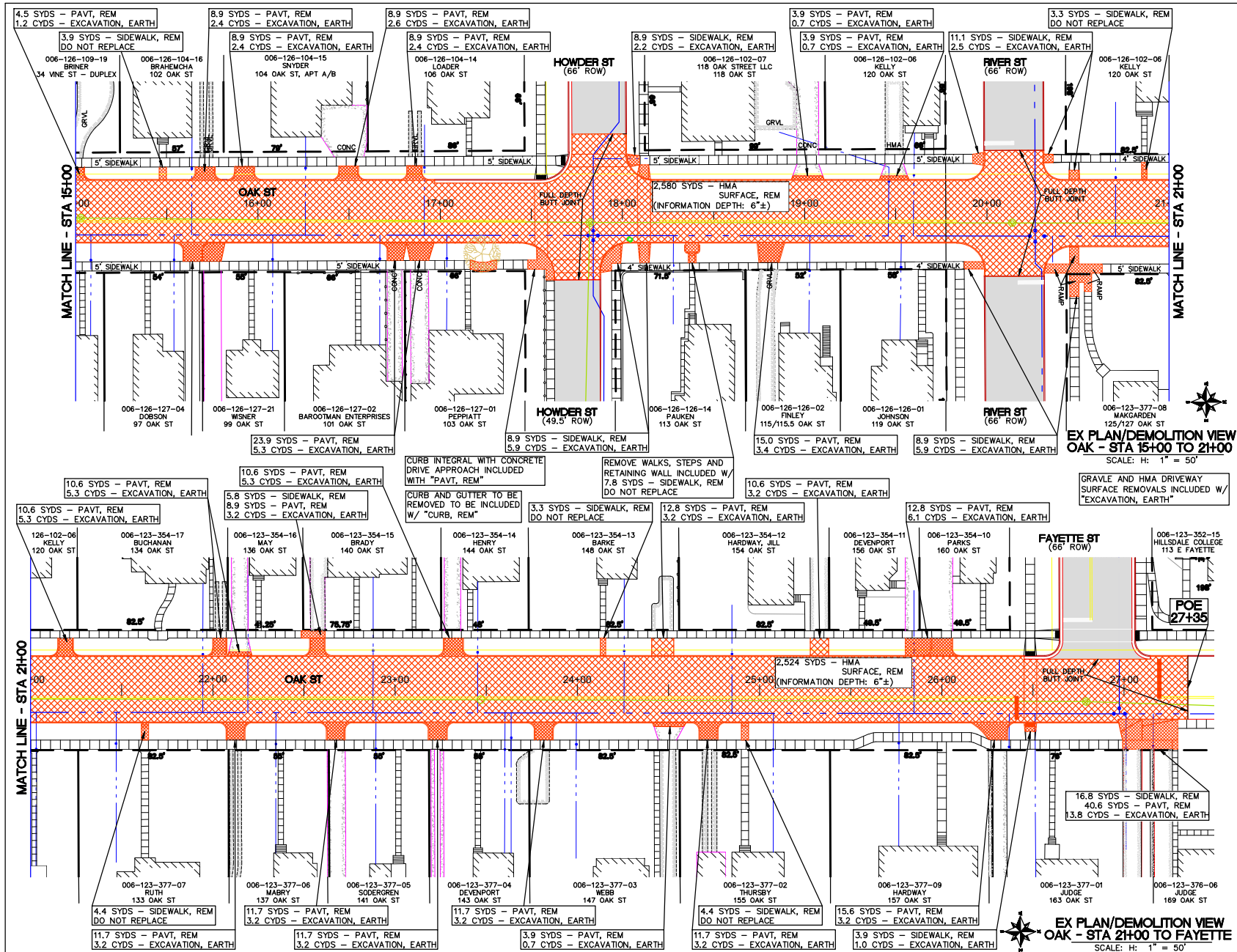
| REVISIONS | DATE |
|--------------|--------|
| DATE OF PLAN | 1/9/26 |

OAK STREET
WILLOW ST TO FAYETTE ST
SECTION 23 and 26, T6S-R3W
CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN
DEMOLITION PLAN
WILLOW ST TO STA 15+00

| SCALE | NAME | DATE |
|-------------|------|--------|
| DESIGNED | RDS | 1/9/26 |
| DRAWN | RDS | 1/9/26 |
| CHECKED | | |
| DRAWING NO. | | |

C2





| REVISIONS | DATE |
|--------------|--------|
| DATE OF PLAN | 1/9/26 |
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OAK STREET
WILLOW ST TO FAYETTE ST
SECTION 23 and 26, T6S-R3W
CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN
DEMOLITION PLAN
STA 15+00 TO FAYETTE ST

| SCALE | NAME | DATE |
|-------------|------|--------|
| DESIGNED | RDS | 1/9/26 |
| DRAWN | RDS | 1/9/26 |
| CHECKED | | |
| DRAWING NO. | | |

C3

| REVISIONS | DATE |
|--------------|--------|
| DATE OF PLAN | 1/9/26 |

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OAK STREET
WILLOW ST TO FAYETTE ST
SECTION 23 and 26, T6S-R3W
CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN
CONSTRUCTION PLAN
STA 19+00 TO STA 15+00

| SCALE | NAME | DATE |
|-------------|------|--------|
| DESIGNED | RDS | 1/9/26 |
| DRAWN | RDS | 1/9/26 |
| CHECKED | | |
| DRAWING NO. | C5 | |

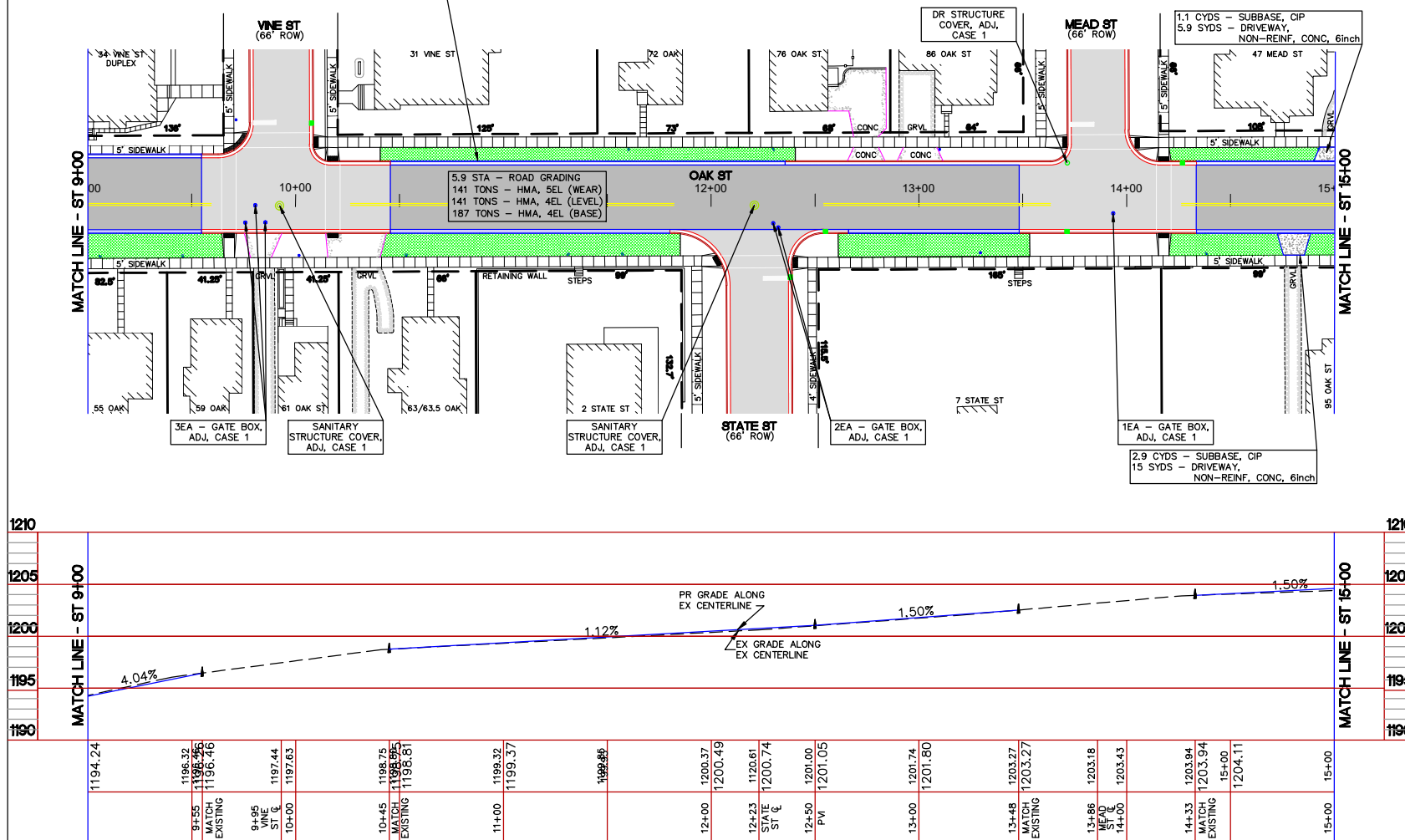
ROAD GRADING, INCLUDES PROVIDING ADDITIONAL AGGREGATE BASE MATERIAL, REMOVAL OF EXCESSIVE BASE MATERIAL AS NEEDED TO PROVIDE FINAL BASE GRADE. 2" OF AGGREGATE BASE BETWEEN THE NEW CURB & GUTTER IS PROVIDED AS AN INFORMATIONAL QUANTITY FOR THE DESIGNED GRADE ADJUSTMENTS.
INFO QUANTITY - 79 CYDS - AGGREGATE BASE, CIP

330.5 SYDS - AGGREGATE BASE, 3inch
708 LF - CURB & GUTTER, CONC, DET F4
82.7 SYDS - AGGREGATE BASE, 4INCH
(FACE OF CURB)

5.9 STA - ROAD GRADING
141 TONS - HMA, 5EL (WEAR)
141 TONS - HMA, 4EL (LEVEL)
187 TONS - HMA, 4EL (BASE)

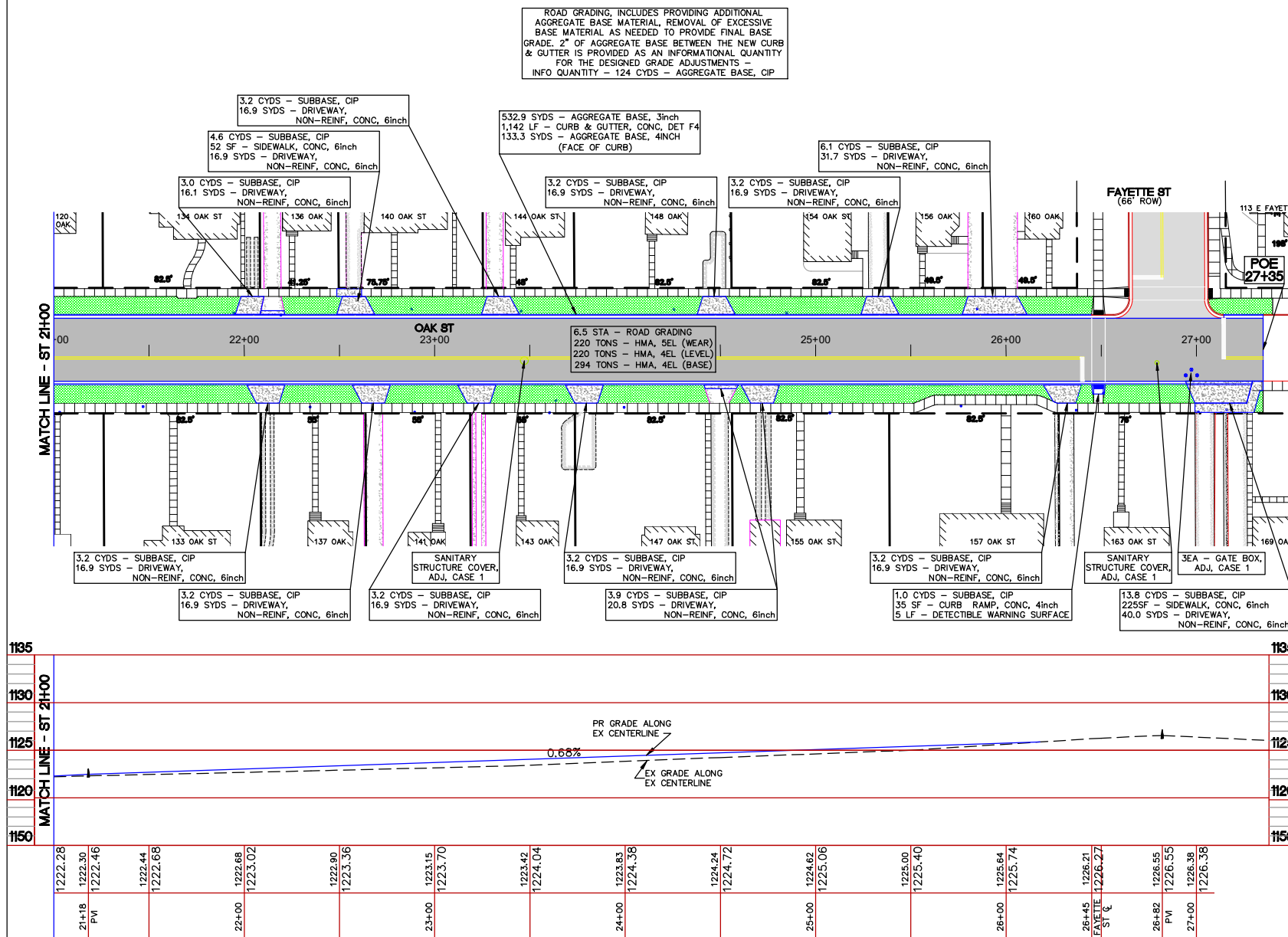
1.1 CYDS - SUBBASE, CIP
5.9 SYDS - DRIVEWAY,
NON-REINF, CONC, 6inch

2.9 CYDS - SUBBASE, CIP
15 SYDS - DRIVEWAY,
NON-REINF, CONC, 6inch



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| 5 | SCALE | | |
| 0 | | NAME | DATE |
| 0 | DESIGNED | RDS | 1/9/26 |
| 0 | DRAWN | RDS | 1/9/26 |
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| | DRAWING NO. | | |

C7



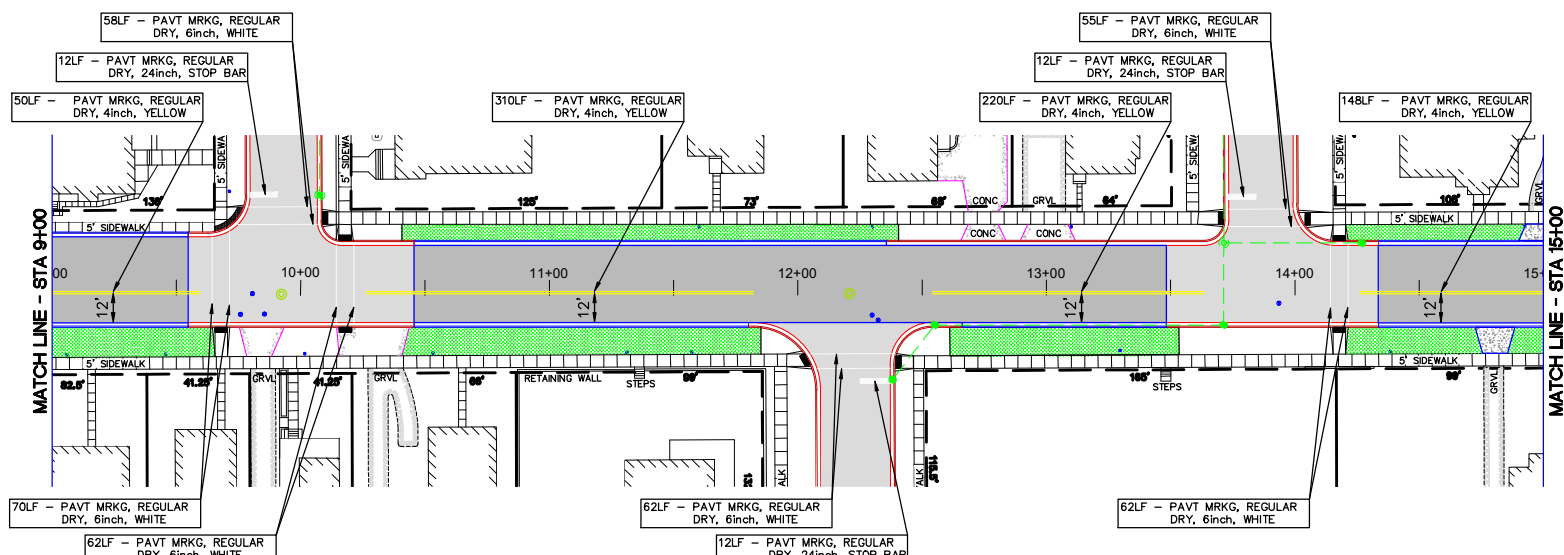
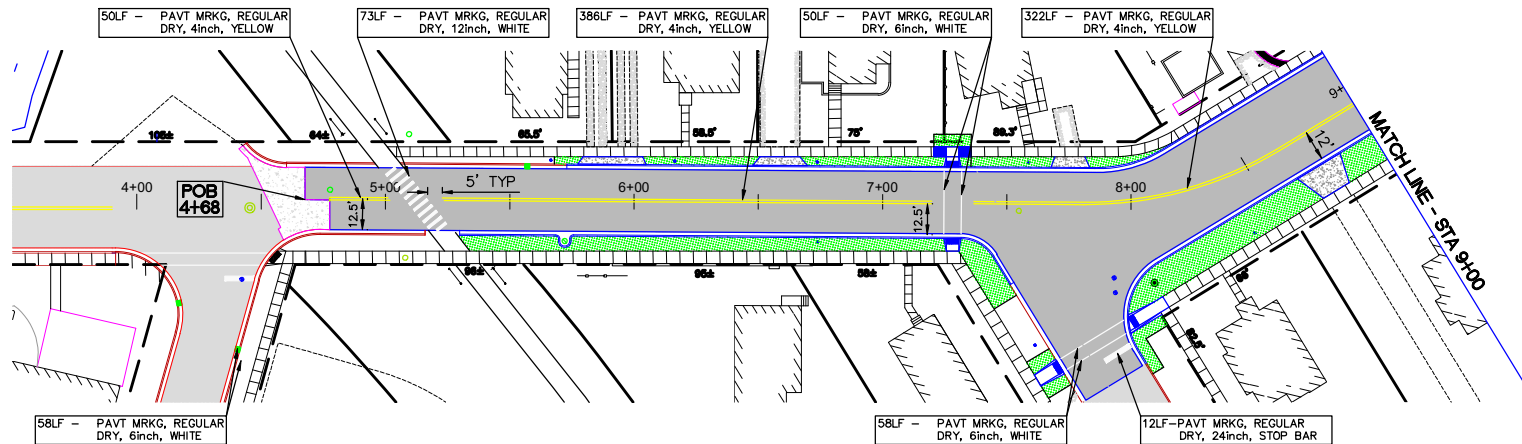
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| DATE OF PLAN | 1/9/26 |

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OAK STREET
WILLOW ST TO FAYETTE ST
SECTION 23 and 26, T6S-R3W
CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN
PAVEMENT MARKINGS
WILLOW ST TO STA 15+00

| SCALE | NAME | DATE |
|----------|------|--------|
| DESIGNED | RDS | 1/9/26 |
| DRAWN | RDS | 1/9/26 |
| CHECKED | | |

DRAWING NO.
C8



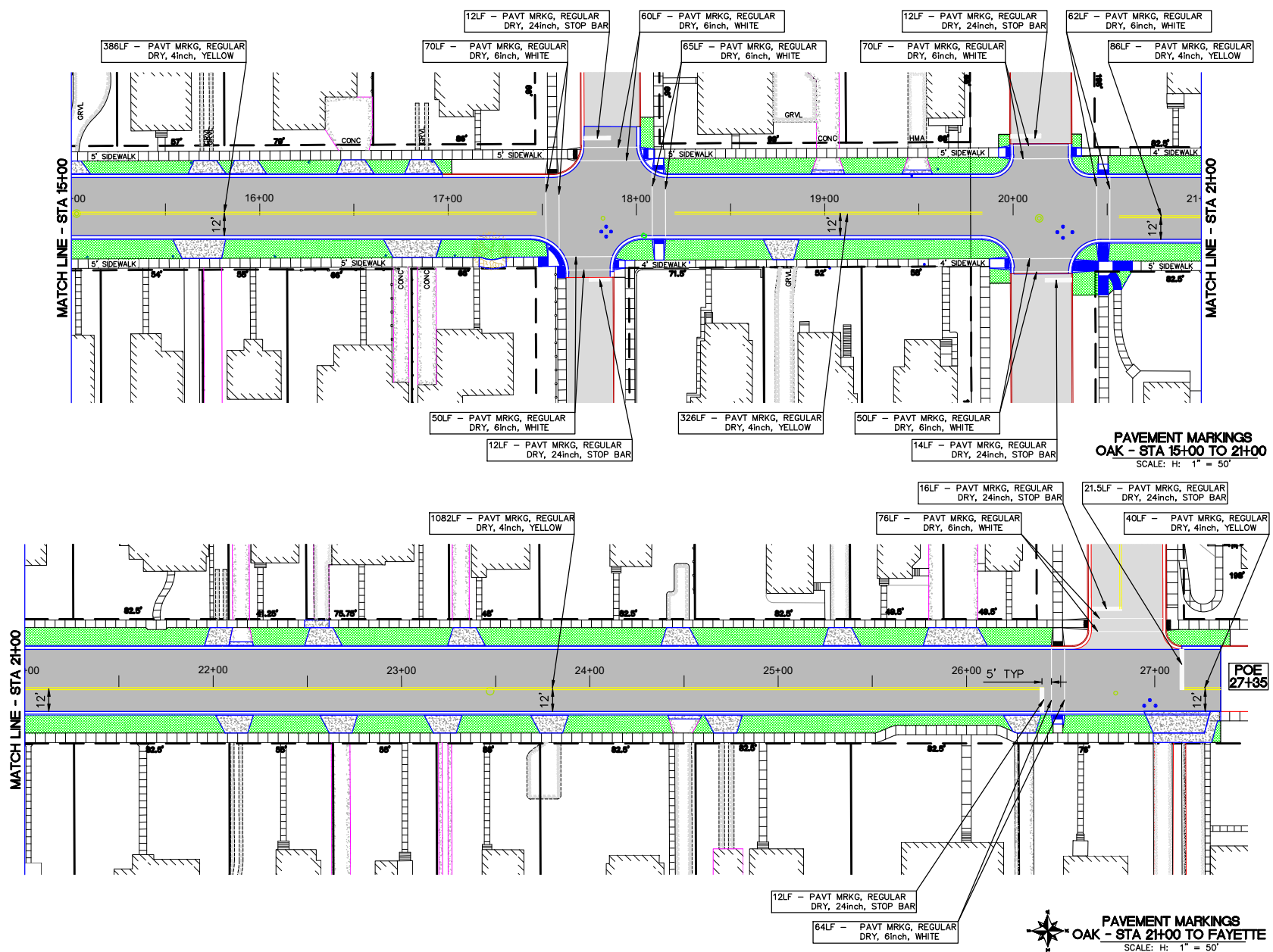
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| DATE OF PLAN | 1/9/26 |
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OAK STREET
WILLOW ST TO FAYETTE ST
SECTION 23 and 26, T6S-R3W
CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN
PAVEMENT MARKINGS
STA 15+00 TO FAYETTE ST

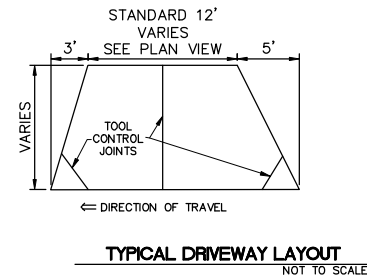
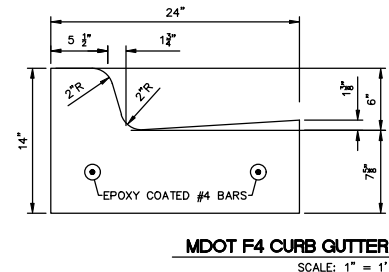
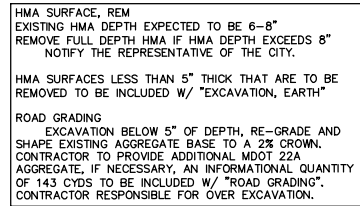
| SCALE | NAME | DATE |
|----------|------|--------|
| DESIGNED | RDS | 1/9/26 |
| DRAWN | RDS | 1/9/26 |
| CHECKED | | |

DRAWING NO.

C9



NOTE: BOND COAT SHALL BE APPLIED BETWEEN SUCCESSIVE COURSES OF HMA (PAYMENT INCLUDED IN HMA MIX). APPLICATION RATE 0.05 - 0.15 GAL/SYD SS-IH, AS DIRECTED BY ENGINEER.



The City of
HILLSDALE
MICHIGAN
BPU
Board of Public Utilities
97 N BROAD ST/ 45 MONROE ST
HILLSDALE, MI 49242

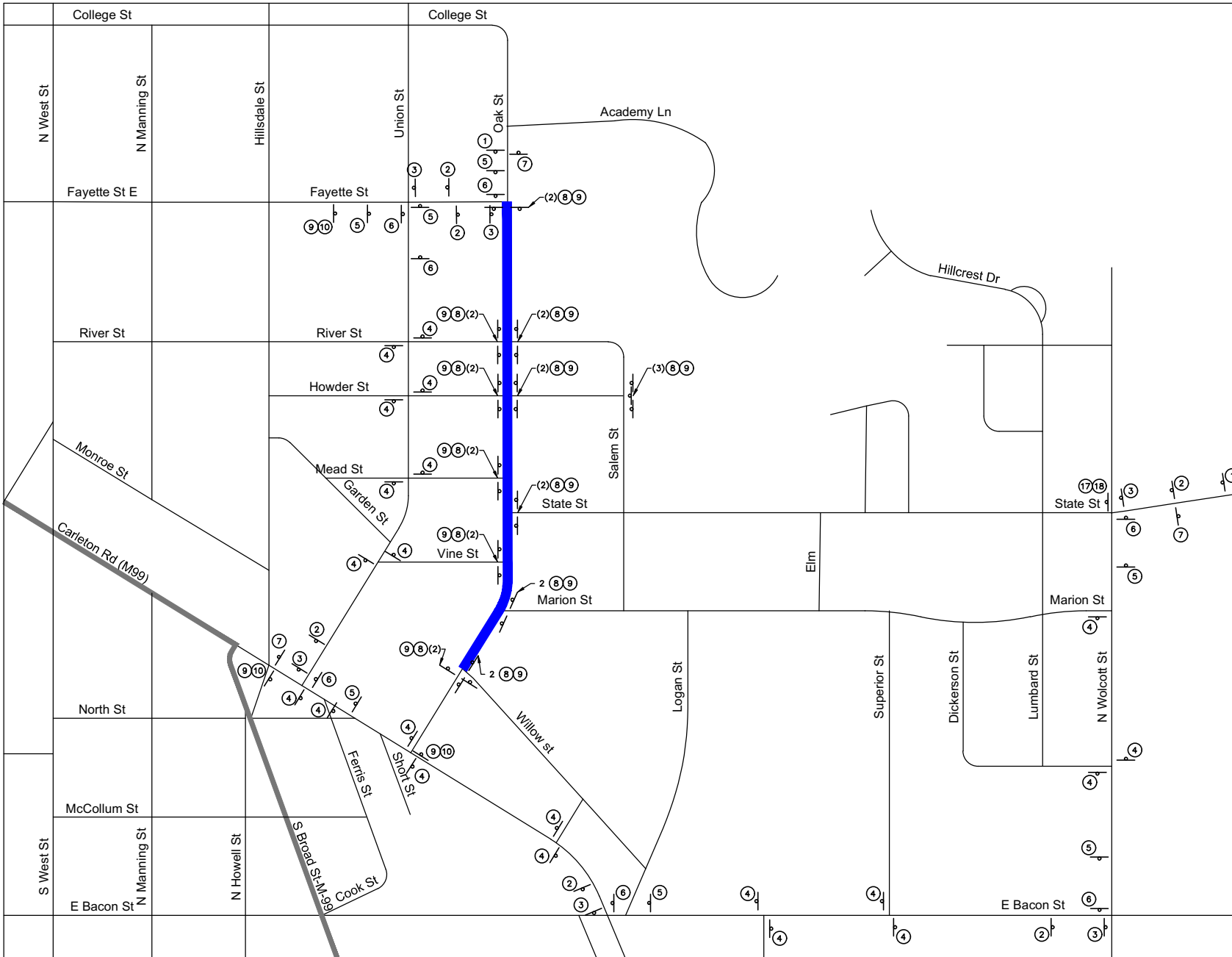
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| REVISIONS | DATE |
| DATE OF PLAN | 1/9/26 |

**OAK STREET
WILLOW ST TO FAYETTE ST
SECTION 23 and 26, T6S-R3W
CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN**

**PAVEMENT DETAILS
TOTAL QUANTITIES**

| | | |
|--------------------|-------------|-------------|
| SCALE | | |
| | NAME | DATE |
| DESIGNED | RDS | 1/9/26 |
| DRAWN | RDS | 1/9/26 |
| CHECKED | | |
| DRAWING NO. | | |

C10



The City of
HILLSDALE
 MICHIGAN
BPU
 Board of Public Utilities
 97 N BROAD ST/ 45 MONROE ST
 HILLSDALE, MI 49242

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|--------------|--------|
| REVISIONS | DATE |
| DATE OF PLAN | 1/9/26 |
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OAK STREET
WILLOW ST TO FAYETTE ST
 SECTION 23 and 26, T6S-R3W
 CITY OF HILLSDALE
 HILLSDALE COUNTY, MICHIGAN

MAINTAINING TRAFFIC
PLAN VIEW

| | | |
|----------|------|--------|
| SCALE | NAME | DATE |
| DESIGNED | RDS | 1/9/26 |
| DRAWN | RDS | 1/9/26 |
| CHECKED | | |

DRAWING NO.
C11

| SIGNING REQUIREMENTS - OAK ST | | | | |
|-------------------------------|------|--------------------|--|----------|
| MAP SYMBOL | SIGN | SIGN DESIGNATION | SIGN | QUANTITY |
| 1 | | D 3-1 W 20-3 | 36 x 18 36 x 36 (LIGHTED & FLAGGED) | 2 |
| 2 | | D 3-1 M 4-9 | 36 x 18 30 x 24 | 6 |
| 3 | | D 3-1 M 4-9 | 36 x 18 30 x 24 | 6 |
| 4 | | D 3-1 M 4-9 | 36 x 18 30 x 24 | 21 |
| 5 | | D 3-1 M 4-9 | 36 x 18 30 x 24 | 7 |
| 6 | | D 3-1 M 4-9 | 36 x 18 30 x 24 | 7 |
| 7 | | D 3-1 M 4-8a | 36 x 18 30 x 24 | 4 |
| 8 | | R 11-2 | 48 x 30 (LIGHTED & FLAGGED) | 22 |
| 9 | | TYPE III BARRICADE | 60 x 48 (LIGHTED) DOUBLE SIDED | 26 |
| 10 | | R 11-2 | 48 x 30 (LIGHTED & FLAGGED) | 4 |

CONTRACTOR TO MAKE THEIR OWN DETERMINATION OFF MINOR TRAF CONTROL DEVICES, TYPE II (CONES) AND PEDESTRAIN BARRIERS. TO BE INCLUDED WITH "MAINTAINING TRAFFIC"

TEMPORARY SIGNS AND SIGN COVERS ARE TO BE INCLUDED WITH "MAINTAINING TRAFFIC"

| MAINTAINING TRAFFIC SCHEDULE | | |
|--|--|--|
| CONTRACTOR IS TO SUBMIT A PROGRESS SCHEDULE PRIOR TO STARTING CONSTRUCTION WITH THE FOLLOWING RESTRICTIONS IN MIND: | | |
| HOLIDAYS: CONTRACTOR SHALL OBSERVE THE HOLIDAYS AND HOLIDAY REQUIREMENTS LISTED IN THE MDOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION | | |
| WORK SHALL BE DONE IN SUCH A MANNER AS TO LIMIT THE IMPACT TO THE TRAFFIC ALONG READING AVE, MANNING ST, HOWELL ST AND M-99 ONCE THE CONTRACTOR COMMENCES WORK, THEY SHALL NOT LEAVE TO COMPLETE WORK IN OTHER AREAS WITHOUT OPENING WEST ST AND MANNING STREET TO TRAFFIC. | | |
| DETOUR ROUTE SHALL FOLLOW THE DETAILS SHOWN ON THIS SHEET AND COMPLY WITH MDOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, MICHIGAN MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES, AND MDOT MAINTAINING TRAFFIC TYPICALS (M0020, WZD-125-E, WZD-100-A) | | |
| IRWIN STREET TRAFFIC CONTROL TO CONSIST OF BARRICADES AT THE ENDS OF THE CONSTRUCTION ZONE AND SIDE STREET. NO BUSINESS ARE ANTICIPATED TO BE AFFECTED, AS THE STREET IS A RESIDENTIAL ONLY STREET. | | |
| CONTRACTOR IS TO PROVIDE 2 WEEKS NOTICEM THE PROJECT ENGINEER WILL ALSO COORDINATE ACTIVITIES WITH THE LOCAL BUSINESS'S, TRUCKING COMPANIES, AND EMERGENCY SERVICES REGARDING STREET CLOSURES AND TRUCKING ROUTES. | | |
| SIGN COVERS SHALL BE INSTALLED OVER SIGNS DURING PERIODS WHEN WORK IS NOT BEING COMPLETED BUT THE ROADWAY IS OPEN TO TRAFFIC. THESE TIMES MAY INCLUDE THE PERIOD OF TIME BETWEEN WHEN THE TEMPORARY SIGNS ARE PLACED AND START OF CONSTRUCTION, AND BETWEEN THE END OF CONSTRUCTION AND REMOVAL OF THE TEMPORARY SIGNS. INCLUDED WITH "SIGN COVER" | | |
| FURNISHING, INSTALLING, MAINTAINING, RELOCATING, AND REMOVING ALL TRAFFIC CONES AND OTHER TRAFFIC DEVICES NOT IDENTIFIED ON THE PLANS OR IN THE PROPOSAL WILL BE PAID FOR AS "MINOR TRAF DEVICES" AND SHALL BE COMPLETED IN ACCORDANCE WITH SECTION 812.04.F OF THE MDOT 2012 STANDARD SPECIFICATIONS FOR CONSTRUCTION | | |

The City of
HILLSDALE
MICHIGAN
BPU
Board of Public Utilities
97 N BROAD ST/ 45 MONROE ST
HILLSDALE, MI 48242

| REVISIONS | DATE |
|--------------|--------|
| DATE OF PLAN | 1/9/26 |
| | |
| | |
| | |
| | |
| | |
| | |

OAK STREET
WILLOW ST TO FAYETTE ST
SECTION 23 and 26, T6S-R3W
CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN

MAINTAINING TRAFFIC
SIGN INFORMATION

| SCALE | | |
|----------|------|--------|
| | NAME | DATE |
| DESIGNED | RDS | 1/9/26 |
| DRAWN | RDS | 1/9/26 |
| CHECKED | | |

DRAWING NO.

C12

Know what's below.
Call before you dig.

Engineer's Opinion of Costs

Project Number: Oak Street

Estimate Number: 1

Project Type: Miscellaneous

Location: Willow to Fayette

Description:

Project Engineer: Robert Stiverson, PE

Date Created: 12/22/2025

Date Edited: 1/13/2026

Fed/State #:

Fed Item:

Control Section:

| Line | Pay Item | Description | Quantity | Units | Unit Price | Total |
|-----------------------|----------|--|-----------|-------|-------------|--------------|
| Category: 0000 | | | | | | |
| 0001 | 1027051 | _ Above Ground Video | 1.000 | LSUM | \$6,000.00 | \$6,000.00 |
| 0002 | 1100001 | Mobilization, Max | 1.000 | LSUM | \$75,276.30 | \$75,276.30 |
| 0003 | 2027050 | _ Tree, Rem | 1.000 | Ea | \$2,500.00 | \$2,500.00 |
| 0004 | 2040021 | Curb, Rem | 2,740.000 | Ft | \$10.00 | \$27,400.00 |
| 0005 | 2040050 | Pavt, Rem | 336.700 | Syd | \$11.00 | \$3,703.70 |
| 0006 | 2040055 | Sidewalk, Rem | 190.000 | Syd | \$13.00 | \$2,470.00 |
| 0007 | 2050016 | Excavation, Earth | 500.000 | Cyd | \$14.00 | \$7,000.00 |
| 0008 | 2057002 | _ Road Grading | 23.000 | Sta | \$3,300.00 | \$75,900.00 |
| 0009 | 2080020 | Erosion Control, Inlet Protection, Fabric Drop | 9.000 | Ea | \$125.00 | \$1,125.00 |
| 0010 | 3010002 | Subbase, CIP | 130.000 | Cyd | \$19.00 | \$2,470.00 |
| 0011 | 3020008 | Aggregate Base, 3 inch | 1,695.000 | Syd | \$5.00 | \$8,475.00 |
| 0012 | 3020010 | Aggregate Base, 4 inch | 420.000 | Syd | \$10.50 | \$4,410.00 |
| 0013 | 4030005 | Dr Structure Cover, Adj, Case 1 | 4.000 | Ea | \$700.00 | \$2,800.00 |
| 0014 | 5010005 | HMA Surface, Rem | 8,360.000 | Syd | \$10.50 | \$87,780.00 |
| 0015 | 5012024 | HMA, 4EL | 1,719.000 | Ton | \$97.00 | \$166,743.00 |
| 0016 | 5012036 | HMA, 5EL | 737.000 | Ton | \$115.00 | \$84,755.00 |
| 0017 | 8010005 | Driveway, Nonreinf Conc, 6 inch | 465.000 | Syd | \$56.00 | \$26,040.00 |
| 0018 | 8020038 | Curb and Gutter, Conc, Det F4 | 3,584.000 | Ft | \$28.00 | \$100,352.00 |
| 0019 | 8020075 | Spillway, Conc | 5.000 | Ft | \$80.00 | \$400.00 |
| 0020 | 8030010 | Detectable Warning Surface | 97.000 | Ft | \$65.00 | \$6,305.00 |
| 0021 | 8030044 | Sidewalk, Conc, 4 inch | 75.000 | Sft | \$6.00 | \$450.00 |
| 0022 | 8030047 | Sidewalk, Conc, 7 inch | 277.000 | Sft | \$8.00 | \$2,216.00 |

| Line | Pay Item | Description | Quantity | Units | Unit Price | Total |
|-----------------------------------|----------|--|-----------|-------|-------------|-------------|
| 0023 | 8032001 | Curb Ramp, Conc, 4 inch | 1,101.000 | Sft | \$8.00 | \$8,808.00 |
| 0024 | 8110045 | Pavt Mrkg, Ovly Cold Plastic, 24 inch, Stop Bar | 145.000 | Ft | \$15.00 | \$2,175.00 |
| 0025 | 8110127 | Pavt Mrkg, Regular Dry, 6 inch, White | 1,055.000 | Ft | \$1.00 | \$1,055.00 |
| 0026 | 8110128 | Pavt Mrkg, Regular Dry, 6 inch, Yellow | 3,615.000 | Ft | \$1.00 | \$3,615.00 |
| 0027 | 8110131 | Pavt Mrkg, Regular Dry, 12 inch, White | 72.500 | Ft | \$2.00 | \$145.00 |
| 0028 | 8120012 | Barricade, Type III, High Intensity, Double Sided, Lighted, Furn | 26.000 | Ea | \$80.00 | \$2,080.00 |
| 0029 | 8120013 | Barricade, Type III, High Intensity, Double Sided, Lighted, Oper | 26.000 | Ea | \$10.00 | \$260.00 |
| 0030 | 8120026 | Pedestrian Type II Barricade, Temp | 40.000 | Ea | \$80.00 | \$3,200.00 |
| 0031 | 8120035 | Channelizing Device, 42 inch, Fluorescent, Furn | 100.000 | Ea | \$15.00 | \$1,500.00 |
| 0032 | 8120036 | Channelizing Device, 42 inch, Fluorescent, Oper | 100.000 | Ea | \$30.00 | \$3,000.00 |
| 0033 | 8120170 | Minor Traf Devices | 1.000 | LSUM | \$10,040.00 | \$10,040.00 |
| 0034 | 8120350 | Sign, Type B, Temp, Prismatic, Furn | 831.500 | Sft | \$4.50 | \$3,741.75 |
| 0035 | 8120351 | Sign, Type B, Temp, Prismatic, Oper | 831.500 | Sft | \$11.50 | \$9,562.25 |
| 0036 | 8167011 | _ Slope Restoration | 2,922.000 | Syd | \$13.50 | \$39,447.00 |
| 0037 | 8230431 | Gate Box, Adj, Case 1 | 16.000 | Ea | \$700.00 | \$11,200.00 |
| 0038 | 8252145 | Sanitary Structure Cover, Adj, Case 1 | 8.000 | Ea | \$700.00 | \$5,600.00 |
| Category 0000 Total: \$800,000.00 | | | | | | |

| Line | Pay Item | Description | Quantity | Units | Unit Price | Total |
|-----------------|----------|-------------|----------|-------|------------|--------------|
| Estimate Total: | | | | | | \$800,000.00 |



Notice of Public Hearing

Date and Resolution Number Establishing Special Assessment District: January 20, 2026,
Resolution #3667

Project Description: 2026-3A Oak Street milling and resurfacing

Public Hearing #1 Date, Time, and Location: Monday, February 16, 2026 at 7:00 p.m., 3rd Floor
Council Chambers, Hillsdale City Hall, 97 North Broad Street, Hillsdale, Michigan 49242

Notice Mailing Date: On or before February 6, 2026

Hillsdale City Council has made a determination that the above identified public improvements are necessary and proper, and that all or part of the costs thereof should be defrayed by special assessment against certain specially benefitting properties. Therefore, pursuant to Hillsdale City Code Section 2-334, a public hearing has been scheduled to consider any objections to this project. **You are receiving this notice because it has been determined that you are the owner of property specially benefitting from the proposed project.**

Written objections may be mailed or dropped off to:

**Hillsdale City Clerk
97 N Broad St
Hillsdale, MI 49242**

- The plans, specifications and estimates of cost have been placed on file with the City Clerk for review.
- Affected property owners will be given an opportunity during the public hearing to comment, ask questions about the project, and submit written objections to the improvements or the description of the lands and premises to be assessed.
- If more than 50 percent of the number of owners of privately owned real property to be assessed object in writing to the proposed improvement, the improvement shall not be made without the affirmative vote of seven of the members of the council.

After the close of the public hearing, Council may make a motion to vote on a resolution to make the improvement and to defray all or part of the cost by special assessment. This resolution will direct the assessor to prepare the assessment roll and must include the percentage of the cost to be levied by special assessment, the method of allocation, the number of annual installments, the interest rate to be charged upon the deferred balance, and a statement that special assessments may be paid in advance, with interest only to the date of payment. If passed, a second public hearing

will be scheduled and noticed to provide affected property owners and interested parties an opportunity to protest the amount of any assessment.

Michigan Compiled Law (MCL) Section 211.741 Required Statements:

- Appearance and protest at the hearing in the special assessment proceedings is required in order to appeal the amount of the special assessment to the state tax tribunal.
- An owner or party in interest, or his or her agent may appear in person at the hearing to protest the special assessment, or shall be permitted to file his or her appearance or protest by letter and his or her personal appearance shall not be required.

Additional Appeal Information:

- Hillsdale City Charter, Section 11.7. – Contested assessments. “Except and unless notice is given to the Council in writing of an intention to contest or enjoin the collection of any special assessment within thirty days after the date of the meeting of the Council at which the assessment roll is finally confirmed, which notice shall state the grounds on which the proceedings are to be contested, no suit or action of any kind shall be instituted or maintained for the purpose of contesting or enjoining the collection of such special assessment. Further, whether or not any public improvement is completed in any special assessment district, no owner of real property located in such district shall be entitled to commence any suit or action for the purpose of contesting or enjoining the collection of any such special assessment after he has received a benefit from the substantial completion of that portion of such public improvement for which he is assessed.” (emphasis added)
- Michigan Compiled Laws, Section **211.746 Statement of right to file written appeal**. Sec. 6. “If a special assessment is made against property, the notice of the special assessment sent to the property owner or person responsible for payment of the ad valorem property taxes under the general property tax act, Act No. 206 of the Public Acts of 1893, being sections 211.1 to 211.157 of the Michigan Compiled Laws, shall include, in addition to any other requirements by statute or charter, a statement that the owner or any person having an interest in the real property may file a written appeal of the special assessment with the state tax tribunal within 30 days after the confirmation of the special assessment roll if that special assessment was protested at the hearing held for the purpose of confirming the roll.” (emphasis added)
 - Petition forms are available and may be filed online with the Michigan Tax Tribunal at www.michigan.gov/taxtrib.
 - The correct form to use can be found under Small Claims, “Property Tax Appeal Petition Form Special Assessment.” Failure to use the correct form may result in a delay or dismissal of your appeal.

118 OAK STREET LLC
KENDZICKY, DANA A, RESIDENT AGENT
2921 CORSTON RD
ANN ARBOR MI 48105

190 OAK LLC
RICHARD BACIGALUPI, PRESIDENT/MGR
6890 E SUNRISE DR STE 120-343
TUCSON AZ 85750

95 OAK STREET LLC
MATT PATILLO
1501 LAKEVIEW DR
HILLSDALE MI 49242

BARKE FAMILY TRUST
BARKE, JEFFREY I & MARILYN R, TTEES
3142 TUCKER LN
LOS ALAMITOS CA 90720

BAROOTMAN ENTERPRISES LLC
ROOTMAN, SHAVIT
62 S NORWOOD AVE
HILLSDALE MI 49242

BIDNY, MARIA A
171 OAK ST
HILLSDALE MI 49242

BRADY, NEAL A & LOIS A K
1260 S SAND LAKE RD
HILLSDALE MI 49242

BRAHEMCHA, KARINA
102 OAK ST
HILLSDALE MI 49242

BRINER, RAYMOND A
4551 KIM DR
HILLSDALE MI 49242

BUCHANAN, CHRISTOPHER TODD & AMY
7104 SANCTUARY HEIGHTS CT
FORT WORTH TX 76132

BUMPUS, ALYSSA & MILLER, HAILEY
63 1/2 OAK ST
HILLSDALE MI 49242

CORNELL, SARA
41 OAK ST
HILLSDALE MI 49242

DELL, REBEKAH
194 OAK ST
HILLSDALE MI 49242

DEVENPORT, BRET M & LORI L
3120 E BEAR LK RD
OSSEO MI 49266

DOBSON, KELSI S
97 OAK ST
HILLSDALE MI 49242

DOHERTY, MICHAEL & JACKIE
266 PETTIS AVENUE NE
ADA MI 49301

DREWS, JAMES L II
2313 FALCON TRACE LN
NOKOMIS FL 34275-5341

DSR ENTERPRISES LLC
62 S NORWOOD AVE
HILLSDALE MI 49242

FINLEY, RANDY ALLAN & DONNA MARIE
264 LAKESIDE DR
QUINCY MI 49082

HARDWAY, JILL
157 OAK ST
HILLSDALE MI 49242

HARDWAY, ROBERT J & JILL D
157 OAK ST
HILLSDALE MI 49242

HARMAN, ERIN L
61 OAK ST
HILLSDALE MI 49242

HENRY, MARK & BETH
6536 SWEET CLOVER HILLS DR
JONESVILLE MI 49250

HILLSDALE COLLEGE
33 E COLLEGE ST
HILLSDALE MI 49242

JOHNSON, LEANNE DAVIS
119 OAK ST
HILLSDALE MI 49242

JUDGE FAMILY TRUST
JUDGE, BENJAMIN W & JEAN M TTEE
163 OAK ST
HILLSDALE MI 49242

JUDGE, CLARK & MARGARET
169 OAK ST
HILLSDALE MI 49242

KELLY, CHRISTOPHER O
4651 SECOND ST
PITTSFORD MI 49271

KOHLI-ROBERTS, JAMES A & DAVID W
48 OAK ST
HILLSDALE MI 49242

KOLASA, KYLE M
7 STATE ST
HILLSDALE MI 49242

LEHMANN, PETER M & MICHELLE
18217 NE 11TH AVE
POULSBORO WA 98370

LOADER, CLAIRE E
106 OAK ST
HILLSDALE MI 49242

MABRY, PAUL & JANET E
624 MEADOW RUN DR
FORT COLLINS CO 80525

MAKGARDEN PROPERTIES CORPORATION
82-22 BRITTON AVE
ELMHURST NY 11373

MAY, CATHY LENORA
136 OAK ST
HILLSDALE MI 49242

MCMORDIE, RUSSELL T & DEBORAH E
8359 HORTON BEACH RD
MANITOU BEACH MI 49253

MUNSELL, ROXANNE M
MUNSELL, SCOTT W
42 OAK ST
HILLSDALE MI 49242

O'TOOLE, DANIEL FREDERICK
O'TOOLE, KATHLEEN ISABEL CARUS ARNN
188 OAK ST
HILLSDALE MI 49242

PARKS, JOEL MARK ANTHONY
P O BOX 101
HILLSDALE MI 49242

PAUKEN, EUGENE & GLORIA
113 OAK ST
HILLSDALE MI 49242

PAYNE, MICHAEL & BRENDA
33 OAK ST
HILLSDALE MI 49242

PEPPIATT, DANNY A
1911 S BUNN RD
HILLSDALE MI 49242

R+C FOREVER PROSPER LLC
CAROLYN SCHOLFIELD, RESIDENT AGENT
6286 SWEET CLOVER HILLS DR
JONESVILLE MI 49250

REPIK, JOHN J IV
22 BUDLONG ST APT 1
HILLSDALE MI 49242

RUTH, STEVEN L
133 OAK ST
HILLSDALE MI 49242

SEAY, KIMBERLY
76 OAK ST
HILLSDALE MI 49242

SNYDER, OWEN & EMILY
104 OAK ST A
HILLSDALE MI 49242

SODERGREN, DOUGLAS J & SHARON L
141 OAK ST
HILLSDALE MI 49242

STABILE, RICHARD D & KAREN L MARK
1711 JUANITA DR
HILLSDALE MI 49242

STATE/OAK LLC
8333 DALTON RD
ONSTED MI 49265

STEWART, ROBERT C JR & LINDY J
7028 CONCORD RD
JONESVILLE MI 49250

STODDARD, JONE LESLIE PITTS
STALHOOD, LEROY MELVIN ESTATE
9480 STERLING RD
LITCHFIELD MI 49252

THURSBY, GEORGE E LIVING TRUST
THURSBY, GEORGE E, TRUSTEE
155 OAK ST
HILLSDALE MI 49242

WEBB, HARRY JR & JUDY
147 OAK ST
HILLSDALE MI 49242

WELLS, TIMOTHY S & SUMER A
1661 E MOORE RD
HILLSDALE MI 49242

WISNER, GRACE V
99 OAK ST
HILLSDALE MI 49242

| Parcel Number | Street Address | Owner Name | 2025 Class | Current use | Total Acres | Project Street | | 2025 SEV | Estimated True Cash Value | Per Parcel Cap by Ordinance (HMC Sec 2-235) | Cap Based on Property Class | FF Share with Class Caps | % of Total Cost specially assessed |
|----------------|------------------------|-----------------------------------|----------------------------|-------------|-------------|----------------|-------------|----------|---------------------------|---|-----------------------------|--------------------------|------------------------------------|
| | | | | | | Front Feet | Corner Lot? | | | | | | |
| 006-123-302-19 | 201 OAK ST ETAL | HILLSDALE COLLEGE | 201 SCHOOL-COLLEGE PRIVATE | | 55.32 | 478.50 | Short | - | \$ 1,000,000 | \$ 250,000.00 | \$ 10,000.00 | \$ 10,000.00 | 0.78% |
| 006-123-352-11 | 194 OAK ST | DELL, REBEKAH | 401 RES 1 FAMILY | | 0.38 | 82.50 | No | 103,300 | \$ 206,600 | \$ 51,650.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-123-352-12 | 190 OAK ST | 190 OAK LLC | 401 RES 1 FAMILY | | 0.72 | 165.00 | No | 176,900 | \$ 353,800 | \$ 88,450.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-123-352-13 | 188 OAK ST | O'TOOLE, DANIEL FREDERICK | 401 RES 1 FAMILY | | 0.38 | 82.50 | No | 119,700 | \$ 239,400 | \$ 59,850.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-123-352-14 | 184 OAK ST | HILLSDALE COLLEGE | 202 VACANT PROPERTY | | 0.30 | 66.00 | No | 41,100 | \$ 82,200 | \$ 20,550.00 | \$ 15,000.00 | \$ 9,413.79 | 0.73% |
| 006-123-352-15 | 113 E FAYETTE ST & 111 | HILLSDALE COLLEGE | 201 SCHOOL-COLLEGE PRIVATE | | 1.73 | 198.00 | Short | - | \$ 1,000,000 | \$ 250,000.00 | \$ 10,000.00 | \$ 10,000.00 | 0.78% |
| 006-123-352-16 | 100 E COLLEGE ST | HILLSDALE COLLEGE | 201 PARKING LOTS | | 1.50 | 165.00 | Short | 35,000 | \$ 35,000 | \$ 8,750.00 | \$ 10,000.00 | \$ 8,750.00 | 0.68% |
| 006-123-354-10 | 160 OAK ST | PARKS, JOEL MARK ANTHONY | 401 RES 1 FAMILY | | 0.15 | 49.50 | Short | 79,800 | \$ 159,600 | \$ 39,900.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-123-354-11 | 156 OAK ST | DEVENPORT, BRET M & LORI L | 401 RES 1 FAMILY | | 0.15 | 49.50 | No | 61,700 | \$ 123,400 | \$ 30,850.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-123-354-12 | 154 OAK ST | HARDWAY, JILL | 401 RES 1 FAMILY | | 0.38 | 82.50 | No | 74,800 | \$ 149,600 | \$ 37,400.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-123-354-13 | 148 OAK ST | BARKE FAMILY TRUST | 401 RES 1 FAMILY | | 0.38 | 82.50 | No | 73,100 | \$ 146,200 | \$ 36,550.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-123-354-14 | 144 OAK ST | HENRY, MARK & BETH | 401 RES 1 FAMILY | | 0.22 | 48.00 | No | 78,400 | \$ 156,800 | \$ 39,200.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-123-354-15 | 140 OAK ST DUPLEX | BRADY, NEAL A & LOIS A K | 401 RES DUPLEX | | 0.34 | 75.75 | No | 93,000 | \$ 186,000 | \$ 46,500.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-123-354-16 | 136 OAK ST | MAY, CATHY LENORA | 401 RES 1 FAMILY | | 0.19 | 41.25 | No | 66,400 | \$ 132,800 | \$ 33,200.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-123-354-17 | 134 OAK ST | BUCHANAN, CHRISTOPHER TODD & AMY | 401 RES 1 FAMILY | | 0.38 | 82.50 | No | 85,200 | \$ 170,400 | \$ 42,600.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-123-354-18 | 128 OAK ST | DOHERTY, MICHAEL & JACKIE | 401 RES 1 FAMILY | | 0.38 | 82.50 | Short | 93,400 | \$ 186,800 | \$ 46,700.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-123-376-04 | 175 OAK ST | HILLSDALE COLLEGE | 401 RES 1 FAMILY | | 1.26 | 100.00 | No | - | \$ 120,000 | \$ 30,000.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-123-376-05 | 171 OAK ST | BIDNY, MARIA A | 401 RES 1 FAMILY | | 1.04 | 82.50 | No | 95,900 | \$ 191,800 | \$ 47,950.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-123-376-06 | 169 OAK ST | JUDGE, CLARK & MARGARET | 401 RES 1 FAMILY | | 0.48 | 99.00 | No | 109,700 | \$ 219,400 | \$ 54,850.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-123-376-07 | 163.5 OAK ST | WELLS, TIMOTHY S & SUMER A | 401 RES 1 FAMILY | | 1.03 | 13.00 | No | 103,700 | \$ 207,400 | \$ 51,850.00 | \$ 5,000.00 | \$ 1,854.23 | 0.14% |
| 006-123-377-01 | 163 OAK ST | JUDGE FAMILY TRUST | 401 RES 1 FAMILY | | 0.33 | 76.00 | No | 115,400 | \$ 230,800 | \$ 57,700.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-123-377-02 | 155 OAK ST | THURSBY, GEORGE E LIVING TRUST | 401 RES 1 FAMILY | | 0.46 | 82.50 | No | 84,000 | \$ 168,000 | \$ 42,000.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-123-377-03 | 147 OAK ST | WEBB, HARRY JR & JUDY | 401 RES 1 FAMILY | | 0.46 | 82.50 | No | 75,200 | \$ 150,400 | \$ 37,600.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-123-377-04 | 143 OAK ST | DEVENPORT, BRET M & LORI L | 401 RES 1 FAMILY | | 0.31 | 55.00 | No | 74,100 | \$ 148,200 | \$ 37,050.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-123-377-05 | 141 OAK ST | SODERGREN, DOUGLAS J & SHARON L | 401 RES 1 FAMILY | | 0.31 | 55.00 | No | 81,000 | \$ 162,000 | \$ 40,500.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-123-377-06 | 137 OAK ST | MABRY, PAUL & JANET E | 401 RES 1 FAMILY | | 0.31 | 55.00 | No | 85,400 | \$ 170,800 | \$ 42,700.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-123-377-07 | 133 OAK ST | RUTH, STEVEN L | 401 RES 1 FAMILY | | 0.46 | 82.50 | No | 83,000 | \$ 166,000 | \$ 41,500.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-123-377-08 | 125 OAK ST & 127 | MAKGARDEN PROPERTIES CORPORATION | 401 RES DUPLEX | | 0.46 | 82.50 | Short | 92,200 | \$ 184,400 | \$ 46,100.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-123-377-09 | 157 OAK ST | HARDWAY, ROBERT J & JILL D | 401 RES 1 FAMILY | | 3.09 | 89.00 | No | 180,300 | \$ 360,600 | \$ 90,150.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-126-102-06 | 120 OAK ST | KELLY, CHRISTOPHER O | 401 RES 1 FAMILY | | 0.10 | 66.00 | Short | 79,900 | \$ 159,800 | \$ 39,950.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-126-102-07 | 118 OAK ST | 118 OAK STREET LLC | 401 RES 1 FAMILY | | 0.15 | 99.00 | Long | 182,700 | \$ 365,400 | \$ 91,350.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-126-104-14 | 106 OAK ST | LOADER, CLAIRE E | 401 RES 1 FAMILY | | 0.13 | 86.00 | Long | 67,800 | \$ 135,600 | \$ 33,900.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-126-104-15 | 104 OAK ST A & B | SNYDER, OWEN & EMILY | 401 RES DUPLEX | | 0.12 | 79.00 | No | 94,500 | \$ 189,000 | \$ 47,250.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-126-104-16 | 102 OAK ST | BRAHEMCHA, KARINA | 401 RES 1 FAMILY | | 0.09 | 57.00 | No | 96,600 | \$ 193,200 | \$ 48,300.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-126-104-17 | 47 MEAD ST | STEWART, ROBERT C JR & LINDY J | 401 RES 1 FAMILY | | 0.16 | 108.00 | Long | 74,400 | \$ 148,800 | \$ 37,200.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-126-107-11 | 86 OAK ST | R+C FOREVER PROSPER LLC | 401 RES 1 FAMILY | | 0.10 | 64.00 | Short | 62,900 | \$ 125,800 | \$ 31,450.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-126-107-12 | 76 OAK ST | SEAY, KIMBERLY | 401 RES 1 FAMILY | | 0.10 | 68.00 | No | 90,200 | \$ 180,400 | \$ 45,100.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-126-107-13 | 72 OAK ST | STODDARD, JONE LESLIE PITTS | 401 RES 1 FAMILY | | 0.11 | 73.00 | No | 47,100 | \$ 94,200 | \$ 23,550.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-126-107-18 | 31 VINE ST | DREWS, JAMES L II | 401 CHURCH | | 0.19 | 125.00 | Long | 66,900 | \$ 133,800 | \$ 33,450.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-126-109-14 | 48 OAK ST | KOHL-ROBERTS, JAMES A & DAVID W | 401 RES 1 FAMILY | | 0.14 | 89.00 | No | 75,400 | \$ 150,800 | \$ 37,700.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-126-109-15 | 42 OAK ST | MUNSELL, ROXANNE M | 401 RES 1 FAMILY | | 0.70 | 75.00 | No | 76,700 | \$ 153,400 | \$ 38,350.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-126-109-16 | 38 OAK ST DUPLEX | STABILE, RICHARD D & KAREN L MARK | 401 RES DUPLEX | | 0.19 | 55.50 | No | 67,000 | \$ 134,000 | \$ 33,500.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-126-109-19 | 34 VINE ST DUPLEX | BRINER, RAYMOND A | 401 RES DUPLEX | | 0.18 | 136.00 | Long | 75,600 | \$ 151,200 | \$ 37,800.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-126-109-20 | 34 OAK ST | LEHMANN, PETER M & MICHELLE | 401 RES 1 FAMILY | | 0.72 | 60.00 | No | 95,100 | \$ 190,200 | \$ 47,550.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-126-126-01 | 119 OAK ST | JOHNSON, LEANNE DAVIS | 401 RES 1 FAMILY | | 0.25 | 58.00 | Short | 136,400 | \$ 272,800 | \$ 68,200.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-126-126-02 | 115 OAK ST DUPLEX | FINLEY, RANDY ALLAN & DONNA MARIE | 401 RES DUPLEX | | 0.17 | 52.00 | No | 71,200 | \$ 142,400 | \$ 35,600.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-126-126-14 | 113 OAK ST | PAUKEN, EUGENE & GLORIA | 401 RES 1 FAMILY | | 0.31 | 71.50 | Short | 75,200 | \$ 150,400 | \$ 37,600.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-126-127-01 | 103 OAK ST | PEPIATT, DANNY A | 401 RES 1 FAMILY | | 0.25 | 66.00 | Short | 71,000 | \$ 142,000 | \$ 35,500.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-126-127-02 | 101 OAK ST | BAROOTMAN ENTERPRISES LLC | 401 RES 1 FAMILY | | 0.25 | 66.00 | No | 94,500 | \$ 189,000 | \$ 47,250.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-126-127-04 | 97 OAK ST | DOBSON, KELSI S | 401 RES 1 FAMILY | | 0.21 | 54.00 | No | 74,800 | \$ 149,600 | \$ 37,400.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-126-127-05 | 95 OAK ST | 95 OAK STREET LLC | 401 RES 1 FAMILY | | 0.38 | 99.00 | No | 60,000 | \$ 120,000 | \$ 30,000.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-126-127-14 | 7 STATE ST | KOLASA, KYLE M | 401 RES 1 FAMILY | | 0.44 | 165.00 | Long | 80,200 | \$ 160,400 | \$ 40,100.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-126-127-21 | 99 OAK ST | WISNER, GRACE V | 401 RES 1 FAMILY | | 0.17 | 45.00 | No | 49,500 | \$ 99,000 | \$ 24,750.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-126-128-01 | 2 STATE ST | STATE/OAK LLC | 401 MULTIPLE RESIDENCES | | 0.31 | 99.00 | Short | 204,000 | \$ 408,000 | \$ 102,000.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-126-128-06 | 63 OAK ST DUPLEX | BUMPUS, ALYSSA & MILLER, HAILEY | 401 RES DUPLEX | | 0.25 | 66.00 | No | 85,100 | \$ 170,200 | \$ 42,550.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-126-128-07 | 61 OAK ST | HARMAN, ERIN L | 401 RES 1 FAMILY | | 0.16 | 41.25 | No | 73,900 | \$ 147,800 | \$ 36,950.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-126-128-08 | 59 OAK ST | DSR ENTERPRISES LLC | 401 RES 1 FAMILY | | 0.16 | 41.25 | No | 82,800 | \$ 165,600 | \$ 41,400.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-126-128-09 | 55 OAK ST | REPIK, JOHN J IV | 401 RES 1 FAMILY | | 0.31 | 82.50 | No | 85,900 | \$ 171,800 | \$ 42,950.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-126-128-10 | 51 OAK ST | MCMORDIE, RUSSELL T & DEBORAH E | 401 RES 1 FAMILY | | 0.13 | 66.00 | Short | 69,900 | \$ 139,800 | \$ 34,950.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-126-129-30 | 1 ACADEMY LN | HILLSDALE COLLEGE | 201 PRIVATE SCHOOL | | 25.00 | 65.00 | Short | - | \$ 1,000,000 | \$ 250,000.00 | \$ 10,000.00 | \$ 6,953.37 | 0.54% |
| 006-126-176-01 | 41 OAK ST | CORNELL, SARA | 401 RES 1 FAMILY | | 0.15 | 58.00 | Short | 53,600 | \$ 107,200 | \$ 26,800.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |
| 006-126-176-02 | 33 OAK ST | PAYNE, MICHAEL & BRENDA | 401 RES 1 FAMILY | | 0.62 | 90.00 | Short | 113,100 | \$ 226,200 | \$ 56,550.00 | \$ 5,000.00 | \$ 5,000.00 | 0.39% |

Estimated based on current policy

| Parcel Number | Street Address | Owner Name | 2025 Class | Current use | Total Acres | Project Street Front Feet | Corner Lot? | 2025 SEV | Estimated True Cash Value | Per Parcel Cap by Ordinance (HMC Sec 2-235) | Cap Based on Property Class | FF Share with Class Caps | % of Total Cost specially assessed | | | |
|--|----------------|--------------|------------|-------------|-------------|------------------------------|-------------|-----------|---------------------------------|---|-----------------------------------|-----------------------------|---|--|--|--|
| Totals: | | | | | 105.51 | 5,312.00 | | 5,095,600 | \$ 13,276,200 | \$ 3,319,050.00 | | \$ 326,971.39 | 25.40% | | | |
| Per Parcel Flat Rate without caps (Property Owner Share/Parcel Count) | | | | | | | | | | Calculated from SEV on last tax roll (estimated for exempt) 25% | | | | | | |
| Parcel Count: | 62 | \$ 10,381.45 | | | | | | | | | | | | | | |
| % of Total specially assessed per parcel: | | 1.61% | | | | | | | | | | | | | | |




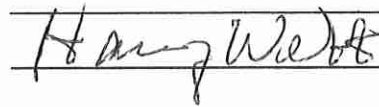
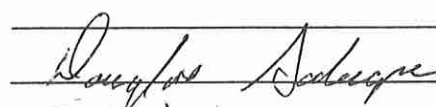
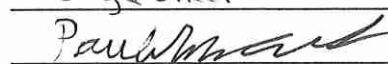
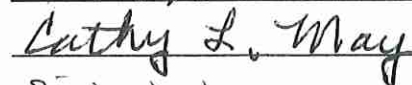
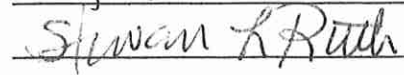
| | | | | | | | |
|--|-----|--|-----|---|-----|--|--|
| Total ESTIMATED Project Cost: | | \$ 1,287,300.00 | | | | | |
| | | Cost allocation without per parcel caps: | | Cost allocation with per parcel cap by ordinance: | | Cost allocation with per parcel cap by class (2025 policy): | |
| City Share | 50% | \$ 643,650.00 | 51% | \$ 652,550.85 | 75% | 960,328.61 | |
| Property Owner Share | 50% | \$ 643,650.00 | 49% | \$ 634,749.15 | 25% | 326,971.39 | |
| inferred values - exempt, abated, or easement access | | | | | | | |

Section 11.3.**Objection to improvements.**

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My signature, as the property owner indicated below, is my written objection to any proposed road improvement being considered, if such improvements might cost me more than ZERO dollars.

My objection stands until I rescind in writing, or through 2026.

| # | Street | Property Owner | Signature | Date | NO! |
|-----|--------|-----------------------------|---|----------------|-----------|
| 188 | Oak St | <u>Daniel O'Toole</u> | <u>Single sheet</u> | | |
| 184 | Oak St | <u>College</u> | | | |
| 175 | Oak St | <u>College</u> | | | |
| 171 | Oak St | <u>Maria Bidny</u> | | | |
| 169 | Oak St | <u>Clark Judge</u> | <u>Single sheet</u> | | |
| 163 | Oak St | <u>Judge Trust</u> | <u>single sheet</u> | | |
| 163 | Oak St | <u>Timothy Wells</u> | <u>Single sheet</u> | | |
| 160 | Oak St | <u>Joel Parks</u> | | | |
| 157 | Oak St | <u>Robert Hardway</u> |  | <u>1-22-26</u> | <u>NO</u> |
| 156 | Oak St | <u>Bret Devenport</u> | | | |
| 155 | Oak St | <u>Thursby Trust</u> |  | <u>1-25-26</u> | <u>No</u> |
| 154 | Oak St | <u>Jill Hardway</u> |  | <u>1-22-26</u> | <u>NO</u> |
| 148 | Oak St | <u>Barke Trust</u> | | | |
| 147 | Oak St | <u>Harry Webb</u> |  | <u>1/26/26</u> | <u>NO</u> |
| 144 | Oak St | <u>Mark Henry</u> | | | |
| 143 | Oak St | <u>Bret Devenport</u> | | | |
| 141 | Oak St | <u>Douglas Sodergren</u> |  | <u>1-22-26</u> | <u>NO</u> |
| 140 | Oak St | <u>Neal Brady</u> | <u>Single sheet</u> | | |
| 137 | Oak St | <u>Paul Mabry</u> |  | <u>1-25-26</u> | <u>No</u> |
| 136 | Oak St | <u>Cathy May</u> |  | <u>1-27-26</u> | <u>No</u> |
| 134 | Oak St | <u>Christopher Buchanan</u> | <u>Single sheet</u> | | |
| 133 | Oak St | <u>Steven Ruth</u> |  | <u>1-26-26</u> | <u>NO</u> |
| 128 | Oak St | <u>Michael Doherty</u> | | | |
| 125 | Oak St | <u>MakGarden Props</u> | <u>Single sheet (email)</u> | | |
| 120 | Oak St | <u>Christopher Kelly</u> | | | |
| 119 | Oak St | <u>LeAnne Johnson</u> | <u>Single sheet</u> | | |
| 118 | Oak St | <u>Oak Street LLC</u> | | | |
| 115 | Oak St | <u>Randy Finley</u> | | | |
| 113 | Oak St | <u>Eugene Pauken</u> | | | |

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| # | Street | Property Owner | Signature | Date | NO! |
|-----|--------|-----------------------------|-----------------------|--------------------------------------|-----------|
| 188 | Oak St | <u>Daniel O'Toole</u> | <u>Single sheet</u> | | |
| 184 | Oak St | <u>College</u> | | | |
| 175 | Oak St | <u>College</u> | | | |
| 171 | Oak St | <u>Maria Bidny</u> | | | |
| 169 | Oak St | <u>Clark Judge</u> | <u>Single sheet</u> | | |
| 163 | Oak St | <u>Judge Trust</u> | <u>Single sheet</u> | | |
| 163 | Oak St | <u>Timothy Wells</u> | <u>(Single sheet)</u> | | |
| 160 | Oak St | <u>Joel Parks</u> | <u>Joel Parks</u> | <u>30 Jan 26</u> | <u>NO</u> |
| 157 | Oak St | <u>Robert Hardway</u> | <u>R. Hardway</u> | <u>1-23-26</u> | <u>NO</u> |
| 156 | Oak St | <u>Bret Devenport</u> | <u>Bret Devenport</u> | <u>1/23/26</u> | <u>NO</u> |
| 155 | Oak St | <u>Thursby Trust</u> | | | |
| 154 | Oak St | <u>Jill Hardway</u> | <u>Jill Hardway</u> | | |
| 148 | Oak St | <u>Barke Trust</u> | | | |
| 147 | Oak St | <u>Harry Webb</u> | | | |
| 144 | Oak St | <u>Mark Henry</u> | <u>Mark Henry</u> | <u>1-22-26</u> | <u>NO</u> |
| 143 | Oak St | <u>Bret Devenport</u> | <u>Bret Devenport</u> | <u>1/23/26</u> | <u>NO</u> |
| 141 | Oak St | <u>Douglas Sodergren</u> | | | |
| 140 | Oak St | <u>Neal Brady</u> | <u>Single sheet</u> | | |
| 137 | Oak St | <u>Paul Mabry</u> | | | |
| 136 | Oak St | <u>Cathy May</u> | | | |
| 134 | Oak St | <u>Christopher Buchanan</u> | <u>(Single sheet)</u> | | |
| 133 | Oak St | <u>Steven Ruth</u> | | | |
| 128 | Oak St | <u>Michael Doherty</u> | | | |
| 125 | Oak St | <u>MakGarden Props</u> | | | |
| 120 | Oak St | <u>Christopher Kelly</u> | <u>Chris Kelly</u> | <u>1-25-26</u> | <u>NO</u> |
| 119 | Oak St | <u>LeAnne Johnson</u> | <u>(Single sheet)</u> | | |
| 118 | Oak St | <u>Oak Street LLC</u> | | | |
| 115 | Oak St | <u>Randy Finley</u> | | | |
| 113 | Oak St | <u>Eugene Pauken</u> | <u>Eugene Pauken</u> | <u>Alma Cardinal P&A 1-23-26</u> | <u>NO</u> |

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| # | Street | Property Owner | Signature | Date | NO! |
|-----|----------|-------------------------|-------------------------|-----------|-----|
| 106 | Oak St | <u>Claire Loader</u> | <i>Claire Loader</i> | 1-23-26 | ✓ |
| 104 | Oak St | <u>Owen Snyder</u> | <i>Owen Snyder</i> | 1-23-26 | ✓ |
| 102 | Oak St | <u>Karina Brahemcha</u> | <i>[Signature]</i> | 1-31-26 | ✓ |
| 47 | Mead St | <u>Robert Stewart</u> | (Single sheet) | | |
| 103 | Oak St | <u>Danny Peppiatt</u> | <i>Danny Peppiatt</i> | 1-24-2026 | ✓ |
| 101 | Oak St | <u>Barootman LLC</u> | <i>[Signature]</i> | 1-25-2026 | |
| 99 | Oak St | <u>Grace Wisner</u> | | | |
| 97 | Oak St | <u>Kelsi Dobson</u> | <i>Kelsi Dobson</i> | 2-1-26 | ✓ |
| 95 | Oak St | <u>95 Oak St LLC</u> | <i>Matt Patello</i> | 1/22/2026 | ✓ |
| 7 | State St | <u>Kyle Kolasa</u> | | | |
| 2 | State St | <u>StateOak LLC</u> | (Single sheet) | | |
| 86 | Oak St | <u>RCForever LLC</u> | (Single sheet) | | |
| 76 | Oak St | <u>Kimberly Seay</u> | <i>Kimberly Seay</i> | 1/23/26 | ✓ |
| 72 | Oak St | <u>Jone Stoddard</u> | <i>Jone Stoddard</i> | 1-25-26 | ✓ |
| 63 | Oak St | <u>James Drews</u> | | | |
| 63 | Oak St | <u>Alyssa Bumpus</u> | | | |
| 61 | Oak St | <u>Erin Harman</u> | <i>Erin Harman</i> | 1/25/26 | ✓ |
| 59 | Oak St | <u>DSR LLC</u> | <i>[Signature]</i> | 1-25/2026 | |
| 55 | Oak St | <u>John Repik</u> | | | |
| 51 | Oak St | <u>Russell McMordie</u> | <i>Russell McMordie</i> | 1/25/26 | |
| 48 | Oak St | <u>James Kholhi</u> | | | |
| 42 | Oak St | <u>Roxanne Munsell</u> | <i>Roxanne Munsell</i> | 1/25/26 | NO |
| 41 | Oak St | <u>Sara Cornell</u> | <i>Sara Cornell</i> | 1/25/26 | |
| 38 | Oak St | <u>Richard Stabile</u> | <i>Richard Stabile</i> | 1/24/26 | ✓ |
| 34 | Oak St | <u>Peter Lehmann</u> | <i>Peter Lehmann</i> | 1/25/26 | ✓ |
| 33 | Oak St | <u>Michael Payne</u> | | | |
| 34 | Vine St | <u>Raymond Briner</u> | | | |
| 31 | Vine St | <u>James Drews</u> | (Single sheet) | | |

Section 11.3.**Objection to improvements.**

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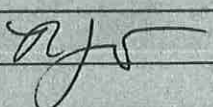
| # | Street | Property Owner | Signature | Date | NO! |
|-------|--------------|-----------------------------------|--|---------|-----|
| 100 | E College St | College | | | |
| 194 | Oak St | <u>Rebekah Dell</u> | | | |
| 190 | Oak St | <u>190 Oak LLC</u> (single sheet) | | | |
| 188 | Oak St | <u>Daniel O'Toole</u> |  | 1/27/26 | NO |
| 184 | Oak St | College | | | |
| 113 | E Fayette | College | | | |
| 201 | Oak St | College | | | |
| 1 | Academy Ln | College | | | |
| 175 | Oak St | College | | | |
| 171 | Oak St | <u>Maria Bidny</u> | | | |
| 169 | Oak St | Clark Judge |  | 1-27-26 | NA |
| 163 | Oak St | Judge FT |  | 1/27/26 | No |
| 163.5 | Oak St | Timothy Wells | | | |
| 157 | Oak St | Robert Hardway | | | |

Section 11.3.**Objection to improvements.**

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| # | Street | Property Owner | Signature | Date | NO! |
|-------|--------------|-----------------------|---|----------------|-----------|
| 100 | E College St | College | | | |
| 194 | Oak St | <u>Rebekah Dell</u> | | | |
| 190 | Oak St | <u>190 Oak LLC</u> |  <u>BACIHALUPI</u> | <u>1/31/26</u> | <u>NO</u> |
| 188 | Oak St | <u>Daniel O'Toole</u> | | | |
| 184 | Oak St | College | | | |
| 113 | E Fayette | College | | | |
| 201 | Oak St | College | | | |
| 1 | Academy Ln | College | | | |
| 175 | Oak St | College | | | |
| 171 | Oak St | <u>Maria Bidny</u> | | | |
| 169 | Oak St | <u>Clark Judge</u> | | | |
| 163 | Oak St | <u>Judge FT</u> | | | |
| 163.5 | Oak St | <u>Timothy Wells</u> | | | |
| 157 | Oak St | <u>Robert Hardway</u> | | | |

Section 11.3.**Objection to improvements.**

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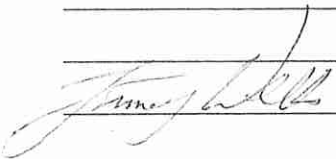
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| 133 | Oak St | <u>Steven Ruth</u> | | | |
| 128 | Oak St | <u>Michael Doherty</u> | | | |
| 125 | Oak St | <u>MakGarden Props</u> | <u>Amelia Breanone - Makinano</u> | <u>1/30/26</u> | <u>✓</u> |
| 120 | Oak St | <u>Christopher Kelly</u> | | | |
| 119 | Oak St | <u>LeAnne Johnson</u> | | | |
| 118 | Oak St | <u>Oak Street LLC</u> | | | |
| 115 | Oak St | <u>Randy Finley</u> | | | |
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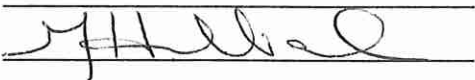
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| 163 ^S | Oak St | <u>Timothy Wells</u> |  | 1-23-26 | <input checked="" type="checkbox"/> |
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| 7 | State St | <u>Kyle Kolasa</u> | | | |
| 2 | State St | <u>StateOak LLC</u> |  | <u>1/26/25</u> | <u>X</u> |
| 86 | Oak St | <u>RCForever LLC</u> | <u>S</u> | | |
| 76 | Oak St | <u>Kimberly Seay</u> | | | |
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| 140 | Oak St | <u>Neal Brady</u> |  | <u>1-27-26</u> | <u>X</u> |
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Section 11.3.

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Name] Christopher Kelly Address] 120 oak st
Hillsdale, MI 49271
Date 2-10-2026

Hillsdale City Council
97 N. Broad Street
Hillsdale, MI 49242

RE: Formal Objection to Citywide Special Assessment
Parcel No: prop# 006-126-102-06
Property Address: 120-Oak-St

RECEIVED**FEB 11 2026****CITY OF HILLSDALE
CITY CLERK'S OFFICE**

To the Members of the Hillsdale City Council:

I am submitting this letter as my formal written objection to the proposed citywide special assessment, which seeks to charge every Hillsdale resident approximately \$5,000. This objection is made pursuant to Michigan law, including but not limited to the requirements of MCL 211.741 and all related statutes governing the creation, justification, and proportionality of special assessments.

I object to this assessment on the following grounds:

1. ****Lack of Proportional Benefit:****

Michigan law requires that a special assessment be directly tied to a **specific, measurable benefit** to the assessed property. A blanket \$5,000 charge applied to every resident—regardless of location, frontage, usage, or actual benefit—fails to meet even the most basic proportionality standards.

2. ****Improper Use of Special Assessment Authority:****

A citywide charge of this magnitude resembles a general tax increase, not a lawful special assessment. If the City intends to raise general revenue, it must follow the proper procedures for taxation—not attempt to bypass voter approval through an improperly structured assessment.

3. ****Failure to Demonstrate Necessity and Reasonableness:****

The City has not provided a transparent, itemized justification for the cost, nor has it demonstrated that the proposed project(s) confer a direct, individualized improvement to each parcel sufficient to justify a \$5,000 burden.

4. ****Disproportionate Financial Impact on Residents:****

A charge of this size imposes a significant financial hardship on homeowners and violates the principle that special assessments must be reasonable, equitable, and tied to actual benefit—not simply used to fill budget gaps.

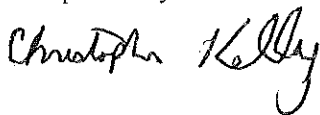
5. ****Insufficient Notice and Inadequate Supporting Documentation:****

The materials provided do not meet the statutory requirements for clarity, transparency, or evidentiary support. Residents cannot meaningfully evaluate or respond to the proposal without complete information.

For these reasons, I request that the City Council reject the proposed assessment in its current form. At minimum, the City must provide a legally compliant justification, a transparent cost breakdown, and a proportional methodology that aligns with Michigan law.

This objection is submitted prior to the public hearing and must be entered into the official record.

Respectfully,
Christopher Kelly



RECEIVED

FEB 10 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

February 10, 2026

Karen L. Mark
1711 Juanita Drive
Hillsdale, MI. 49242

Hillsdale City Council
c/o Hillsdale City Clerk
97 N Broad Street
Hillsdale, MI. 49242

Re: 2026-3A – Oak Street milling and resurfacing

Honorable Council Members:

I am an owner of a property located at 38 Oak Street, Hillsdale, MI 49242. I am submitting this letter of objection to the special assessment for milling and resurfacing Oak Street that you propose.

Oak Street is not a private road, it is not part of a "development", and it is not exclusively, or even primarily used by the property owners of the street. Oak Street is a street used by many residents and non-residents of the City of Hillsdale. It is a primary access road to Hillsdale College, to the sports complex of Hillsdale College, and to Hillsdale Academy. Your argument seems to be that the residents are "certain specially benefitting properties". I argue that a public street does not "specially benefit" just the people living on that street - especially if that street is a highly used access to such attractions as the college, the Academy and the sports complex.

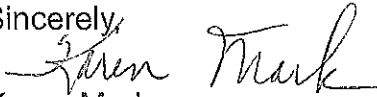
The definition of "specially benefitting" *might* apply if the assessment was made to replace sewer lines or sidewalks, but that certainly is not the case here.

The citizens of Hillsdale might like to see how the taxes they pay are being spent each year before Council levies any "special assessments". And perhaps, instead of money being spent on a Road Diet plan that not everyone is crazy about, that money could be diverted to public streets that need repair?

I didn't write the following paragraph, but copied it from Facebook – it does express my feelings, though:

"Any chance you could fix the road I am already paying taxes to fix, so I'm not causing damage to the car I am taxed to drive every year, which I bought with income that was already taxed, which I parked on the driveway of my property that is also taxed?"

Sincerely,

A handwritten signature in cursive script that reads "Karen Mark".

Karen Mark

Owner, 38 Oak Street

City of Hillsdale

Agenda Item Summary

Meeting Date: February 16, 2026

Agenda Item: New Business

SUBJECT: Bid Award – Library Carpet Replacement

BACKGROUND PROVIDED BY: Library Director Rebekah Dobski / Library Board

City staff developed and requested bids for carpet replacement throughout the Hillsdale Community Library. Carpet in the main library area currently shows extensive staining and high traffic use as well as wear and tear that has developed progressively since the original installment over 20 years ago.

We received three bids from companies across Lower Michigan, and one based out of Arizona. \$30,000 was budgeted in the 25/26FY for capital outlay projects. Due to our budget timeline process, that number was forecasted before numbers came in for the first phase of carpet replacement, and explains the difference between bid amounts and budget allotments.

| <u>Contractor</u> | <u>Base Bid</u> | <u>Furniture</u> | <u>Total</u> |
|---------------------------|-----------------|------------------|--------------|
| Frey & Sons Flooring Co | \$56,440.89 | X | \$56,440.89 |
| Seelye Group LTD. | \$46,792.00 | \$9,500 | \$56,292.00 |
| Continental Flooring Co. | \$55,830.00 | X | \$55,830.00 |
| Trist Creek Flooring INC. | \$49,400.00 | \$8,000 | \$57,400 |

The Director put a request for bids beginning in January, and was modified to include an additional request for furniture movement. Each company was offered this information, additionally communicated if site measurements occurred. Only two companies offered an additional quote to include this service.

RECOMMENDATION:

The Director, with the Board's discretion, suggests for City Council to award the Library Carpet Bid replacement within the main library area to Seelye Group LTD, at the price of \$46,792.00 to remove, replace, and reinstall carpet and vinyl cove, as well as \$9,500 to move and/or lift furniture and shelving as part of their carpet work. This allows library staff to focus on preparing the facility for closing and opening, which helps mitigate total closure time. This also allows the contracted company to phase their work and provide us an easy timeline.

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CITY OF
HILLSDALE

FEB 09 2026
CITY OF HILLSDALE
CITY CLERK'S OFFICE

97 NORTH BROAD STREET
HILLSDALE, MICHIGAN 49242-1695
(517) 437-6441 FAX: (517) 437-6448
cityofhillsdale.org

What Board/Commission would you like to serve? BOARD OF REVIEW

Name: ANTHONY A. VEAR

Address: XX HILLSDALE 49242
Street City Zip

Phone: Home XXXXXXXXXXXXXXXXXXXXXXXXXXXX Work _____

E-Mail XX

Residency is required for most Boards & Commissions.

Are you a resident of City of Hillsdale? Yes X No _____ If so, for how long? 36+ YEARS

Occupation: (if retired, former occupation) RETIRED SALES / MAINS IMPORTING

Please check the expertise and skills you can contribute:

- | | | |
|---------------------------------------|--|---|
| <input type="radio"/> Accounting | <input type="radio"/> Planning | <input type="radio"/> Community Relations |
| <input type="radio"/> Fund Raising | <input type="radio"/> Computers | <input type="radio"/> Public Speaking |
| <input type="radio"/> Marketing | <input type="radio"/> Knowledge of the Cause | <input type="radio"/> Finance |
| <input type="radio"/> Advocacy | <input type="radio"/> Public Relations | <input type="radio"/> Management |
| <input type="radio"/> Human Resources | <input type="radio"/> Legal | <input type="radio"/> Other _____ |

Brief Educational Background:

1982 HILLSDALE COLLEGE GRADUATE BUSINESS ADMINISTRATION

What charitable or community activities have you **actively** participated in? Please describe any leadership role(s) you have (had) in the organization(s):

HILLSDALE HIGH BOOSTER CLUB PRESIDENT.
HILLSDALE RIGHT TO LIFE
RIGHT TO LIFE OF MICHIGAN.
KNIGHTS OF COLUMBUS.

On what other volunteer boards/committees have you served? _____

HILLSDALE CITY BOARD OF REVIEW

Describe any previous activities related to government: _____

HILLSDALE CITY COUNCIL

FINANCE COMMITTEE.

COMMUNITY DEVELOPMENT.

Please explain why you would be interested in serving on the council or committee: _____

TO HELP THE CITY.

Please explain your understanding of the City of Hillsdale: _____

Additional comments: _____

Please send your completed application to City of Hillsdale, City Manager at 97 North Broad Street, Hillsdale, MI 49242.

Anthony A. Vuar
Applicant Signature

2-09-2026
Date