



City Council Agenda

February 16, 2026
7:00 p.m.

City Council Chambers
97 N. Broad Street
Hillsdale, MI 49242

- I. Call to Order and Pledge of Allegiance**
- II. Roll Call**
- III. Approval of Agenda**
- IV. Public Comments on Agenda Items**
- V. Consent Agenda**
 - A. Approval of Bills
 - 1. City and BPU Claims of January 29, 2026: \$1,195,816.49
 - 2. Payroll of January 29, 2026: \$210,224.68
 - B. City Council Minutes of February 2, 2026
 - C. Finance Minutes of February 2, 2026
 - D. BPU Holiday Decorations
 - E. BPU Service Van Replacement
- VI. Communications/Petitions**
 - A. Letter from Smith Haughey Rice & Roegge Attorneys at Law
 - B. Hillsdale County Commissioner Update – Doug Ingles
- VII. Introduction and Adoption of Ordinances/Public Hearing**
 - A. Public Hearing: SAD 2026-01 Arch Ave.
 - B. Public Hearing :SAD 2026-02 South St.
 - C. Public Hearing :SAD 2026-03A Oak St.
- VIII. Old Business**
- IX. New Business**
 - A. Library Carpet Replacement
- X. Miscellaneous Reports**
 - A. Proclamation: None
 - B. Appointment: Anthony Vear- Board of Review
 - C. Other- None
- XI. General Public Comment**
- XII. City Manager’s Report**
- XIII. Council Comment**
- XIV. Adjournment**

INVOICE GL DISTRIBUTION REPORT FOR CITY OF HILLSDALE
 EXP CHECK RUN DATES 01/29/2026 - 01/29/2026
 BOTH JOURNALIZED AND UNJOURNALIZED
 PAID

GL Number	Invoice Line Desc	Vendor	Invoice Description	Amount	Check #
Fund 101 GENERAL FUND					
Dept 175.000 ADMINISTRATIVE SERVICES					
101-175.000-802.000	WATCHGUARD SECURY SUITE FIREBOX	SONIT SYSTEMS, LLC	WATCHGUARD SECURY SUITE FIREBOX M390 JF	1,975.00	112145
101-175.000-802.000	MISC CAT6 CABLES	AMAZON CAPITAL SERVICES, I	MISC CAT6 CABLES	27.57	112148
Total For Dept 175.000 ADMINISTRATIVE SERVICES				2,002.57	
Dept 191.000 FINANCE DEPARTMENT					
101-191.000-726.000	WINDOW ENVELOPES - NO LOGO/LOGO	ARROW SWIFT PRINTING	WINDOW ENVELOPES - NO LOGO/LOGO	214.61	112150
101-191.000-801.000	ACCOUNTING SERVICES - DEC 2025	THE WOODHILL GROUP, LLC	ACCOUNTING SERVICES - DEC 2025	2,676.53	112146
Total For Dept 191.000 FINANCE DEPARTMENT				2,891.14	
Dept 215.000 CITY CLERK DEPARTMENT					
101-215.000-801.000	COPIER LEASES - CITY	CURRENT OFFICE SOLUTIONS	COPIER LEASES - CITY	229.42	112160
Total For Dept 215.000 CITY CLERK DEPARTMENT				229.42	
Dept 253.000 CITY TREASURER					
101-253.000-801.000	CREDIT CARD PROCESSING FEES - DE	INVOICE CLOUD, INC.	CREDIT CARD PROCESSING FEES - DECEMBER	0.10	684
101-253.000-964.000	BILLBACK 30-006-227-251-30	HILLSDALE CO TREASURER	BILLBACK 30-006-227-251-30	27,856.03	112139
101-253.000-964.000	BILL BACK 30-006-227-251-29	HILLSDALE CO TREASURER	BILL BACK 30-006-227-251-29	21,153.66	112139
101-253.000-964.000	BILL BACK 30-006-426-328-02	HILLSDALE CO TREASURER	BILL BACK 30-006-426-328-02	21,947.31	112139
Total For Dept 253.000 CITY TREASURER				70,957.10	
Dept 257.000 ASSESSING DEPARTMENT					
101-257.000-726.000	SUPPLIES	ARROW SWIFT PRINTING	ENVELOPES - ASSESSING DEPT	84.85	112150
101-257.000-726.000	SUPPLIES	ARROW SWIFT PRINTING	ENVELOPES (2 CASES) ASSESSING DEPT	324.75	112150
101-257.000-726.000	SUPPLIES	CURRENT OFFICE SOLUTIONS	MAILING LABELS	15.10	112160
101-257.000-734.000	POSTAGE	CARD SERVICES CENTER	K. THOMAS CREDIT CARD	177.94	1358
101-257.000-801.000	COPIER LEASES - CITY	CURRENT OFFICE SOLUTIONS	COPIER LEASES - CITY	180.42	112160
101-257.000-810.000	MICH ASSESSORS ASSOC 2026 DUES	CARD SERVICES CENTER	K. THOMAS CREDIT CARD	97.38	1358
101-257.000-956.000	TRAINING & SEMINARS	HILLSDALE CO EQUALIZATION	BOARD OF REVIEW STATE MANDATED TRAINING	75.00	112173
Total For Dept 257.000 ASSESSING DEPARTMENT				955.44	
Dept 265.000 BUILDING AND GROUNDS					
101-265.000-726.000	AIR FRESHENERS	CARD SERVICES CENTER	K, PRICE CREDIT CARD	27.83	1358
101-265.000-801.000	MATS - CITY HALL	CINTAS CORPORATION	MATS - CITY HALL	27.63	112157
101-265.000-801.000	MATS - CITY HALL	CINTAS CORPORATION	MATS - CITY HALL	27.63	112157
101-265.000-801.000	REPAIR FRONT INSIDE DOOR - CITY	G&G GLASS, INC	REPAIR FRONT INSIDE DOOR - CITY HALL	300.00	112165
101-265.000-801.000	QUARTERLY ELEVATOR MAINTENANCE 0	SCHINDLER ELEVATOR CORPOR	QUARTERLY ELEVATOR MAINTENANCE 02/01/20	761.22	112189
101-265.000-850.000	PHONE SERVICE FILES	BSB COMMUNICATIONS INC	PHONE SERVICE FILES	59.00	112154
101-265.000-920.000	505119616 - 97 N BROAD - CITY HA	MICHIGAN GAS UTILITIES	NATURAL GAS UTILITY - 97 N BROAD ST	1,275.58	1350
101-265.000-920.000-215060	505431439 - 22 N MANNING - MITCH	MICHIGAN GAS UTILITIES	NATURAL GAS UTILITY - 22 N MANNING	647.12	1351
Total For Dept 265.000 BUILDING AND GROUNDS				3,126.01	
Dept 301.000 POLICE DEPARTMENT					
101-301.000-726.000	HON THREE DRAWER LATERAL FILE- P	AMAZON CAPITAL SERVICES, I	HON THREE DRAWER LATERAL FILE- POLICE I	3,498.96	112132
101-301.000-726.000	BANKERS BOXES FOR DISPATCH	AMAZON CAPITAL SERVICES, I	BANKERS BOXES FOR DISPATCH	58.08	112148
101-301.000-726.000	STEEL TARGET SET - EQUIPMENT REI	AVERY NEWELL	STEEL TARGET SET - EQUIPMENT REIMBURSE	200.00	112151
101-301.000-726.000	CLOUDRICK MEN'S BOOTS- EQUIPMENT	KIRSTEN, KYLE	CLOUDRICK MEN'S BOOTS- EQUIPMENT ALLOW	200.00	112182
101-301.000-726.000	POSTAGE	CARD SERVICES CENTER	S. HEHPNER CREDIT CARD	37.50	1358
101-301.000-742.000	EXPENSE ALLOWANCE FOR OFFICER D.	DUSTIN ZIMMERMAN	EXPENSE ALLOWANCE FOR OFFICER D. ZIMME	200.00	112202
101-301.000-801.000	COPIER LEASES - CITY	CURRENT OFFICE SOLUTIONS	COPIER LEASES - CITY	47.90	112160
101-301.000-810.000	TREE SPONSORSHIP - HILLSDALE LIG	HILLSDALE CO COMM FOUNDATI	TREE SPONSORSHIP - HILLSDALE LIGHT UP E	35.00	112172
101-301.000-930.000	OIL CHANGE AND TIRE ROTATION UNI	PARNEY'S CAR CARE, LLC	OIL CHANGE AND TIRE ROTATION UNIT 2-2	61.06	112184
101-301.000-930.000	OIL CHANGE AND TIRE ROTATION UNI	PARNEY'S CAR CARE, LLC	OIL CHANGE AND TIRE ROTATION UNIT 2-7	74.44	112184
101-301.000-955.221	PHYSICAL EXAM- JOSEPH SANDHAL	HENRY FORD OCCUPATIONAL HE	PHYSICAL EXAM- JOSEPH SANDHAL	170.00	112171

GL Number	Invoice Line Desc	Vendor	Invoice Description	Amount	Check #
Fund 101 GENERAL FUND					
Dept 301.000 POLICE DEPARTMENT					
101-301.000-956.005	MCOLCS 2025 ONLINE FIREARMS TRAI	WASHTENAW COMM COLLEGE	MCOLCS 2025 ONLINE FIREARMS TRAINING	575.00	112197
Total For Dept 301.000 POLICE DEPARTMENT				5,157.94	
Dept 336.000 FIRE DEPARTMENT					
101-336.000-726.000	SUPPLIES	CURRENT OFFICE SOLUTIONS	WEEKLY PLANNER FIRE DEPT 2026	31.99	112160
101-336.000-726.000	FLAT BLACK VINYL FOR FIRE	PERFORMANCE AUTOMOTIVE	FLAT BLACK VINYL FOR FIRE	15.49	112185
101-336.000-920.000	502806085 - 77 E CARLETON - FIRE	MICHIGAN GAS UTILITIES	NATURAL GAS UTILITY - 77 E CARLETON RD	702.24	1348
101-336.000-930.000	FIRE TRUCK- REBUILD HYDRAULIC CY	BLACK FORKLIFT SALES & SEF	FIRE TRUCK- REBUILD HYDRAULIC CYLINDER	293.68	112152
101-336.000-930.000	FIRE ENGINE 2006 REPAIR PARTS	WATSON DIESEL SERVICE COM	FIRE ENGINE 2006 REPAIR PARTS	2,019.91	112199
101-336.000-956.000	BASIC LIFE SUPPORT- FIRE DEPT -	BRAD VANDERLOOVEN	BASIC LIFE SUPPORT- FIRE DEPT - AMERIC	650.00	112153
Total For Dept 336.000 FIRE DEPARTMENT				3,713.31	
Dept 441.000 PUBLIC SERVICES DEPARTMENT					
101-441.000-801.000	MATS, MOP	CINTAS CORPORATION	MATS, RAGS, FENDER SKIRT, MOP	50.44	112157
101-441.000-801.000	MATS, MOP	CINTAS CORPORATION	MATS, RAGS, FENDER SKIRT, MOP	50.44	112157
101-441.000-801.000	COPIER LEASES - CITY	CURRENT OFFICE SOLUTIONS	COPIER LEASES - CITY	162.87	112160
101-441.000-956.000	LUNCH TRAINING - ICE STORM SCENA	CARD SERVICES CENTER	J. BLAKE CREDIT CARD	135.35	1358
Total For Dept 441.000 PUBLIC SERVICES DEPARTMENT				399.10	
Dept 595.000 AIRPORT					
101-595.000-726.000	SILICON SEALANT	CARD SERVICES CENTER	T. STEBELTON CREDIT CARD	6.23	1358
101-595.000-801.000	AIRPORT NITRITE WATER TEST	CITY OF JONESVILLE	NITRITE ANALYSIS - DECEMBER 2025	20.00	112158
101-595.000-920.000	PROPANE - NEW TERMINAL	SPRATT'S TRADING POST INC	PROPANE - NEW TERMINAL	742.52	112191
101-595.000-920.000	PROPANE - OLD TERMINAL	SPRATT'S TRADING POST INC	PROPANE - OLD TERMINAL	591.89	112191
101-595.000-930.000	TRACTOR OIL, HANGING STRIPS	CARD SERVICES CENTER	T. STEBELTON CREDIT CARD	77.51	1358
Total For Dept 595.000 AIRPORT				1,438.15	
Dept 701.000 PLANNING DEPARTMENT					
101-701.000-726.000	SUPPLIES	ARROW SWIFT PRINTING	ENVELOPES - ASSESSING DEPT	88.15	112150
101-701.000-726.000	SUPPLIES	ARROW SWIFT PRINTING	ENVELOPES (2 CASES) ASSESSING DEPT	310.75	112150
101-701.000-726.000	SUPPLIES	CURRENT OFFICE SOLUTIONS	MAILING LABELS	15.10	112160
101-701.000-801.000	COPIER LEASES - CITY	CURRENT OFFICE SOLUTIONS	COPIER LEASES - CITY	180.41	112160
101-701.000-801.372	CITATION CERTIFIED MAILING	CARD SERVICES CENTER	K. THOMAS CREDIT CARD	20.96	1358
101-701.000-905.000	PC & ZBA NOTICE POSTAGE	CARD SERVICES CENTER	K. THOMAS CREDIT CARD	156.00	1358
101-701.000-956.000	CITIZEN PLANNER TRAINING	CARD SERVICES CENTER	K. THOMAS CREDIT CARD	250.00	1358
Total For Dept 701.000 PLANNING DEPARTMENT				1,021.37	
Dept 756.000 PARKS					
101-756.000-801.000	PARKS TREE TRIMMING AND REMOVALS	LONSBERY, JEFFREY	TREE TRIMMING/REMOVAL STORM DAMAGES PAF	2,950.00	112159
Total For Dept 756.000 PARKS				2,950.00	
Total For Fund 101 GENERAL FUND				94,841.55	
Fund 202 MAJOR ST./TRUNKLINE FUND					
Dept 450.000 STREET SURFACE					
202-450.000-801.588	ENGINEERING SERVICES MAJOR STREE	THE MANNIK & SMITH GROUP,	MANNIK & SMITH ENGINEERING SERVICES 202	52.25	112195
Total For Dept 450.000 STREET SURFACE				52.25	
Total For Fund 202 MAJOR ST./TRUNKLINE FUND				52.25	
Fund 203 LOCAL STREET FUND					
Dept 450.000 STREET SURFACE					
203-450.000-801.588	ENGINEERING SERVICES LOCAL STREE	THE MANNIK & SMITH GROUP,	MANNIK & SMITH ENGINEERING SERVICES 202	52.25	112195

GL Number	Invoice Line Desc	Vendor	Invoice Description	Amount	Check #
Fund 203 LOCAL STREET FUND					
Dept 450.000 STREET SURFACE					
Total For Dept 450.000 STREET SURFACE				52.25	
Dept 470.000 TREES					
203-470.000-801.000	CONTRACTUAL SERVICES	WICKHAM TREE SERVICE, LLC	EMERGENCY TREE REMOVAL - STORM DAMAGE 3	2,500.00	112200
Total For Dept 470.000 TREES				2,500.00	
Total For Fund 203 LOCAL STREET FUND				2,552.25	
Fund 204 MUNICIPAL STREET FUND					
Dept 572.000 LEAF COLLECTION					
204-572.000-801.000	LEAF COLECTION 1/9/2026 12 LOADS	DRY MAR TRUCKING & DIRTWO	LEAF COLLECTION - 1/9/2026, 1/13/2026	877.50	112162
Total For Dept 572.000 LEAF COLLECTION				877.50	
Total For Fund 204 MUNICIPAL STREET FUND				877.50	
Fund 247 TAX INCREMENT FINANCE ATH.					
Dept 900.000 CAPITAL OUTLAY					
247-900.000-920.000	507035798 - 110 N BROAD - DAWN	MICHIGAN GAS UTILITIES	NATURAL GAS UTILITY - 110 N BROAD	619.20	1354
Total For Dept 900.000 CAPITAL OUTLAY				619.20	
Total For Fund 247 TAX INCREMENT FINANCE ATH.				619.20	
Fund 271 LIBRARY FUND					
Dept 790.000 LIBRARY					
271-790.000-726.000	HOT CHOCOLATE K CUPS	AMAZON CAPITAL SERVICES, I	HOT CHOCOLATE K CUPS	12.80	112148
271-790.000-726.000	TAPE	AMAZON CAPITAL SERVICES, I	BOOK & TAPE	12.15	112148
271-790.000-726.000	PAPER	CARD SERVICES CENTER	R. DOBSKI CREDIT CARD	310.34	1358
271-790.000-734.000	POSTAGE	CARD SERVICES CENTER	R. DOBSKI CREDIT CARD	78.00	1358
271-790.000-801.000	CONTRACTUAL SERVICES	WOODLANDS LIBRARY COOPERAT	SWANK MOVIE LICENSING	389.00	112201
271-790.000-850.000	PHONE SERVICE FILES	BSB COMMUNICATIONS INC	PHONE SERVICE FILES	13.25	112154
271-790.000-880.000	MAR/APR SIMPLY HERS	SIMPLY HERS MAGAZINE	MAR/APR SIMPLY HERS	135.00	112190
271-790.000-920.000	503691550 - 12 N MANNING - LIBRA	MICHIGAN GAS UTILITIES	NATURAL GAS UTILITY - 12 N MANNING	1,484.29	1353
271-790.000-982.000	CREDIT MEMO FOR RETURN OF BAD DI	AMAZON CAPITAL SERVICES, I	CREDIT MEMO FOR RETURN OF BAD DIY BOOK	(23.89)	112148
271-790.000-982.000	BOOKS- JAN26 ADULT	AMAZON CAPITAL SERVICES, I	BOOKS- JAN26 ADULT	15.52	112148
271-790.000-982.000	WICKED/FOR GOOD MOVIES	AMAZON CAPITAL SERVICES, I	WICKED/FOR GOOD MOVIES	59.98	112148
271-790.000-982.000	BOOKS - JAN26 ADULT	AMAZON CAPITAL SERVICES, I	BOOKS - JAN26 ADULT	146.63	112148
271-790.000-982.000	BOOKS - KING SORROW	AMAZON CAPITAL SERVICES, I	BOOK & TAPE	22.00	112148
271-790.000-982.000	BOOKS - JAN25 ADULT	INGRAM LIBRARY SERVICES	BOOKS - JAN25 ADULT	53.30	112179
271-790.000-982.000	BOOKS	CARD SERVICES CENTER	R. DOBSKI CREDIT CARD	20.08	1358
271-790.000-982.002	REPLACEMENT BOOK "TRICERATOPPOSI	AMAZON CAPITAL SERVICES, I	REPLACEMENT BOOK "TRICERATOPPOSITE"	17.72	112148
271-790.000-982.002	BOOKS - LOST/DAMAGED	CARD SERVICES CENTER	R. DOBSKI CREDIT CARD	18.86	1358
Total For Dept 790.000 LIBRARY				2,765.03	
Dept 792.000 LIBRARY - CHILDREN'S AREA					
271-792.000-726.000	HEART DOILLIES	CARD SERVICES CENTER	R. DOBSKI CREDIT CARD	33.26	1358
271-792.000-982.000	BOOKS - JAN26 CHI	AMAZON CAPITAL SERVICES, I	BOOKS - JAN26 CHI	36.23	112148
271-792.000-982.000	BOOKS	CARD SERVICES CENTER	R. DOBSKI CREDIT CARD	34.93	1358
Total For Dept 792.000 LIBRARY - CHILDREN'S AREA				104.42	
Total For Fund 271 LIBRARY FUND				2,869.45	
Fund 481 AIRPORT IMPROVEMENT FUND					
Dept 000.000					
481-000.000-263.000	SALES TAX - DECEMBER 2025	STATE OF MICHIGAN	SALES TAX - DECEMBER 2025	413.33	685

INVOICE GL DISTRIBUTION REPORT FOR CITY OF HILLSDALE
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Fund 481 AIRPORT IMPROVEMENT FUND					
Dept 000.000					
481-000.000-687.300	SALES TAX - DECEMBER 2025	STATE OF MICHIGAN	SALES TAX - DECEMBER 2025	(2.07)	685
Total For Dept 000.000				411.26	
Dept 175.000 ADMINISTRATIVE SERVICES					
481-175.000-930.000	BOLTS, FENCE POST - HANGAR REPAI	CARD SERVICES CENTER	T. STEBELTON CREDIT CARD	95.98	1358
Total For Dept 175.000 ADMINISTRATIVE SERVICES				95.98	
Total For Fund 481 AIRPORT IMPROVEMENT FUND				507.24	
Fund 582 ELECTRIC FUND					
Dept 000.000					
582-000.000-110.000	CONDUIT - 2" CONTINUOUS RED	POWER LINE SUPPLY	CONDUIT RED STRIPE	6,840.00	112144
582-000.000-110.000	DA BOLT - 5/8 X 12"	POWER LINE SUPPLY	INVENTORY	1,831.05	112186
582-000.000-110.000	DA BOLT - 5/8 X 14"	POWER LINE SUPPLY	INVENTORY	237.15	112186
582-000.000-110.000	6' FOLDING RULER INSIDE READ	POWER LINE SUPPLY	FOLDING RULERS	105.00	112186
582-000.000-110.000	LANYARD 6FT.	POWER LINE SUPPLY	SAFETY HARNESS/LANYARD	244.00	112186
582-000.000-110.000	AUGER BITS	POWER LINE SUPPLY	BITS	155.00	112186
582-000.000-110.000	FLAT WASHERS - 2 X 2 X 5/8"	POWER LINE SUPPLY	INVENTORY	81.00	112186
582-000.000-110.000	CONNECTOR - GROUND ROD	POWER LINE SUPPLY	INVENTORY	138.60	112186
582-000.000-110.000	33+ SUPER BLACK TAPE	POWER LINE SUPPLY	BLACK TAPE	782.62	112186
582-000.000-110.000	BULB - 100 WATT HPS	POWER LINE SUPPLY	BULBS- BLVDS	257.40	112186
582-000.000-110.000	SOCKET - 4 TERMINAL 200 AMP URD	POWER LINE SUPPLY	METER SOCKETS	2,770.40	112186
582-000.000-110.000	SOCKET - 4 TERM 320 AMP URD	POWER LINE SUPPLY	METER SOCKETS 320 AMP	1,398.75	112186
582-000.000-123.000	FACILITY CHARGE/EMISSIONS FEE	STATE OF MICHIGAN EGLE	FACILITY CHARGE/EMISSIONS FEE	5,409.00	112193
582-000.000-202.100	4ENBK1	BRIM, TONI J	UB refund for account: 023405	54.00	112135
582-000.000-202.100	6ENBK1	COUNTRY LIVING	UB refund for account: 035123	538.25	112136
582-000.000-202.100	4CCH	LASER, CASTYNE M	UB refund for account: 024964	64.00	112140
582-000.000-202.100	4CCH	LEWIS, CARL E	UB refund for account: 013399	58.94	112141
582-000.000-202.100	4CCH	MORRISON, EDWARD J	UB refund for account: 020349	52.00	112143
582-000.000-263.000	SALES TAX - DECEMBER 2025	STATE OF MICHIGAN	SALES TAX - DECEMBER 2025	42,555.75	685
582-000.000-264.000	CITY SHARE OF AMP ASSETS	MICHIGAN SOUTH CENTRAL POW	MSCPA MEMBER POWER BILLING - DEC 2025	10,000.00	1345
582-000.000-692.001	REFUND: PMT SENT IN ERROR B00731	STATE OF MICHIGAN	REFUND: PMT SENT IN ERROR B007317450	453.95	112192
582-000.000-692.200	SALES TAX - DECEMBER 2025	STATE OF MICHIGAN	SALES TAX - DECEMBER 2025	(269.53)	685
Total For Dept 000.000				73,757.33	
Dept 175.000 ADMINISTRATIVE SERVICES					
582-175.000-726.000	#9 ENVELOPE PRINTED 2 SIDES BLAC	ARROW SWIFT PRINTING	#9 ENVELOPE PRINTED 2 SIDES BLACK INK	292.73	112134
582-175.000-726.000	WINDOW ENVELOPES - NO LOGO/LOGO	ARROW SWIFT PRINTING	WINDOW ENVELOPES - NO LOGO/LOGO	107.32	112150
582-175.000-726.000	WATER 45 MONROE ST	RUPERT'S CULLIGAN	WATER 45 MONROE ST	13.50	112188
582-175.000-726.000	5000 #10 WINDOW ENVELOPOES - CLA	STOCKHOUSE CORPORATION	5000 #10 WINDOW ENVELOPOES - CLAMSHELL	236.25	112194
582-175.000-801.000	2026 MEMBERSHIP DUES	MMEA	2026 MEMBERSHIP DUES	15,056.00	112142
582-175.000-801.000	ACCOUNTING SERVICES - DEC 2025	THE WOODHILL GROUP, LLC	ACCOUNTING SERVICES - DEC 2025	1,338.26	112146
582-175.000-801.000	MATS - 45 MONROE ST	CINTAS CORPORATION	MATS - 45 MONROE ST	2.50	112157
582-175.000-801.000	2026 DUES	MICHIGAN PUBLIC POWER AGEN	2026 DUES	1,220.00	1359
582-175.000-801.000	CREDIT CARD PROCESSING FEES - DE	INVOICE CLOUD, INC.	CREDIT CARD PROCESSING FEES - DECEMBER	280.86	684
582-175.000-802.000	WATCHGUARD SECURY SUITE FIREBOX	SONIT SYSTEMS, LLC	WATCHGUARD SECURY SUITE FIREBOX M390 JF	987.50	112145
582-175.000-802.000	MISC CAT6 CABLES	AMAZON CAPITAL SERVICES,	MISC CAT6 CABLES	13.80	112148
582-175.000-802.000	1TB NVME HARD DRIVE	AMAZON CAPITAL SERVICES,	1TB NVME HARD DRIVE	52.49	112148
582-175.000-802.000	AA BATTERIES TACTACAM	AMAZON CAPITAL SERVICES,	1AA BATTERIES TACTACAM	31.35	112148
582-175.000-802.000	TRAIL CAMERA NOTIFICATION SUBSCR	CARD SERVICES CENTER	B. JANES CREDIT CARD	10.00	1358
582-175.000-850.000	PHONE SERVICE FILES	BSB COMMUNICATIONS INC	PHONE SERVICE FILES	29.50	112154
582-175.000-906.000	TREE SPONSORSHIP - HILLSDALE LIG	HILLSDALE CO COMM FOUNDAT	TREE SPONSORSHIP - HILLSDALE LIGHT UP F	35.00	112172

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Fund 582 ELECTRIC FUND					
Dept 175.000 ADMINISTRATIVE SERVICES					
Total For Dept 175.000 ADMINISTRATIVE SERVICES				19,707.06	
Dept 544.000 OPERATIONS					
582-544.000-726.000	MC STR CONN/4 SQ BOX 1-1/2"D WIT	AMERICAN COPPER AND BRASS,	MC STR CONN/4 SQ BOX 1-1/2"D WITH	94.43	112133
582-544.000-726.000	TOILET BOLT SET/WAX BOWL GASKET	GELZER HJ & SON INC	TOILET BOLT SET/WAX BOWL GASKET	10.98	112166
582-544.000-726.000	TOILET FLANG REPAIR RING/WAS GAS	GELZER HJ & SON INC	TOILET FLANG REPAIR RING/WAS GASKET	22.98	112166
582-544.000-726.000	METER DISCONNECT SLEEVES	CARD SERVICES CENTER	B. JANES CREDIT CARD	81.06	1358
582-544.000-726.008	FIRST AID SUPPLIES	CINTAS CORPORATION	FIRST AID SUPPLIES	45.20	112157
582-544.000-730.000	CASE 75XT SKID LOADER FIND AND R	BLACK FORKLIFT SALES & SEF	CASE 75XT SKID LOADER FIND AND REPAIR F	3,020.47	112152
582-544.000-730.000	DIESEL EXHAUST FLUID	FAMILY FARM & HOME	DIESEL EXHAUST FLUID	364.00	112163
582-544.000-730.000	4PK MOUSE GLUE TRAP	GELZER HJ & SON INC	4PK MOUSE GLUE TRAP	5.99	112166
582-544.000-730.000	LUBRICANT	GELZER HJ & SON INC	LUBRICANT	10.99	112166
582-544.000-730.000	5/16 MINI SCR CL	PERFORMANCE AUTOMOTIVE	5/16 MINI SCR CL	2.68	112185
582-544.000-730.000	MOLDING TAPE/CLR MKR RED/SMART S	PERFORMANCE AUTOMOTIVE	MOLDING TAPE/CLR MKR RED/SMART STRAW	49.40	112185
582-544.000-730.000	PURCHASE AIS CONSTRUC EQUIP	POWERPLAN	PURCHASE AIS CONSTRUC EQUIP	1,017.79	112187
582-544.000-739.000	MSCPA MEMBER POWER BILLING - DEC	MICHIGAN SOUTH CENTRAL POW	MSCPA MEMBER POWER BILLING - DEC 2025	837,023.69	1345
582-544.000-740.300	504504154 - 201 WATERWORKS XX -	MICHIGAN GAS UTILITIES	NATURAL GAS UTILITY - 201 WATERWORKS X	24.15	1355
582-544.000-740.400	504504154 - 201 WATERWORKS XX -	MICHIGAN GAS UTILITIES	NATURAL GAS UTILITY - 201 WATERWORKS X	24.14	1355
582-544.000-801.000	SPECIAL WASTE	WM CORPORATE SERVICES, INC	SPECIAL WASTE	178.13	112198
582-544.000-920.000	504504154 - 201 WATERWORKS - PP	MICHIGAN GAS UTILITIES	NATURAL GAS UTILITY - 201 WATERWORKS	3,377.12	1344
582-544.000-930.000	SUPPLIES	AMERICAN COPPER AND BRASS,	SUPPLIES	115.02	112133
582-544.000-930.000	KEEP OFF ROOF SIGN	AMAZON CAPITAL SERVICES, I	KEEP OFF ROOF SIGN	55.16	112148
582-544.000-930.000	LIGHT BULBS	AMAZON CAPITAL SERVICES, I	LIGHT BULBS	138.60	112148
582-544.000-930.000	BREAKER/WIRE NUTS 50/PK	AMERICAN COPPER AND BRASS,	BREAKER/WIRE NUTS 50/PK	48.75	112149
582-544.000-930.000	120V PHOTOCELL	GELZER HJ & SON INC	120V PHOTOCELL	21.49	112166
582-544.000-930.025	GALV NIPPLE/GALV CAP	GELZER HJ & SON INC	GALV NIPPLE/GALV CAP	13.28	112166
582-544.000-930.025	FASTENERS & ANCHORS	GELZER HJ & SON INC	FASTENERS & ANCHORS	24.74	112166
582-544.000-930.025	8OZ BLOW OFF DUSTER	GELZER HJ & SON INC	8OZ BLOW OFF DUSTER	19.98	112166
Total For Dept 544.000 OPERATIONS				845,790.22	
Dept 900.000 CAPITAL OUTLAY					
582-900.000-970.000-171003	SAFETY TAPE	AMAZON CAPITAL SERVICES, I	SAFETY TAPE	46.99	112148
582-900.000-970.000-171003	ADAPTERS	GELZER HJ & SON INC	ADAPTERS	1.98	112166
582-900.000-970.000-215016	CAPITAL OUTLAY - INDUST. SUB. CO	KENDALL ELECTRIC	SUPPLIES	165.31	112181
Total For Dept 900.000 CAPITAL OUTLAY				214.28	
Total For Fund 582 ELECTRIC FUND				939,468.89	
Fund 588 DIAL A RIDE					
Dept 596.000 DIAL-A-RIDE					
588-596.000-726.000	WATER - DIAL-A-RIDE	HEFFERNAN SOFT WATER SERV	WATER DELIVERY SERVICE	17.76	112170
588-596.000-801.000	TIE RODS, 02 SENSORS, PLUGS - #6	HOEKSTRA TRANSPORTATION, I	TIE RODS, 02 SENSORS, PLUGS - #60	2,199.38	112176
588-596.000-920.000	507035798 - 981 DEVELOPMENT DR -	MICHIGAN GAS UTILITIES	NATURAL GAS UTILITY - 981 DEVELOPMENT I	451.75	1357
Total For Dept 596.000 DIAL-A-RIDE				2,668.89	
Total For Fund 588 DIAL A RIDE				2,668.89	
Fund 590 SEWER FUND					
Dept 000.000					
590-000.000-202.100	SCCH	LEWIS, CARL E	UB refund for account: 013399	21.55	112141
Total For Dept 000.000				21.55	
Dept 175.000 ADMINISTRATIVE SERVICES					
590-175.000-726.000	#9 ENVELOPE PRINTED 2 SIDES BLAC	ARROW SWIFT PRINTING	#9 ENVELOPE PRINTED 2 SIDES BLACK INK	146.36	112134

GL Number	Invoice Line Desc	Vendor	Invoice Description	Amount	Check #
Fund 590 SEWER FUND					
Dept 175.000 ADMINISTRATIVE SERVICES					
590-175.000-726.000	WINDOW ENVELOPES - NO LOGO/LOGO	ARROW SWIFT PRINTING	WINDOW ENVELOPES - NO LOGO/LOGO	53.65	112150
590-175.000-726.000	WATER 45 MONROE ST	RUPERT'S CULLIGAN	WATER 45 MONROE ST	6.75	112188
590-175.000-726.000	5000 #10 WINDOW ENVELOPOES - CLA	STOCKHOUSE CORPORATION	5000 #10 WINDOW ENVELOPOES - CLAMSHELL	118.13	112194
590-175.000-801.000	ACCOUNTING SERVICES - DEC 2025	THE WOODHILL GROUP, LLC	ACCOUNTING SERVICES - DEC 2025	669.13	112146
590-175.000-801.000	MATS - 45 MONROE ST	CINTAS CORPORATION	MATS - 45 MONROE ST	1.25	112157
590-175.000-801.000	CREDIT CARD PROCESSING FEES - DE	INVOICE CLOUD, INC.	CREDIT CARD PROCESSING FEES - DECEMBER	140.42	684
590-175.000-802.000	WATCHGUARD SECURY SUITE FIREBOX	SONIT SYSTEMS, LLC	WATCHGUARD SECURY SUITE FIREBOX M390 JF	493.75	112145
590-175.000-802.000	MISC CAT6 CABLES	AMAZON CAPITAL SERVICES, I	MISC CAT6 CABLES	6.90	112148
590-175.000-802.000	1TB NVME HARD DRIVE	AMAZON CAPITAL SERVICES, I	1TB NVME HARD DRIVE	26.24	112148
590-175.000-850.000	PHONE SERVICE FILES	BSB COMMUNICATIONS INC	PHONE SERVICE FILES	14.75	112154
590-175.000-955.000	PREEMPLOYMENT DRUG TEST - DUANE	CE & A PROFESSIONAL SERVI	PREEMPLOYMENT DRUG TEST - DUANE WARD	57.00	112155
Total For Dept 175.000 ADMINISTRATIVE SERVICES				1,734.33	
Dept 546.000 OPERATIONS					
590-546.000-726.000	CLEANING SUPPLIES	FAMILY FARM & HOME	CLEANING SUPPLIES	13.98	112163
590-546.000-726.000	12 FT MANHOLE LADDER	GRAINGER INDUSTRIAL SUPPLY	12 FT MANHOLE LADDER	529.88	112168
590-546.000-726.000	LIFT STATION DEGREASER	INDUSTRIAL CHEM LABS & SEFL	LIFT STATION DEGREASER	570.23	112178
590-546.000-726.000	NITRILE GLOVES	LOU'S GLOVES, INC	NITRILE GLOVES	157.00	112183
590-546.000-726.008	FIRST AID SUPPLIES	CINTAS CORPORATION	FIRST AID SUPPLIES	22.60	112157
590-546.000-727.800	DISTILLED LAB WATER - 101 W GALL	RUPERT'S CULLIGAN	DISTILLED LAB WATER - 101 W GALLOWAY	21.00	112188
590-546.000-730.000	OIL CHANGE - 2022 GMC SIERRA K25	PARNEY'S CAR CARE, LLC	OIL CHANGE - 2022 GMC SIERRA K2500 HD	95.25	112184
590-546.000-730.000	PURCHASE AIS CONSTRUC EQUIP	POWERPLAN	PURCHASE AIS CONSTRUC EQUIP	508.80	112187
590-546.000-742.000	MUCK BOOTS AND GLOVES	FAMILY FARM & HOME	MUCK BOOTS AND GLOVES	160.98	112163
590-546.000-801.000	WET TESTING QUARTERLY	GLOBAL ENVIRONMENTAL CONSU	WET TESTING QUARTERLY	820.00	112167
590-546.000-920.000	505161747 - 91 MARION	MICHIGAN GAS UTILITIES	NATURAL GAS UTILITY - 91 MARION ST	51.59	1346
590-546.000-920.000	505161747 - 139 E SOUTH ST	MICHIGAN GAS UTILITIES	NATURAL GAS UTILITY - 139 E SOUTH ST	48.29	1347
590-546.000-920.000	505161747 - 3879 W CARLETON RD	MICHIGAN GAS UTILITIES	NATURAL GAS UTILITY - 3879 W CARLETON F	52.02	1349
590-546.000-920.000	505161747 - 1999 W HALLETT ST	MICHIGAN GAS UTILITIES	NATURAL GAS UTILITY - 1999 W HALLETT ST	53.76	1352
590-546.000-930.000	WELD ON BUCKET HOOKS	AMAZON CAPITAL SERVICES, I	WELD ON BUCKET HOOKS	72.00	112148
590-546.000-930.000	AERATOR DRIVE MOTOR	CEM SUPPLY, INC	AERATOR DRIVE MOTOR	2,715.71	112156
590-546.000-930.000	CREDIT: SALES TAX CHARGED ON PRI	CEM SUPPLY, INC	CREDIT: SALES TAX CHARGED ON PRIOR INVC	(153.72)	112156
590-546.000-930.000	CREDIT: SALES TAX CHARGED ON PRI	CEM SUPPLY, INC	CREDIT: SALES TAX CHARGED ON PRIOR INVC	(153.72)	112156
590-546.000-930.000	PLUMBING SUPPLIES	GELZER HJ & SON INC	PLUMBING SUPPLIES	8.37	112166
Total For Dept 546.000 OPERATIONS				5,594.02	
Dept 900.000 CAPITAL OUTLAY					
590-900.000-970.000-215079	WWTP FERROUS CHLORIDE STORAGE RO	FOULKE CONSTRUCTION	WWTP FERROUS CHLORIDE STORAGE ROOM REV	53,600.00	112137
590-900.000-970.000-215079	WWTP FERROUS CHLORIDE STORAGE RO	FOULKE CONSTRUCTION	WWTP FERROUS CHLORIDE STORAGE ROOM REV	67,000.00	112137
590-900.000-970.000-215079	ELECTRICAL REMOVAL AND INSTALATI	HEATH ELECTRICAL LLC	ELECTRICAL REMOVAL AND INSTALATION IN T	3,966.44	112138
Total For Dept 900.000 CAPITAL OUTLAY				124,566.44	
Total For Fund 590 SEWER FUND				131,916.34	
Fund 591 WATER FUND					
Dept 000.000					
591-000.000-202.100	WCCH	LEWIS, CARL E	UB refund for account: 013399	20.91	112141
Total For Dept 000.000				20.91	
Dept 175.000 ADMINISTRATIVE SERVICES					
591-175.000-726.000	#9 ENVELOPE PRINTED 2 SIDES BLAC	ARROW SWIFT PRINTING	#9 ENVELOPE PRINTED 2 SIDES BLACK INK	146.36	112134
591-175.000-726.000	WINDOW ENVELOPES - NO LOGO/LOGO	ARROW SWIFT PRINTING	WINDOW ENVELOPES - NO LOGO/LOGO	53.65	112150
591-175.000-726.000	WATER 45 MONROE ST	RUPERT'S CULLIGAN	WATER 45 MONROE ST	6.75	112188
591-175.000-726.000	5000 #10 WINDOW ENVELOPOES - CLA	STOCKHOUSE CORPORATION	5000 #10 WINDOW ENVELOPOES - CLAMSHELL	118.12	112194

INVOICE GL DISTRIBUTION REPORT FOR CITY OF HILLSDALE
 EXP CHECK RUN DATES 01/29/2026 - 01/29/2026
 BOTH JOURNALIZED AND UNJOURNALIZED
 PAID

GL Number	Invoice Line Desc	Vendor	Invoice Description	Amount	Check #
Fund 591 WATER FUND					
Dept 175.000 ADMINISTRATIVE SERVICES					
591-175.000-801.000	ACCOUNTING SERVICES - DEC 2025	THE WOODHILL GROUP, LLC	ACCOUNTING SERVICES - DEC 2025	669.13	112146
591-175.000-801.000	MATS - 45 MONROE ST	CINTAS CORPORATION	MATS - 45 MONROE ST	1.25	112157
591-175.000-801.000	CREDIT CARD PROCESSING FEES - DE	INVOICE CLOUD, INC.	CREDIT CARD PROCESSING FEES - DECEMBER	140.42	684
591-175.000-802.000	WATCHGUARD SECURY SUITE FIREBOX	SONIT SYSTEMS, LLC	WATCHGUARD SECURY SUITE FIREBOX M390 JF	493.75	112145
591-175.000-802.000	MISC CAT6 CABLES	AMAZON CAPITAL SERVICES, I	MISC CAT6 CABLES	6.90	112148
591-175.000-802.000	1TB NVME HARD DRIVE	AMAZON CAPITAL SERVICES, I	1TB NVME HARD DRIVE	26.24	112148
591-175.000-850.000	PHONE SERVICE FILES	BSB COMMUNICATIONS INC	PHONE SERVICE FILES	14.75	112154
Total For Dept 175.000 ADMINISTRATIVE SERVICES				1,677.32	
Dept 543.000 OPERATIONS					
591-543.000-726.000	HINGES	AMAZON CAPITAL SERVICES, I	HINGES	19.46	112148
591-543.000-726.000	ZIP TES	GELZER HJ & SON INC	ZIP TES	26.98	112166
591-543.000-726.000	POSTAGE - COLILERT CERTIFICATION	HILLSDALE MARKET HOUSE, I	POSTAGE - COLILERT CERTIFICATION	20.52	112174
591-543.000-726.000	COLILERT	IDEXX LABORATORIES	COLILERT	1,704.70	112177
591-543.000-726.000	SCREWS AND PLYWOOD	JONESVILLE LUMBER	SCREWS AND PLYWOOD	157.39	112180
591-543.000-726.008	FIRST AID SUPPLIES	CINTAS CORPORATION	FIRST AID SUPPLIES	22.60	112157
591-543.000-727.800	SODIUM HYPOCHLORITE	UNIVAR SOLUTIONS USA INC	SODIUM HYPOCHLORITE	4,134.88	112147
591-543.000-730.000	OIL CHANGE - 2022 GMC SIERRA K25	PARNEY'S CAR CARE, LLC	OIL CHANGE - 2022 GMC SIERRA K2500 HD	95.24	112184
591-543.000-730.000	WIPERS	PERFORMANCE AUTOMOTIVE	WIPERS	37.38	112185
591-543.000-730.000	PURCHASE AIS CONSTRUC EQUIP	POWERPLAN	PURCHASE AIS CONSTRUC EQUIP	508.80	112187
591-543.000-742.000	WINTER RAIN GEAR	USABLUEBOOK	WINTER RAIN GEAR	83.25	112196
591-543.000-801.000	VEHICLE REMOVAL FROM A HOLE AT A	HILLSDALE TOWING	VEHICLE REMOVAL FROM A HOLE AT A MAIN E	125.00	112175
591-543.000-930.000	PEASTONE - BPU	DRY MAR TRUCKING & DIRTWOF	LIMESTONE 23A/PEASTONE (BPU)	500.25	112162
591-543.000-930.000	DRILL BIT AND ANCHORS	GELZER HJ & SON INC	DRILL BIT AND ANCHORS	59.98	112166
591-543.000-930.000	WALCHEM PUMP PARTS	USABLUEBOOK	WALCHEM PUMP PARTS	1,016.11	112196
Total For Dept 543.000 OPERATIONS				8,512.54	
Total For Fund 591 WATER FUND				10,210.77	
Fund 633 PUBLIC SERVICES INV. FUND					
Dept 000.000					
633-000.000-101.000	SALT (TONS)	DETROIT SALT COMPANY, LLC	49.13T SALT - SO26-18532	3,230.79	112161
633-000.000-101.000	SALT (TONS)	DETROIT SALT COMPANY, LLC	49.13T SALT SO26-18532 REMAINDER OF ORI	3,230.79	112161
633-000.000-101.000	GRAVEL23 A	DRY MAR TRUCKING & DIRTWOF	LIMESTONE 23A/PEASTONE (BPU)	497.84	112162
Total For Dept 000.000				6,959.42	
Total For Fund 633 PUBLIC SERVICES INV. FUND				6,959.42	
Fund 640 REVOLVING MOBILE EQUIP. FUND					
Dept 443.000 MOBILE EQUIPMENT MAINTENANCE					
640-443.000-726.000	RAGS, FENDER SKIRT - SHOP	CINTAS CORPORATION	MATS, RAGS, FENDER SKIRT, MOP	9.54	112157
640-443.000-726.000	RAGS, FENDER SKIRT	CINTAS CORPORATION	MATS, RAGS, FENDER SKIRT, MOP	9.54	112157
640-443.000-730.000	BEARINGS #52.4	GREENMARK EQUIPMENT	BEARINGS #52.4	195.32	112169
640-443.000-801.000	WATERPUMP, FENDER BRACKETS - #41	FLINT TRUCK SERVICE INC.	WATERPUMP, FENDER BRACKETS - #41	822.20	112164
640-443.000-920.000	505153845 - 149 WATERWORKS - RME	MICHIGAN GAS UTILITIES	NATURAL GAS UTILITY - 149 WATERWORKS	1,236.14	1356
Total For Dept 443.000 MOBILE EQUIPMENT MAINTENANCE				2,272.74	
Total For Fund 640 REVOLVING MOBILE EQUIP. FUND				2,272.74	

01/29/2026 12:45 PM
User: lsergent
DB: Hillsdale

INVOICE GL DISTRIBUTION REPORT FOR CITY OF HILLSDALE
EXP CHECK RUN DATES 01/29/2026 - 01/29/2026
BOTH JOURNALIZED AND UNJOURNALIZED
PAID

GL Number	Invoice Line Desc	Vendor	Invoice Description	Amount	Check #
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Fund Totals:

Fund 101 GENERAL FUND	94,841.55
Fund 202 MAJOR ST./TRUNK	52.25
Fund 203 LOCAL STREET FUND	2,552.25
Fund 204 MUNICIPAL STREET	877.50
Fund 247 TAX INCREMENT FUND	619.20
Fund 271 LIBRARY FUND	2,869.45
Fund 481 AIRPORT IMPROVEMENT	507.24
Fund 582 ELECTRIC FUND	939,468.89
Fund 588 DIAL A RIDE	2,668.89
Fund 590 SEWER FUND	131,916.34
Fund 591 WATER FUND	10,210.77
Fund 633 PUBLIC SERVICES	6,959.42
Fund 640 REVOLVING MOBILITY	2,272.74

Total For All Funds:	1,195,816.49
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CITY COUNCIL MINUTES

City of Hillsdale
February 2, 2026
7:00 P.M.

Regular Meeting

Call to Order and Pledge of Allegiance

Mayor Scott Sessions opened the meeting with the Pledge of Allegiance.

Roll Call

Mayor Sessions called the meeting to order. Clerk Price took roll call.

Council Members present:	Scott Sessions, Mayor R Greg Stuchell, Ward 1 Jacob Bruns, Ward 1 William Morrissey, Ward 2 Matthew Bentley, Ward 2 Gary Wolfram, Ward 3 Bob Flynn, Ward 3 Robert Socha, Ward 4 Joshua Paladino, Ward 4
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Council Members absent:	None
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Also Present: David Mackie (City Manager), Sam Fry (Assistant City Manager), Katy Price (City Clerk), Tom Thompson (City Attorney), Jason Blake (DPS Director), Jill Hardway, Abe Dane, Russell Picek, Lance Lashaway, Doug Ingles.

Approval of Agenda

Motion by Councilman Morrissey, support by Councilman Flynn, to approve the agenda as presented.

All ayes. Motion carried.

Public Comment Received From:

Jill Hardway- Ward 2, Lance Lashaway, Jake McLain

Consent Agenda

- A. Approval of Bills
 - 1. City and BPU Claims of January 15, 2026: \$181,165.92
 - 2. Payroll of January 15, 2026: \$218,771.42
- B. City Council Minutes of January 20, 2026
- C. Finance Minutes of January 20, 2026
- D. Community Development Minutes of January 21, 2026
- E. Finance Reports for the Quarter Ending December 31, 2025
- F. Investment Report as of December 31, 2025
- G. Public Safety Committee Minutes of January 29, 2026

Motion by Councilman Morrissey, support by Councilman Socha, to approve the consent agenda as presented.

Roll Call:

Councilman Bruns	Aye
Councilman Flynn	Aye
Councilman Morrissey	Aye
Councilman Paladino	Aye
Councilman Socha	Aye
Councilman Stuchell	Aye
Councilman Wolfram	Aye

Mayor Sessions	Aye
Councilman Bentley	Aye

Motion passed 9-0

Communication/Petitions

- A. 2025 Year End Code Enforcement and Zoning Report
- B. Tim Green Email
- C. Eric Moore Email
- D. Hillsdale County Commissioner Update – Doug Ingles

County Commissioner Ingles gave an update on the County.

Items for information purposes only.

Introduction and Adoption of Ordinances/Public Hearings

None

Old Business

None

New Business

- A. Q2 Budget Amendments

Motion by Council Member Socha, seconded by Council Member Stuchell to approve the Budget amendments as presented. **Resolution # 3668.**

Roll Call:

Councilman Flynn	Aye
Councilman Morrisey	Aye
Councilman Paladino	Aye
Councilman Socha	Aye
Councilman Stuchell	Aye
Councilman Wolfram	Aye
Mayor Sessions	Aye
Councilman Bentley	Aye
Councilman Bruns	Aye

Motion passed 9-0

- B. Joint Early Voting Site Agreement

Clerk Price briefly reviewed the Joint Early Voting Site agreement with Council and answered questions on costs and attendance. All 22 municipalities share in the cost of the state and federal elections with the joint agreement which reduces costs and alleviates any staffing shortages. County Clerk Dane answered the few County questions that had been asked.

Councilman Bruns stated he thought municipalities should conduct their own elections individually.

Motion by Council Member Flynn, seconded by Council Member Socha to approve the Joint Early Voting Site Agreement ending December 31, 2027 with Hillsdale County as presented.

Roll Call:

Councilman Morrisey	Aye
Councilman Paladino	Nay
Councilman Socha	Aye
Councilman Stuchell	Aye
Councilman Wolfram	Aye

Mayor Sessions	Aye
Councilman Bentley	Aye
Councilman Bruns	Nay
Councilman Flynn	Aye

Motion passed 7-2

C. Appointment of Kristopher Joswiak as Police and Fire Chief

Kristopher Joswiak introduced himself and shared his history in law enforcement and experience with in the fire department. Council asked Mr. Joswiak questions pertaining to the job.

City Manager Mackie explained the interviewing process and Mayor recommended Mr. Joswiak to the Public Safety Committee.

City Manager Mackie stated that Chief Hephner will be leaving the city on February 17, 2026.

Lengthy Council discussed on the hiring process and mayor’s appointment.

Motion by Council Member Paladino, seconded by Council Member Bentley to table the nomination of Police and Fire Chief.

Roll Call:

Councilman Paladino	Aye
Councilman Socha	Nay
Councilman Stuchell	Nay
Councilman Wolfram	Nay
Mayor Sessions	Nay
Councilman Bentley	Aye
Councilman Bruns	Aye
Councilman Flynn	Nay
Councilman Morrissey	Nay

Motion failed 3-6

Motion by Council Member Flynn, seconded by Council Member Stuchell to approve the Police and Fire Chief appointment of Kristopher Joswiak.

Roll Call:

Councilman Paladino	Aye
Councilman Socha	Aye
Councilman Stuchell	Aye
Councilman Wolfram	Aye
Mayor Sessions	Aye
Councilman Bentley	Nay
Councilman Bruns	Aye
Councilman Flynn	Aye
Councilman Morrissey	Aye

Motion passed 8-1

Miscellaneous Reports

- A. Proclamations – None
- B. Appointment- None
- C. Other – Moment of Silence – Eric Pressler

Council held a moment of silence for Eric Pressler. Memorial Service will be held on February 22, 2026 from 2:00 p.m. – 5:00 p.m. at Van Horn Eagle Funeral Home in Hillsdale, MI.

General Public Comment Received From:

Jill Hardway, Lance Lashaway, Jack McLain, Russell Picek, Jason Blake, Robert Eichler.

Jill Hardway submitted a special assessment district petition packet to Council.

City Manager Report

Manager Mackie reported Marshalls Store to open in March 2026, 2025 winter taxes are due February 17, 2026, and mentioned an election will be held this year for the Mayor and four (4) Council seats.

Council Comment

Councilman Bentley spoke on special assessment district and petitions. Discussion on committee meetings, attendance of council and the Open Meetings Act.

Adjournment

Motion by Councilman Flynn, seconded by Councilman Stuchell to adjourn the meeting.

The meeting Adjourned at 9:23 p.m.

Scott M. Sessions, Mayor

Katy Price, City Clerk

View meeting online: [City Council Meeting February 2nd, 2026](#) (YouTube Channel)

CITY OF HILLSDALE FINANCE COMMITTEE

Place: City Hall Second Floor Conference Room

Date: February 2, 2026

Time: 6:30 PM

PRESENT:

COMMITTEE: Will Morrissey, Gary Wolfram, Matt Bentley, Jacob Bruns

STAFF: Jason Blake (Director of Public Services), David Mackie (City Manager)

PUBLIC: None

BOARD OF PUBLIC UTILITIES AND CITY OF HILLSDALE ACCOUNTS PAYABLE

INVOICE GL DISTRIBUTION REPORT FOR CITY OF HILLSDALE

Questions asked on Invoice Distribution Report by Finance Committee:

Fund 101

Department 175: Software for security system for city's IT system

Department 253: Amount billed back from County on property taxes paid to City

Department 336: Instructor for Life Support Training for Fire Department

Fund 590

Department 900: Renovation for ferrous chloride storage room

Fund 591

Department 543: Chemical for water treatment

Motioned by Bentley and seconded by Wolfram to approve

Motioned passed 4-0

Motioned by Bentley and seconded by Wolfram to adjourn

Motion passed 4-0

Adjournment 6:41 PM

Minutes prepared by Gary Wolfram

City of Hillsdale

Agenda Item Summary

Meeting Date: February 16 2026

Agenda Item: Consent Agenda

SUBJECT: Holiday Decorations

BACKGROUND PROVIDED BY: Kelly LoPresto, BPU Office Manager

Hillsdale Board of Public Utilities is in charge of most of the holiday decorations throughout the City and many need replaced. The BPU staff continue to seek ways to keep cost down by replacing bulbs. In the last couple of years staff have had Southern MI Motors body shop redo some of the decorations. Staff would like to have Bronner's refurbish thirty-eight boulevard toppers for through the City. The price reflects frames to be powder coated, sealed, and rewired with commercial grade LED lamps to arrive looking showroom new! The cost is \$12,971 plus shipping \$1,300-\$1,500 each way as they are shipped to North Carolina.

RECOMMENDATION:

Hillsdale BPU Board recommends City Council approve refurbishing holiday decorations in the amount of \$12,971 plus shipping estimated \$1,300-\$1,500 each way.

City of Hillsdale

Agenda Item Summary

MEETING DATE: February 16, 2026

AGENDA ITEM #: Consent Agenda

SUBJECT: Service Van Replacement

BACKGROUND PROVIDED BY STAFF: Craig Wickham / Mark Becker Water and Wastewater

Project Background:

Staff is looking to replace the Water and Sewer service van utilizing the City's existing relationship with Enterprise Fleet Management. Our current van is an E350 1-ton capacity that we purchased used in 2020 with 97,000 miles. We currently have 114,000 miles on this vehicle. The current service van is developing multiple issues that will require extensive repairs in the near future. Also, we are limited on the number of tools that can be hauled or stored on the current 1-ton drive train due to overloading issues.

Staff has obtained a quote for (1) E450 service van with an enclosed service body from Enterprise to replace the current service van.

The E450 will allow us an increased towing and payload capacity to haul and store required tools and equipment.

The lease agreement vs purchasing outright is as follows.

Cost: (Sourcewell Pricing co-op pricing)

Lease Agreement:

60 month lease - \$1,184.53 (monthly) - \$14,216.36 (annually)

\$17,750.00 - down payment

\$800.00 – delivery and administration fees

\$89,621.80 – total lease cost.

Vs

Purchase Outright:

\$115,372.00 from other vendors without co-op Sourcewell Pricing.

RECOMMENDATION:

BPU Board recommends to the City Council approval of a lease agreement with Enterprise for (1) E450 Service Van.



The Knapheide Manufacturing Company
 1848 Westphalia Strasse | PO Box 7140
 Quincy, IL 62305-7140
 www.knapheide.com

QUOTATION

Quote Number: L3127-25

Account Manager: Betsy Terwelp
 bterwelp33@knapheide.com
 (217) 592-5022

Quote Prepared By: Leena Terwelp
 lterwelp67@knapheide.com
 (217) 592-5391

Customer Information:

Customer: Enterprise Fleet Management
 Customer Number: 8847

End Customer: Commercial Fleet
 Contact: Randy R Vincent
 Email: randy.r.vincent@efleets.com

City Of Hillisdale
 118918

Quote Information:

Quote Date: 09/05/2025 Quote Expiration: 10/05/2025 Quoted Qty: 1 Quote Terms: NET 30 DAYS
 (Subject to Credit Approval)

Vehicle Information:

Year: 2026 Make: Ford Model: E4F-E450-3 Cab: Cutaway
 Axle: Dual Rear Wheel CA: 100 Inches Wheel Base: 158 inches GVWR: 14,500
 Engine: A 7.3-G Fuel Type: Gas Transmission: Automatic 2/4 WD: 2 Wheel Drive

Delivery Information:

Total Price Includes F.O.B.: Quincy, IL

Installer: Knapheide Truck Pool - N
 2224 N 5th St
 Quincy, IL
 2227131

Ship Via: Pool Dlvry

Base Quote Information:

Qty	Item Description	Notes/Specifications
1	KUV153DL Low Roof	<p>KUV Body Includes: -Automotive Style Rivetless Rotary Latches -Automotive Door Seals -Weight Reduced Galvanneal Corrigated Steel Floor -Standard Shelving Package -ABS Cab Partition with Sliding Door and Window -Rear Access Door, Both Rear End Panels -Underlap Rear Door Inside Release Handle -Galva-Grip Bumper with Step Well and Knapliner -Masterlocking System -LED Surface Mount Lights with Rear Strobe Lights Activated -Aluminum Fuel Fill -Solid Rear Doors -Grab Handle Located at Right Rear -Two Dome Lights Switched at Rear -Factory Supplied Backup Camera Installed -K-Coat Corrosion Protection with Knapheide's Exclusive 12-Stage Electro-Coating Prime Paint System -Body Fully Undercoated -Finish Painted White (Single Stage Enamel) Exterior, Cargo Area, and Compartment Interiors</p> <p>OVERALL LENGTH: ----- 153-1/4" OVERALL HEIGHT: ----- 78" OVERALL WIDTH: ----- 94" FLOOR WIDTH: ----- 65" SIDE COMPARTMENT HEIGHT: ---- 43" SIDE COMPARTMENT DEPTH: ---- 14-1/2" FLOOR HEIGHT: ----- 30-7/8" ROOF SIDE HEIGHT: ----- 35" STREETSIDE COMPARTMENTATION: 1V = 34-1/4" in length x 43" high 2V = 20" in length x 43" high 3V = 21" in length x 43" high H = 52-3/4" in length x 18-1/2" high 4V = 25-1/4" in length x 43" high CURBSIDE COMPARTMENTATION:</p> <p>1V = 34-1/4" in length x 43" high 2V = 20" in length x 43" high 3V = 21" in length x 43" high H = 52-3/4" in length x 18-1/2" high 4V = 25-1/4" in length x 43" high STANDARD SHELIVING: Includes (2) adjustable divider shelves each front vertical compartment, (1) adjustable divider shelf each rear vertical compartment, (1) bolt-in divider shelf for curbside horizontal compartment and (20) shelf dividers. (2) Fixed shelves per side provided within the interior of tapered upper roof section. WARRANTY: Standard Knapheide Limited Warranty</p>

(CONTINUED)

1	7-Way Trailer Plug	
1	LED Compartment Lights	Installed in Each Compartment Wired Ignition Hot to Switch in Cab
1	Class V Receiver Hitch	with 2.5" Receiver Tube *Rated at 12,000lb Maximum Trailer Weight and 2,400lb Maximum Tongue Weight **Do not exceed the towing capacity specified by the chassis manufacturer if it is less than the above stated capacity**
1	Mechanics Vise Bracket	Installed on Curbside of Rear Bumper
1	1500 Watt Inverter	Samlex PST-1500-12
1	AE 7 Drawer Unit	4-3" High Drawers 2-5" High Drawers 1-7" High Drawer (4) dividers per drawer 250lb Capacity per Drawer Installed in Street Side Front Vertical Compartment
1	AE 7 Drawer Unit	4-3" High Drawers 2-5" High Drawers 1-7" High Drawer (4) dividers per drawer 250lb Capacity per Drawer Installed in Curbside Front Vertical Compartment
1	(6) Cargo Tiedowns	*2000lb Rating on Each Tie Down
1	3 Bow Ladder Rack	
1	Delivery	From: Quincy, IL To: Dorrance Ford In Galesburg, MI Price Per 1 Unit

Total	\$34,153
Freight	\$1,289
Total Sell Price	\$35,442

TERMS AND CONDITIONS

Lead time Available by request at time of order placement. Installation Lead time dependent upon chassis arrival.

Seller must be in possession of the vehicle within 90 days of quote acceptance or the order can be subject to price adjustments due to cost increases for materials, labor, and shop supplies.

Quoted price subject to the following:

1. Quoted price reflects the latest price in U.S. Dollars. Quoted prices are only guaranteed for orders placed as of the date specified on the Quote unless otherwise stated herein.
2. Quoted price is F.O.B. Quincy Factory or F.O.B. Installation Point, as appropriate.
3. Any order placed pursuant to this quote shall be subject to these Terms and Conditions contained herein. These Conditions shall apply to the exclusion of all terms or conditions of purchase or other conflicting terms or conditions which may be issued, provided or referred to by Customer, except insofar as any variation is expressly accepted in writing by an Authorized Knapheide Representatives written signature Pricing quoted applies to chassis make/model originally provided and quantity quoted. Any deviation from make/model or quantity will result in price changes. In addition, unforeseeable additional costs may be incurred in the process of fulfilling orders placed pursuant to the Quote and Knapheide reserves the right to adjust costs accordingly, including but not limited to reprogramming fees, etc. Orders are subject to all applicable state, local and federal excise taxes. Applicable taxes will be applied on final billing to customer upon completion of order.

Cancellation Policy:

All cancellation requests must be made in writing. Upon request for cancellation, any costs incurred by Knapheide during the fulfillment of Orders placed pursuant to this Quote shall be paid at 100%. Payments for cancellation are due in full at time of cancellation and/or upon cancellation of installation.

Warranty:

Standard Knapheide Limited Warranty applies to all product manufactured by Knapheide. Products sold by Knapheide but not manufactured by Knapheide are covered exclusively by the product manufacturers warranty in effect at the time of delivery, if any.

Knapheide thanks you for the opportunity to quote.

City of Hillsdale - BPU
Menu Pricing

Equity Lease Menu Pricing

Vehicle Type	Year	Make	Model	Trim Level
1/2 Ton Pickup	2026	Ford	F-150	Chassis with MUV, 33K AME
1/2 Ton Pickup	Estimated 2026	Ford	F-150	XL SuperCab 6.5FT Box w/ strokes- \$15K AME
3/4 Ton Pickup	2026	Ford	F-250	XL Regular Cab with 8' Boss Blade w/ strokes- \$18 AME
1/2 Ton Pickup	Estimated 2026	Ford	F-150	XL SuperCab 6.5FT Box with Exterior Diesel Tank- \$3K AME

Quantity	Term	Estimated Annual Mileage
1	60	10,000
2	60	10,000
1	60	5,000
1	60	5,000

Monthly Cost (Lease Payment)	Money Down Per Unit	Full Maintenance	Annual Cost
\$1,418.55	\$17,750.00	\$74.55	\$58,663.72
\$872.78	\$0.00	\$58.35	\$11,149.56
\$1,062.10	\$5,500.00	\$45.75	\$12,574.20
\$909.48	\$0.00	\$42.11	\$11,419.68

Annual Cost by Quantity	Quote Number (No Maintenance)	Vehicle Cash Price
\$11,663.72	9278581	\$19,230
\$22,298.12	9278711	\$98,248
\$12,574.20	9278720	\$80,443
\$11,419.68	9278728	\$50,124
Total Cash Price		\$298,745

Total Annual Cost With Full Maintenance	\$61,401.12
Total One Time Money Down	\$23,250.00
Total Year 1 Cash Outlay Including Money Down	\$84,651.12
Estimated Equity From Sale of Current Vehicles	\$30,000.00
Total Year 1 Cash Outlay Including Money Down and Resale	\$54,651.12



SMITH HAUGHEY

RICE & ROEGGE

ATTORNEYS AT LAW

213 S. Ashley St., Suite 400
Ann Arbor, MI 48104-1350

Jeffrey C. Hart

Shareholder

jhart@shrr.com

Mobile: 248.417.7829

Admitted in Michigan & Illinois

February 5, 2026

Via Federal Express and Email: clerk@cityofhillsdale.org

Ms. Katy Price, City Clerk

City of Hillsdale

97 N. Broad Street

Hillsdale, MI 49242

Mr. Joshua Paladino, joshuapaladino4hillsdale@gmail.com

97 N. Broad Street

Hillsdale, MI 49242

RE: *Eric Moore v Joshua Paladino and the City of Hillsdale*

Dear Ms. Price and Mr. Paladino:

Eric Moore has retained our firm to file a defamation lawsuit against Joshua Paladino and the City of Hillsdale regarding defamatory statements made by Joshua Paladino on January 20, 2026. **Please forward this correspondence onto your insurance provider immediately.**

Prior to engaging our law firm to commence litigation, on January 21, 2026, Mr. Moore wrote to the entire City of Hillsdale City Council requesting a retraction. (*Ex 1 – January 21, 2026, Email correspondence from Eric Moore to entire Hillsdale City Council*). After a telephone call that evening, Mr. Moore also wrote to Mr. Paladino again requesting that a retraction be made during the February 2, 2026, Hillsdale City Council meeting. (*Ex 2 – January 21, 2026, Email correspondence from Eric Moore to Joshua Paladino*). Yet, Mr. Paladino chose not to retract the false and defamatory statements made that painted Mr. Moore in an extremely negative and false light within the Hillsdale community. Mr. Paladino's false and defamatory statements were widely published on the City of Hillsdale's YouTube channel on January 20, 2026, and remain there to this day.

The context for the defamation commences at 1:41:38: <https://www.youtube.com/watch?v=A-KvSm0gtUE> At 1:47:31, Mr. Paladino falsely states:

"I do know that he [Eric Moore] was pretty firmly advocating that the city could not and the library board could not regulate its content for children in regard to violence, vulgarity, and sexuality and he wrote as much to the board, and I believe to the council at the time."

Mr. Paladino also stated that Mr. Moore had written that the city *"Should not create a system to determine what books were age appropriate for children. January 20, 2026, false and defamatory statements by Joshua Paladino."*

February 5, 2026
Page 2

When another council member asked to produce the email that Mr. Paladino was referring to, Paladino could not do so, **because it does not exist**. Instead, Mr. Paladino began reading Eric Moore's email that suggested that intentional acts may not be covered by insurance (as an insurance policy exclusion) and that it would be prudent for the city to consult with an insurance advisor and an attorney before taking any specific action on the library board. Mr. Paladino's statement painted Mr. Moore as an advocate for violence, vulgarity, and sexual exploitation of children. This type of false speech is extremely damaging to a business professional's reputation and standing in the community. And Mr. Moore has suffered reputational damage because of the falsehoods.

Because Mr. Paladino and the City of Hillsdale had the opportunity to retract the false and defamatory statement on February 2, 2026, but chose not to do so, Mr. Paladino's statement will be deemed to have been made with intent and actual malice allowing for exemplary and punitive damages including attorney fees and costs. *See MCL §600.2911(2)(b)*.

Astonishingly on February 2, 2026, rather than making a public apology and retraction, Mr. Paladino made a statement that he had worked out the issue with Mr. Moore earlier on February 2, 2026. This too is false as no such conversation ever occurred about the defamatory statements made by Mr. Paladino.

To remedy the damage caused by Mr. Paladino's defamatory statements, demand is made for a retraction at the next City of Hillsdale City Council meeting and published on YouTube together with payment of \$25,000 for the loss of reputation that Mr. Moore has suffered.

Please be advised that your insurance provider has 14 days to respond to this demand or a lawsuit will be filed.

Very truly yours,

SMITH HAUGHEY RICE & ROEGGE

By: /s/ Jeffrey C. Hart

Jeffrey C. Hart

Attorney & Shareholder

Cc: Scott Sessions, Mayor, mayor_scott_sessions@yahoo.com
Jacob Bruns, bruns.ward1@gmail.com
Greg Stuchell, rgstuchell@outlook.com
Matt Bentley, HillsdaleCC_MBentley@protonmail.com
Will Morrissey, wmorrissey@outlook.com
Bob Flynn, flynn.robert.d@gmail.com
Gary Wolfram, gleewolfram@gmail.com
Robert Socha, sochaforhillsdale@gmail.com
David Mackie, City Manager, dmackie@cityofhillsdale.com

EXHIBIT 1

From: Eric Moore

Sent: Wednesday, January 21, 2026 2:00 PM

To: William Morrissey <wmorrisey@outlook.com>; David Mackie <dmackie@cityofhillsdale.org>; 'mayor_scott_sessions@yahoo.com' <mayor_scott_sessions@yahoo.com>; 'Greg Stuchell (rgstuchell@outlook.com)' <rgstuchell@outlook.com>; flynn.robert.d@gmail.com; Gary Wolfram <gleewolftram@gmail.com>; 'sochaforhillsdale@gmail.com' <sochaforhillsdale@gmail.com>; bruns.ward1@gmail.com; 'joshuapaladino4hillsdale@gmail.com' <joshuapaladino4hillsdale@gmail.com>; Katy Price <clerk@cityofhillsdale.org>; HillsdaleCC_MBentley@protonmail.com

Cc: director@hillsdale-library.org; 'gallen.hcl@gmail.com' <gallen.hcl@gmail.com>

Subject: January 20th, 2026 - City Council Meeting

I would like to thank the members of City Council who voted in support of my appointment to the Hillsdale Community Library Board at last night's council meeting.

However, I am writing to formally express my serious concerns regarding statements made by Councilperson Paladino during that meeting, which were subsequently published on the City's official YouTube channel. These statements mischaracterize my views and, in my opinion, rise to the level of defamatory and disparaging remarks.

During the meeting, Councilperson Paladino stated, in substance, that I had "firmly advocated that the city and the library board could not regulate content for children with regard to violence, vulgarity, and sexuality," and that I had written as much to the board. He further stated that I had said the city "should not create a system to determine what books were age appropriate for children."

I categorically deny making these statements. I am requesting that Councilperson Paladino produce any written communications or recordings in which I allegedly expressed the views he attributed to me.

For clarification and for the record, the following exchange occurred on June 6, 2023, in response to a text message from then-Mayor Adam Stockford:

Mayor Stockford asked:

"How would you vote on this current book challenge? Would you vote to keep the book in the library or remove it? That's the only thing 5 members of council care about. I've surveyed Council about this next appointment. Everyone likes you, Eric, but there's concerns you will go along with whatever the 'experts' suggest in regards to library content."

My response was as follows:

"Not familiar with the current book challenge, but would state in general I'm for protecting our citizens and separating adult content from the children's section."

This response directly contradicts the statements attributed to me by Paladino during the council meeting.

With over 40 years of business experience, I believe in relying on "experts"—such as attorneys, CPAs, and risk management experts—when making decisions that carry legal or financial consequences. Seeking expert guidance is standard, prudent practice and does not equate to surrendering judgment or endorsing any political or ideological agenda.

Additionally, Councilperson Paladino publicly referenced a “leftist” agenda in connection with my name. When he later read my actual correspondence to council, it was clear that my statements related solely to insurance coverage, liability exposure, and risk mitigation—topics that fall squarely within responsible governance and fiduciary duty.

Given that these materials had already been obtained through FOIA requests, it is clear that the inaccurate statements made about me were not the result of misunderstanding. I believe these remarks have caused harm to my personal and professional reputation within the community.

Accordingly, I am requesting a public apology and a full retraction of Mr. Paladino’s inaccurate and defamatory statements made about me. Should such an apology and retraction not be issued, I reserve the right to pursue further remedies.

Respectfully,

Eric A. Moore, CIC, LIC
Vice President



P.O. Box 207
67 N Howell
Hillsdale, MI 49242



P (517) 439-9345
F (517) 439-5536
M (517) 416-0940

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EXHIBIT 2

From: Eric Moore
Sent: Wednesday, January 21, 2026 7:33 PM
To: 'joshuapaladino4hillsdale@gmail.com' <joshuapaladino4hillsdale@gmail.com>
Subject: Follow-Up and Request for Public Apology

Joshua,

Just wanted to follow up on our conversation this evening. I think it was productive, and I want to work with you proactively on the library board where we can find common ground.

However, I am still requesting a public apology for the false and derogatory statements made regarding my positions on library policy.

At the request of my legal counsel, this apology should be made at the next city council meeting (spoken and not read into the record), which I understand is scheduled for February 2nd.

Please confirm you understand this request by end of business on the 26th of January.

Respectfully,

Eric A. Moore, CIC, LIC
Vice President



P.O. Box 207
67 N Howell
Hillsdale, MI 49242



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City of Hillsdale

Agenda Item Summary

Meeting Date: February 16, 2026

Agenda Item: Public Hearing

SUBJECT: 2026 Special Assessment District – SAD 2026-1, Arch Avenue,
Industrial Drive & Proctor Drive – Public Hearing and Resolution

BACKGROUND PROVIDED BY STAFF:

At the January 20, 2026 City Council meeting a public hearing date of February 16, 2026 was set to consider any objections to the improvements under consideration for reconstruction of Arch Ave., Industrial Dr., and Proctor Dr. The total estimated cost for this project is \$1,316,500. By City policy adopted February 17, 2025, up to 50% of the total project costs may be covered through special assessment to the 40 parcels currently identified in the Arch Ave., Industrial Dr., and Proctor Dr. Special Assessment District (SAD 2026-1) which includes Arch Ave. from Mechanic St. to W. Carleton Rd. (M-99), Industrial Dr. from Mechanic Rd. to Beck Rd., and Proctor Dr. from Industrial Dr. to dead end.

The project cost split is in accordance with the City's Policy on Special Assessment Districts for Street Projects updated at the February 17, 2025 meeting. It is important to note that the total assessed cost to the affected property owners will not go above the policy maximum assessment limits based on classification or 25% of the property value per Hillsdale Ordinance Chapter 2, Article V, Section 2-335, whichever is the lesser amount. Notice of the meeting was published once each week for two successive weeks in the local newspaper. Affected property owners were mailed information on the proposed district on February 4, 2026.

According to the City Charter, Sec. 2-335 Hearing procedure, "If more than 50% of the number of owners of privately owned real property to be assessed for such improvement shall object in writing to the proposed improvement, the improvement shall not be made without the affirmative vote of seven of the members of the council."

RECOMMENDATION:

City staff recommends City Council hold the public hearing regarding the creation of the Arch Ave., Industrial Dr., and Proctor Dr. Special Assessment District (SAD 2026-1) and adopt the attached resolution to move forward with the project and establishing said district.

**CITY OF HILLSDALE
RESOLUTION NO. _____**

A RESOLUTION TO APPROVE ESTABLISHMENT OF THE ARCH AVENUE, INDUSTRIAL DRIVE, AND PROCTOR DRIVE SPECIAL ASSESSMENT DISTRICT (SAD 2026-1).

Minutes of a regular meeting of the City Council of the City of Hillsdale, Hillsdale County Michigan, held in the City Hall, City Council Chambers, 97 North Broad Street, Hillsdale, Michigan, in said City, on February 16, 2026 at 7:00 p.m.

PRESENT: _____

ABSENT: _____

The following preamble and resolution were offered by Councilperson _____ and supported by Councilperson _____.

WHEREAS, the City Council, by resolution 3665 at its January 20, 2026 regular meeting, deemed it necessary and declared its intention to construct improvements by reconstruction and other appurtenances of Arch Avenue from West Carleton Road to Mechanic Street, Industrial Drive from Mechanic Road to Beck Road, and Proctor Drive from Industrial Drive to dead end, and did provide for a public hearing to hear any objections to the proposed improvements; and

WHEREAS, a public hearing was held February 16, 2026 for said purpose; and

WHEREAS, the total cost of this project is estimated to be \$1,316,500.

NOW, THEREFORE, BE IT RESOLVED, that said public improvements be made and the City Manager be directed to proceed with the same; and

BE IT FURTHER RESOLVED, that the plans, specifications and detailed estimates relating to said improvements be hereby approved and adopted and the City Manager is directed to take action necessary to accomplish the said improvements; and

BE IT FURTHER RESOLVED, that Council does hereby determine that up to 50% of the costs are to be defrayed by special assessment, allocated as follows, in accordance with the policy and procedure adopted February 17, 2025:

1. The assessments will be individually determined by frontage and lot, and equally distributed thereto.

- a. In no case shall the whole amount to be levied by special assessment upon any lot or premises exceed 25 percent of the value of such lot or land as valued on the most recent assessment roll certified by the Board of Review.
- b. The whole amount to be levied upon any lot or premises is further subject to the following maximum amounts, based on property classification as defined in Michigan's General Property Tax Act, being Act 206 of 1893 as amended, Section 211.34c, and certified on same assessment roll;
 - i. For property classified as Residential no more than \$5,000
 - ii. For property classified as Commercial no more than \$10,000
 - iii. For all other property \$15,000
- 2. The special assessment may be paid in full without interest on or before August 31, 2026.
- 3. If remaining unpaid, the assessment shall be divided into 15 annual installments with the first installment also to be paid on or before August 31, 2026 without interest.
- 4. Deferred special assessment installments shall be subject to interest to the date of payment up to 6% (to be determined based on today's 10-year Treasury bond rate plus 1%).
- 5. Unpaid installments as of September 1 each year shall be certified by the City Treasurer and added to the winter tax bill.
- 6. All or a portion of the deferred special assessment balance or installments may be paid in advance at any time with interest only to the date of payment.
- 7. That the premiums upon which special assessments shall be levied, and which shall be hereafter known and designated as Special Assessment District 2026-1, are described as follows:

Special Assessment Properties

Arch Avenue – West Carleton Road to Mechanic Street
 Industrial Drive – Mechanic Road to Beck Road
 Proctor Drive – Industrial Drive to dead end

BE IT FURTHER RESOLVED, that the Assessor is hereby directed to cause the special assessments to be made, and report same to Council within 90 days, at which time the report shall be placed on file with the City Clerk and a public hearing scheduled to review the special assessment roll.

The foregoing resolution offered by Councilmember _____

And supported by Councilmember _____

The vote in favor of the resolution being as follows:

Roll call: _____

Motion _____, _____ - _____

Resolution declared _____.

Date: February 16, 2026

Scott Sessions, Mayor

Katy Price, Clerk

CERTIFICATION

As the Clerk for the City of Hillsdale, Hillsdale County, Michigan, I certify that this is a true and complete copy of a resolution adopted by the Hillsdale City Council, Hillsdale County at its regular meeting, held February 16, 2026.

Katy Price, Clerk



MEMORANDUM

Date: October 10, 2025
To: City Council, City Manager Mackie, DPS Director Blake
From: Robert Stiverson, PE, City Engineer
Subject: Arch Street from Mechanic to Carleton (M99)

Please find the attach draft Opinion of Probable Costs, bid document, and plans for Arch street.

We are recommending a budget of

Construction	\$368,275
Engineering/Project Management/Special Assessment	\$ 38,430
Contingencies:	\$ 41,295
Total:	\$448,000

Project Management is based on full-time inspection, however, we plan on performing Part Time inspection with the hours based on the quality and performance of the contractor.

As always, Construction costs are based on Historic Bid Tabulations for the City of Hillsdale with a comparison of MDOT Unit Prices. Project Management/Inspection is based on MDOT guideline for installation of Quantities and previous experience.

Contingencies are approximately 10%, and are recommended based on there are unknowns in the field that could impact project costs.

REVISIONS	DATE
DATE OF PLAN	10/27/25

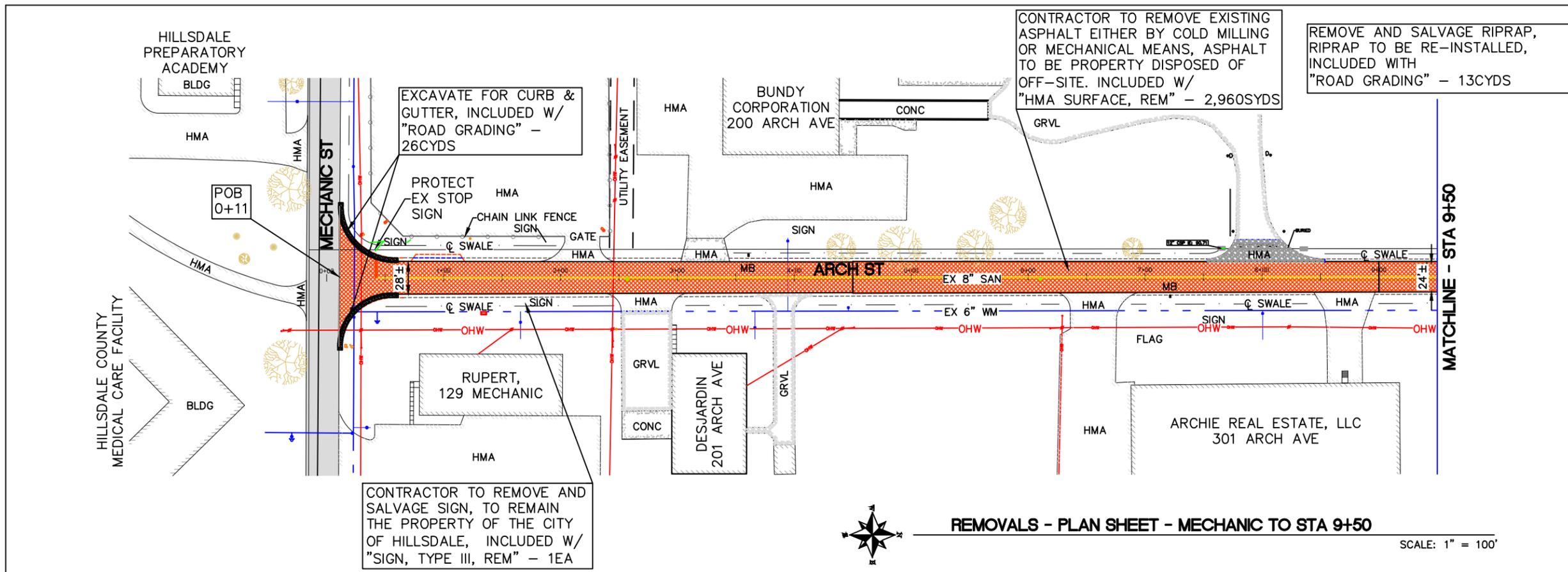
**ARCH STREET
MECHANIC TO M-99**

**CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN**

**REMOVALS AND
UTILITIES**

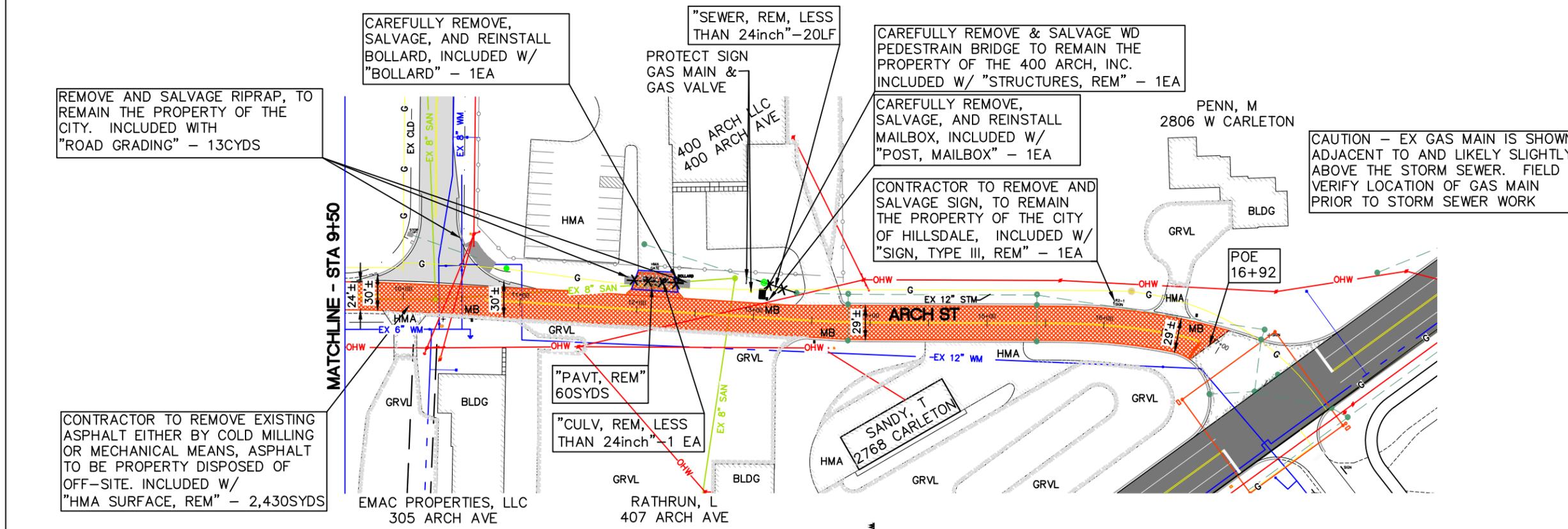
SCALE	1" = 100'	
DESIGNED	NAME	DATE
DRAWN	ES/RDS	10/27/25
CHECKED		

DRAWING NO. **C1**



REMOVALS - PLAN SHEET - MECHANIC TO STA 9+50

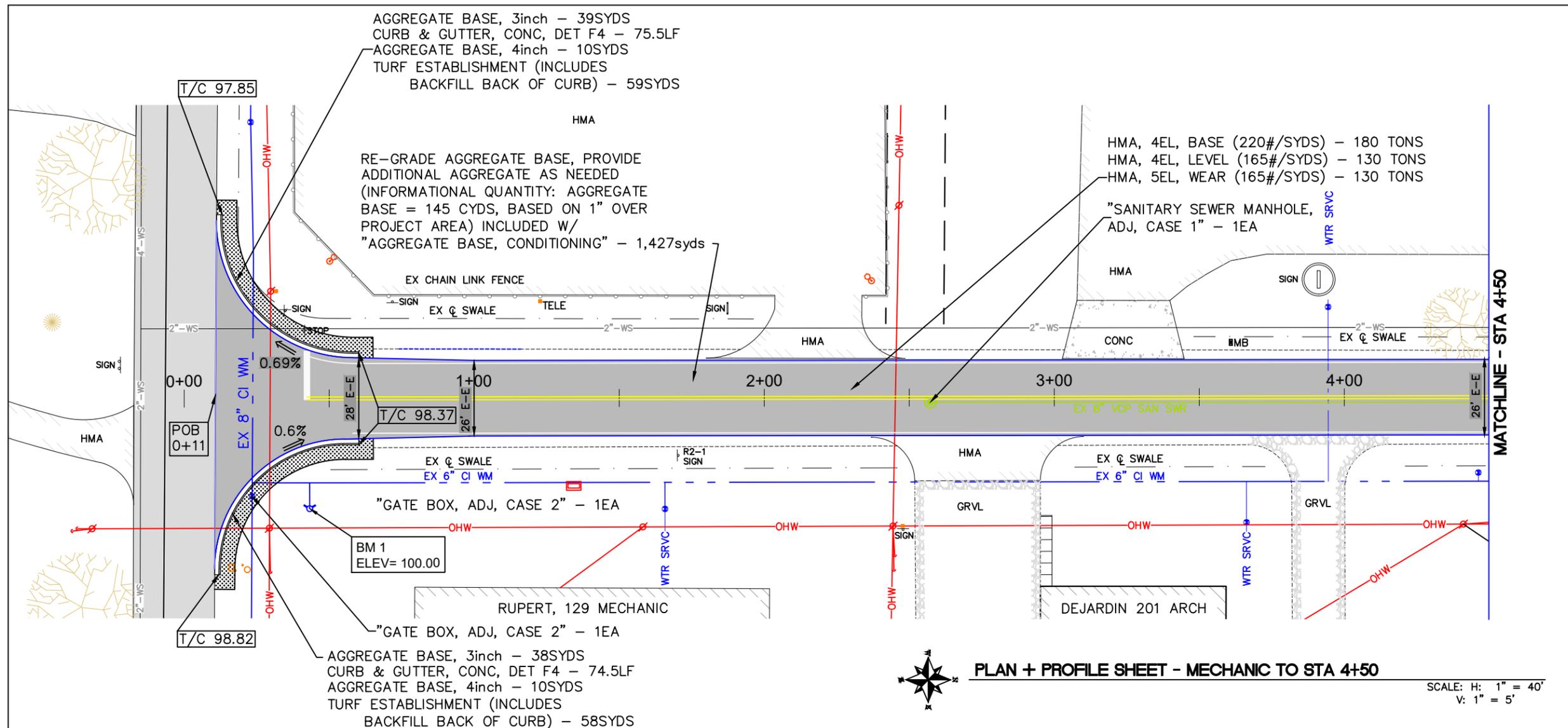
SCALE: 1" = 100'



REMOVALS - PLAN SHEET - STA 9+50 TO CARLETON ST

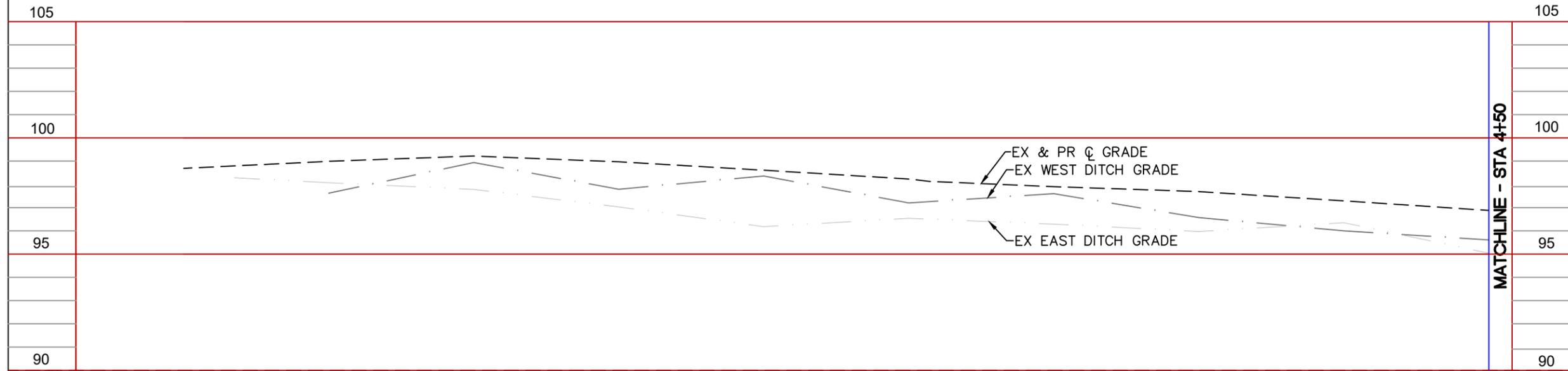
SCALE: 1" = 100'

REVISIONS	DATE
DATE OF PLAN	10/27/25



PLAN + PROFILE SHEET - MECHANIC TO STA 4+50

SCALE: H: 1" = 40'
V: 1" = 5'

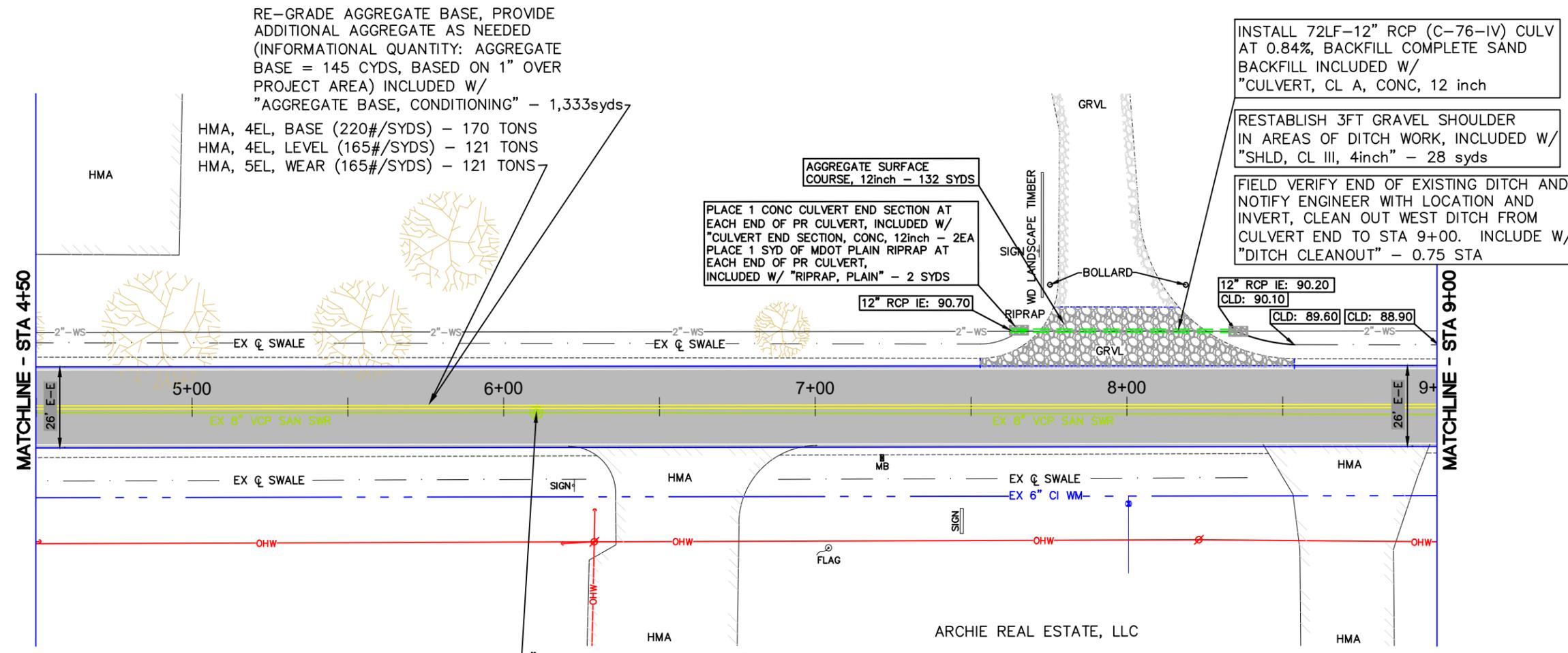


Station	0+00	0+50	1+00	1+50	2+00	2+50	3+00	3+50	4+00	4+50
EX WEST DITCH										
EX & PR CENTERLINE	98.69	98.99	99.22	98.97	98.61	98.23	97.90	97.69	97.29	96.88
EX EAST DITCH										

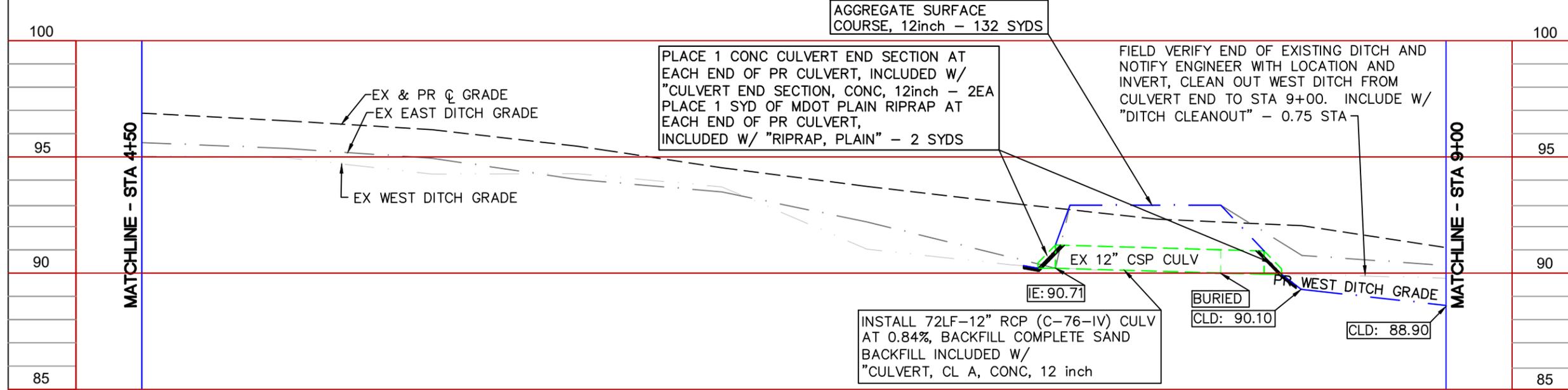
ARCH STREET
MECHANIC TO M-99
 CITY OF HILLSDALE
 HILLSDALE COUNTY, MICHIGAN
PLAN AND PROFILE
MECHANIC TO STA 4+50

SCALE	H 1" = 40'/V 1" = 5'	
DESIGNED	KLB	7/28/23
DRAWN	ES/RDS	10/27/25
CHECKED		

DRAWING NO.
C2



PLAN + PROFILE SHEET - STA 4+50 TO 9+00
SCALE: H: 1" = 40'
V: 1" = 5'



EX WEST DITCH	STA 4+50 TO 8+00 NO WORK - WEST DITCH						7+50 91.72	8+00 92.11	8+50 90.76	9+00 90.76
EX & PR CENTERLINE	4+50 96.88	5+00 96.55	5+50 96.17	6+00 95.46	6+50 94.53	7+00 93.73	7+50 93.00	8+00 92.32	8+50 92.04	9+00 91.09
EX EAST DITCH	NO WORK - EAST DITCH									

REVISIONS	DATE
DATE OF PLAN	10/21/25

ARCH STREET
MECHANIC TO M-99
 CITY OF HILLSDALE
 HILLSDALE COUNTY, MICHIGAN
PLAN AND PROFILE
STA 4+50 TO 9+00

SCALE	H 1" = 40'/ V 1" = 5'	
DESIGNED	KLB	7/28/23
DRAWN	ES/RDS	10/21/25
CHECKED		

DRAWING NO.
C3

REVISIONS	DATE
DATE OF PLAN	10/21/25

REVISIONS	DATE

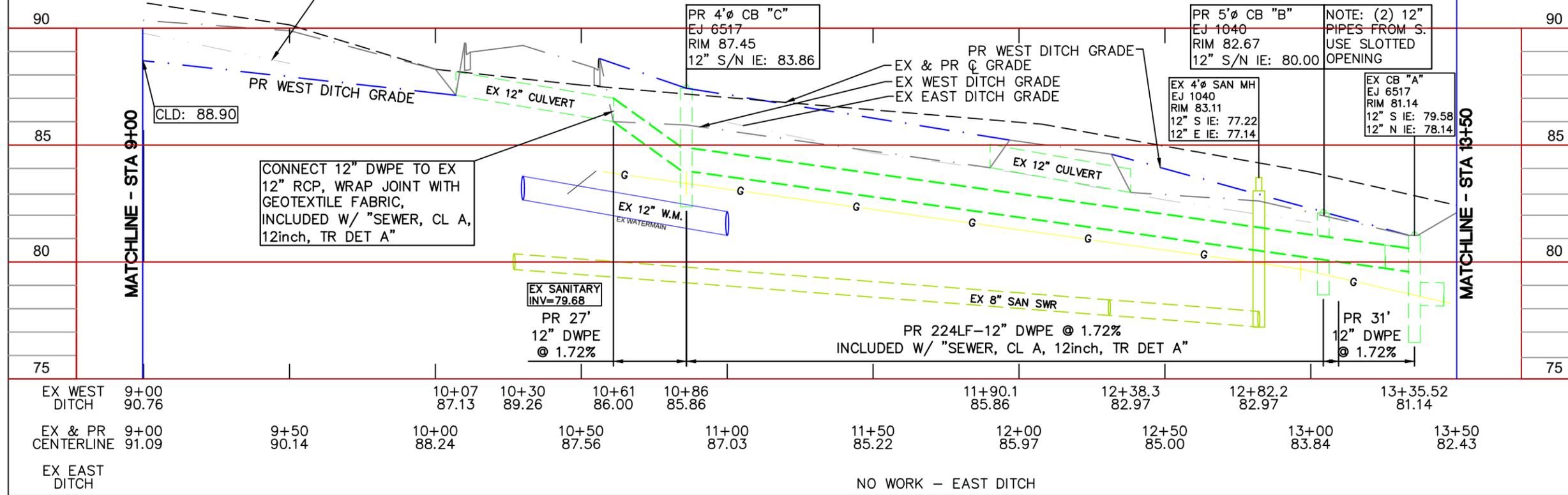
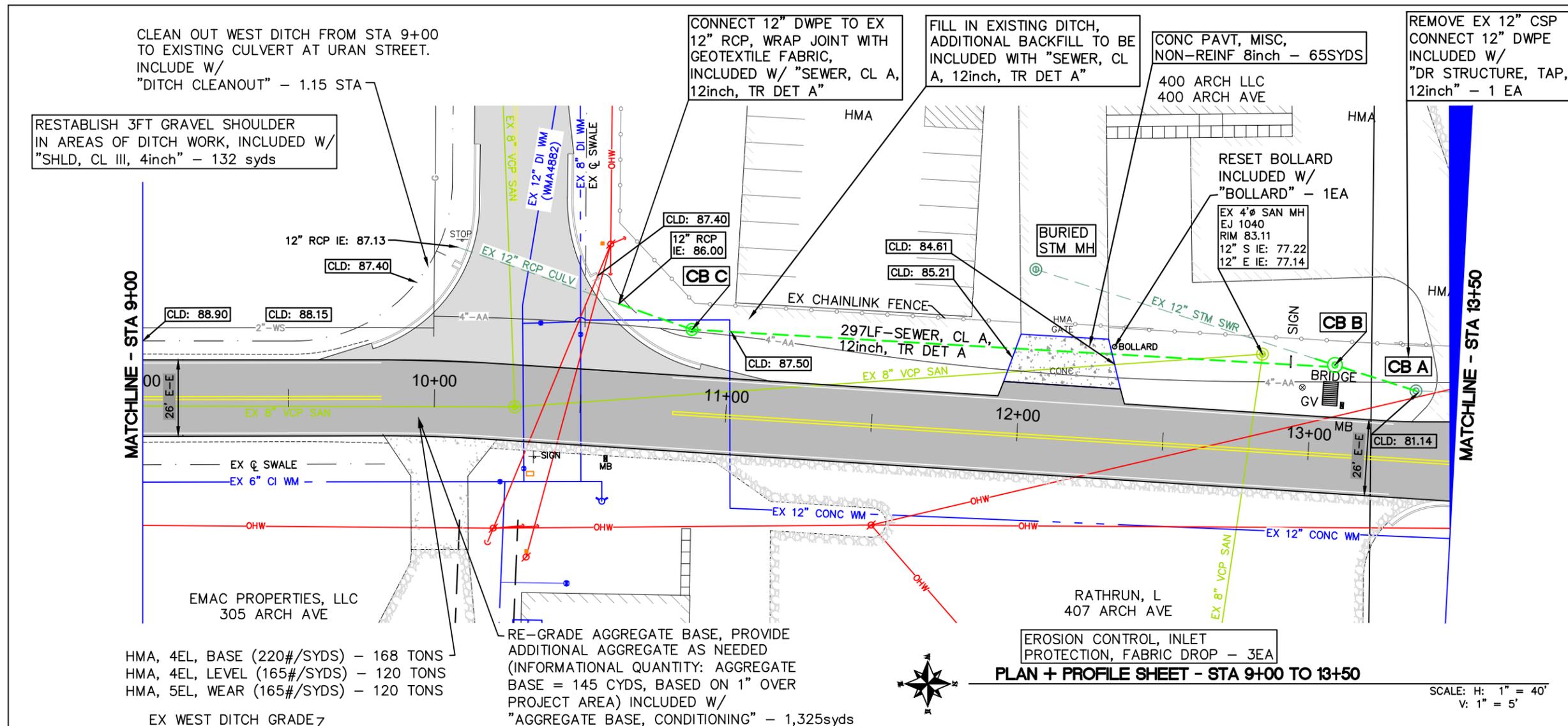
**ARCH STREET
MECHANIC TO M-99**

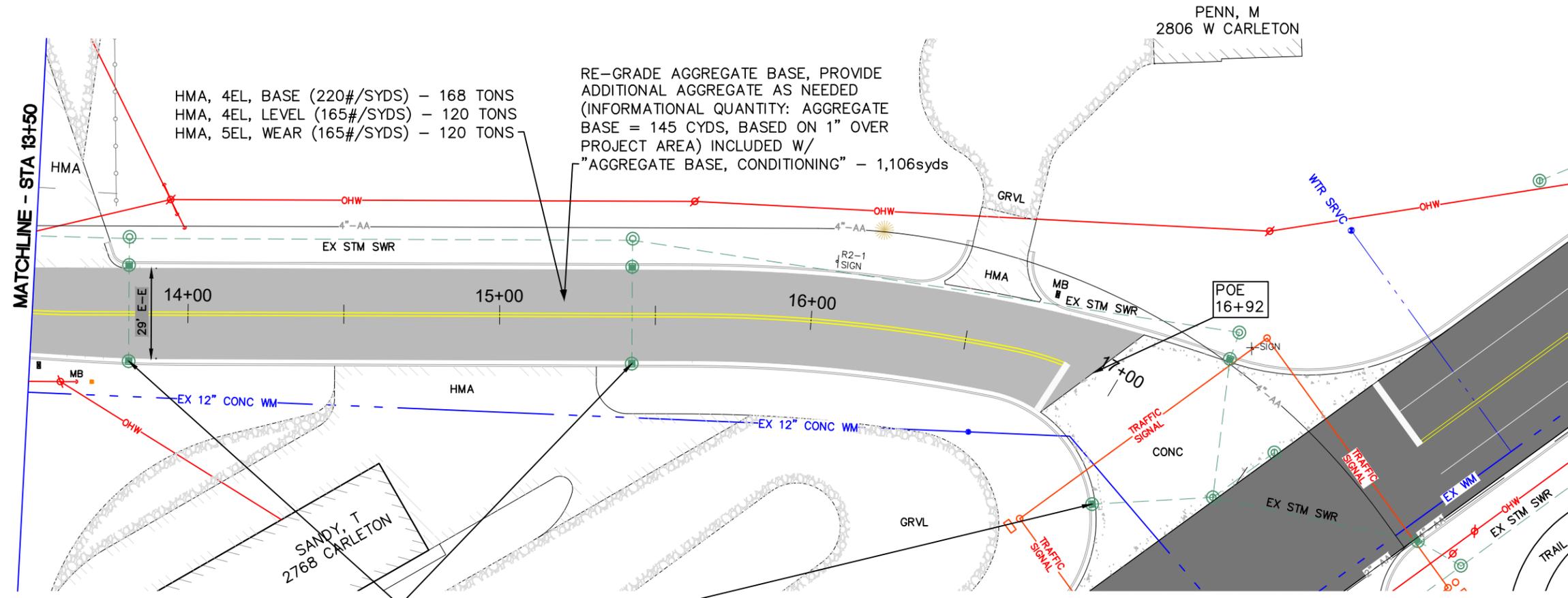
**CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN**

**PLAN AND PROFILE
STA 9+00 TO 13+50**

SCALE	H 1" = 40' / V 1" = 5'
DESIGNED	KLB 7/28/23
DRAWN	ES/RDS 10/21/25
CHECKED	

DRAWING NO. **C4**

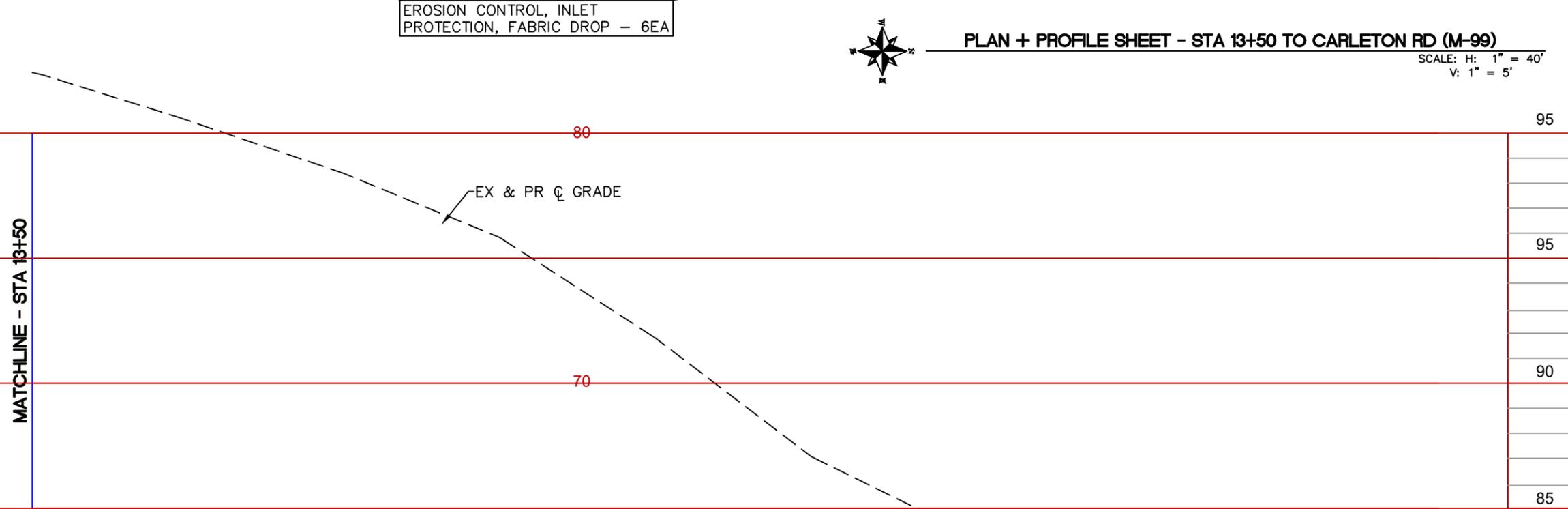




HMA, 4EL, BASE (220#/SYDS) - 168 TONS
HMA, 4EL, LEVEL (165#/SYDS) - 120 TONS
HMA, 5EL, WEAR (165#/SYDS) - 120 TONS

RE-GRADE AGGREGATE BASE, PROVIDE
ADDITIONAL AGGREGATE AS NEEDED
(INFORMATIONAL QUANTITY: AGGREGATE
BASE = 145 CYDS, BASED ON 1\"/>

PLAN + PROFILE SHEET - STA 13+50 TO CARLETON RD (M-99)
SCALE: H: 1" = 40'
V: 1" = 5'



EX WEST DITCH	NO WORK - WEST DITCH/BACK OF CURB							
EX & PR CENTERLINE	13+50	14+00	14+50	15+00	15+50	16+00	16+50	17+00
	82.43	80.64	78.39	75.83	71.81	67.07	64.01	60.95
EX EAST DITCH	NO WORK - EAST DITCH/BACK OF CURB							

REVISIONS	DATE
DATE OF PLAN	10/21/25

ARCH STREET
MECHANIC TO M-99
 CITY OF HILLSDALE
 HILLSDALE COUNTY, MICHIGAN
PLAN AND PROFILE
STA 13+50 TO CARLETON (M99)

SCALE	H 1" = 40' / V 1" = 5'	
DESIGNED	KL B	7/28/23
DRAWN	ES/RDS	10/21/25
CHECKED		

DRAWING NO.
C5

REVISIONS	DATE
DATE OF PLAN	10/21/25

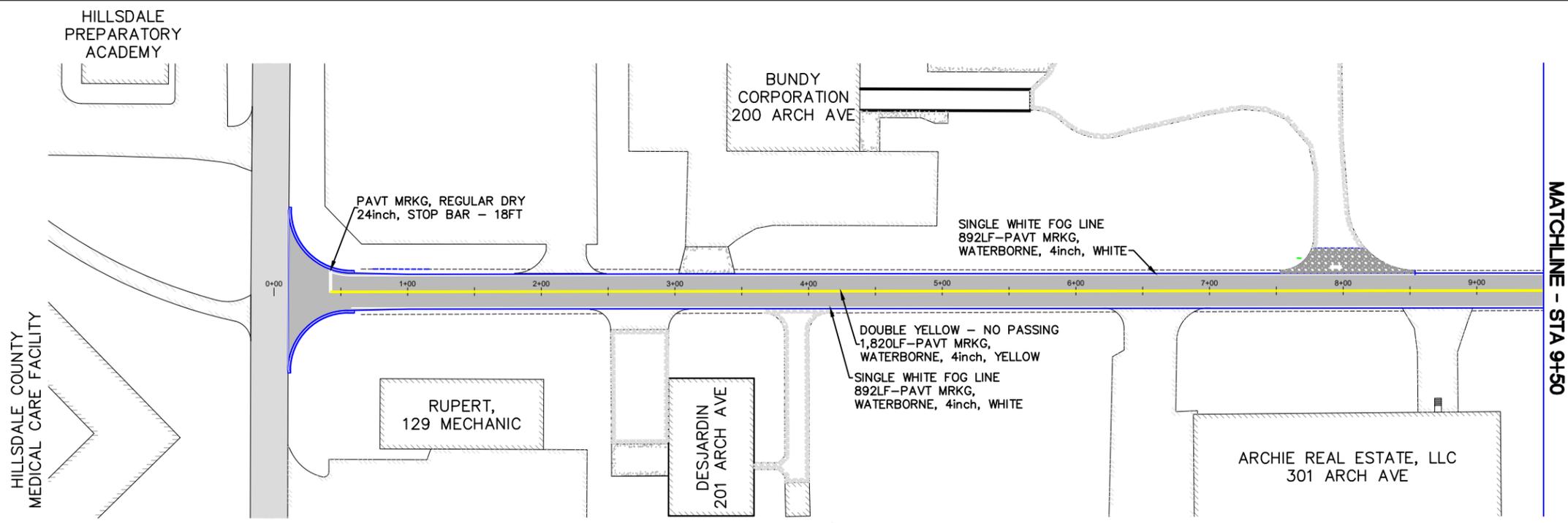
**ARCH STREET
MECHANIC TO M-99**

CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN

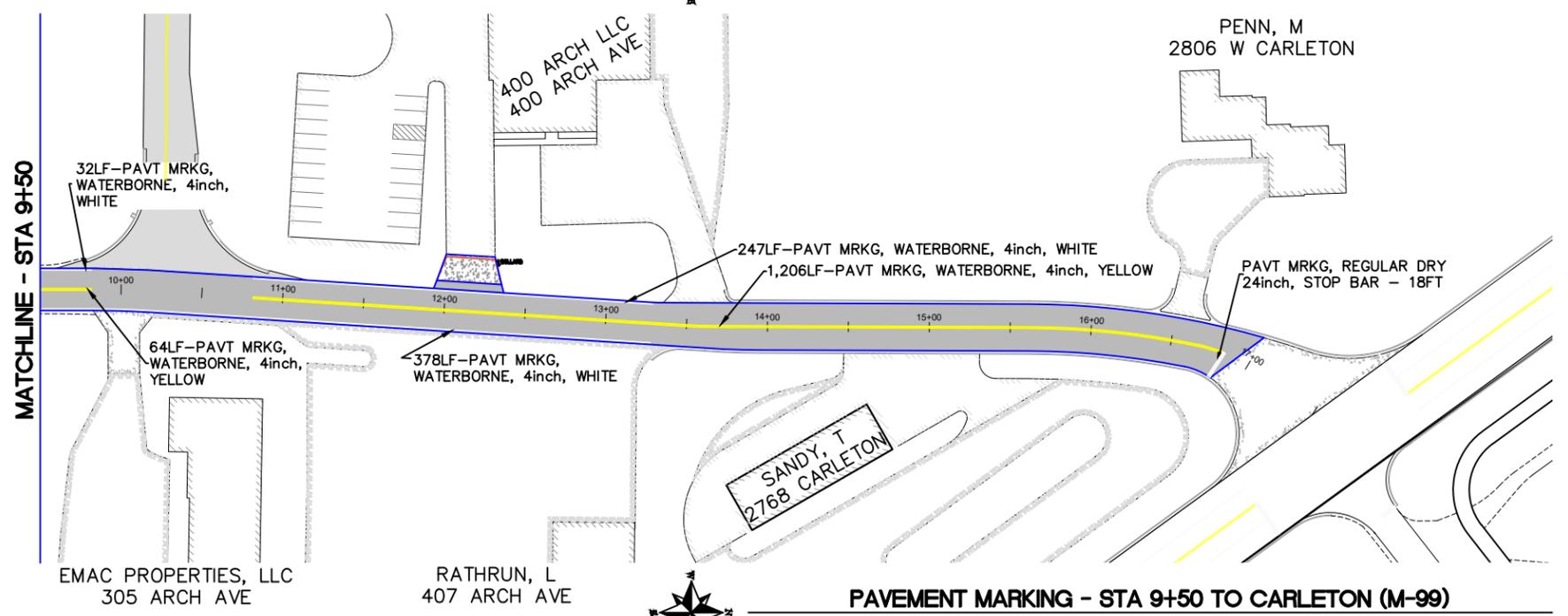
**PAVEMENT MARKINGS
MECHANIC TO CARLETON**

SCALE	H 1" = 100'	
	NAME	DATE
DESIGNED	KLB	7/28/23
DRAWN	ES/RDS	10/21/25
CHECKED		

DRAWING NO.
C6



PAVEMENT MARKING - MECHANIC STREET TO STA 9+50
SCALE: 1" = 100'



PAVEMENT MARKING - STA 9+50 TO CARLETON (M-99)
SCALE: 1" = 100'

PROJECT QUANTITIES - SHEETS C6 & C7

ITEM CODE	QUANTITY	UNIT	DESCRIPTION
8110045	34	FT	PAVT MRKG, REGULAR DRY, 24 INCH, STOP BAR
8110231	2,440	FT	PAVT MRKG, WATERBORNE, 4 INCH, WHITE
8110232	3,090	FT	PAVT MRKG, WATERBORNE, 4 INCH, YELLOW

REVISIONS	DATE
DATE OF PLAN	10/21/25

**ARCH STREET
MECHANIC TO M-99**

CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN

TRAFFIC CONTROL

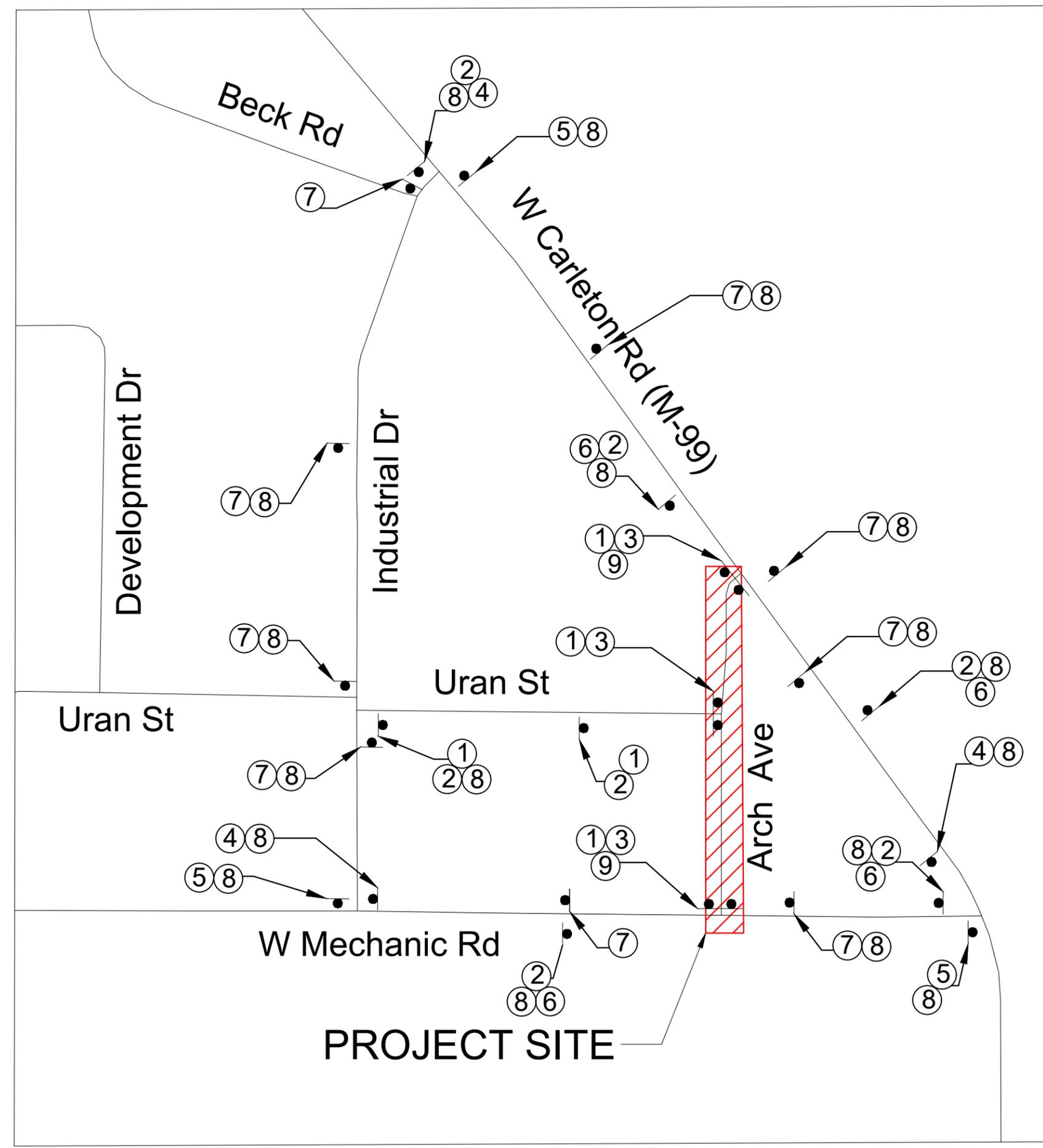
SCALE	H 1" = 100'	
	NAME	DATE
DESIGNED	KL B	7/28/23
DRAWN	ES/RDS	10/21/25
CHECKED		

DRAWING NO.
C7

TRAFFIC CONTROL KEY			
KEY	CODE	SIGN	*QTY
①		TYPE III BARRICADE HIGH INTENSITY	5
②	W20-3	STREET CLOSED AHEAD	7
③	R11-4	STREET CLOSED TO THRU TRAFFIC	3
④	M4-9R	DETOUR ARROW RIGHT	3
⑤	M4-9L	DETOUR ARROW LEFT	3
⑥	W20-2	DETOUR AHEAD	4
⑦	M4-9S	DETOUR STRAIGHT	9
⑧	D3-1	"ARCH AVENUE" - PLAQUE	18
⑨	M4-100	DETOUR ARROW DOUBLE	2

* QUANTITIES ARE MINIMUM REQUIRED. CONTRACTOR MAY INCREASE AS NEEDED FOR THEIR CONSTRUCTION PLANS. LIGHTED BARRELS AND/OR GRABBER CONES WILL BE NEEDED FOR FLAG CONTROL ZONES AND OVER NIGHT ONE LANE SECTIONS.

PROJECT NOTES
1. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH ALL APPLICABLE SECTIONS OF THE CURRENT EDITION OF MDOT STANDARD SPECIFICATION FOR CONSTRUCTION.
2. ALL TRAFFIC CONTROL SHALL CONFORM TO THE REQUIREMENTS OF THE MOST CURRENT EDITION OF THE MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

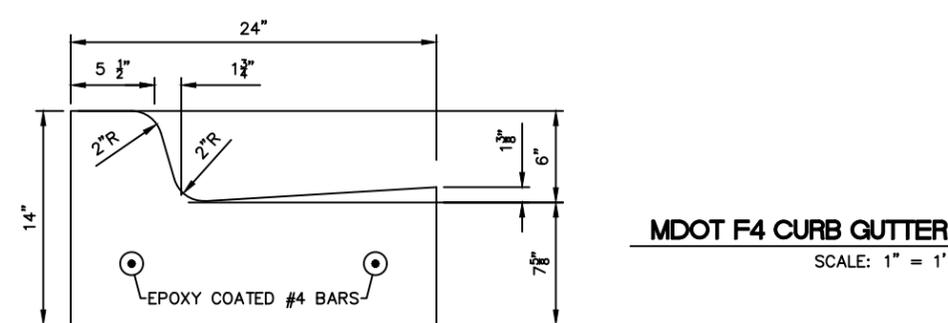
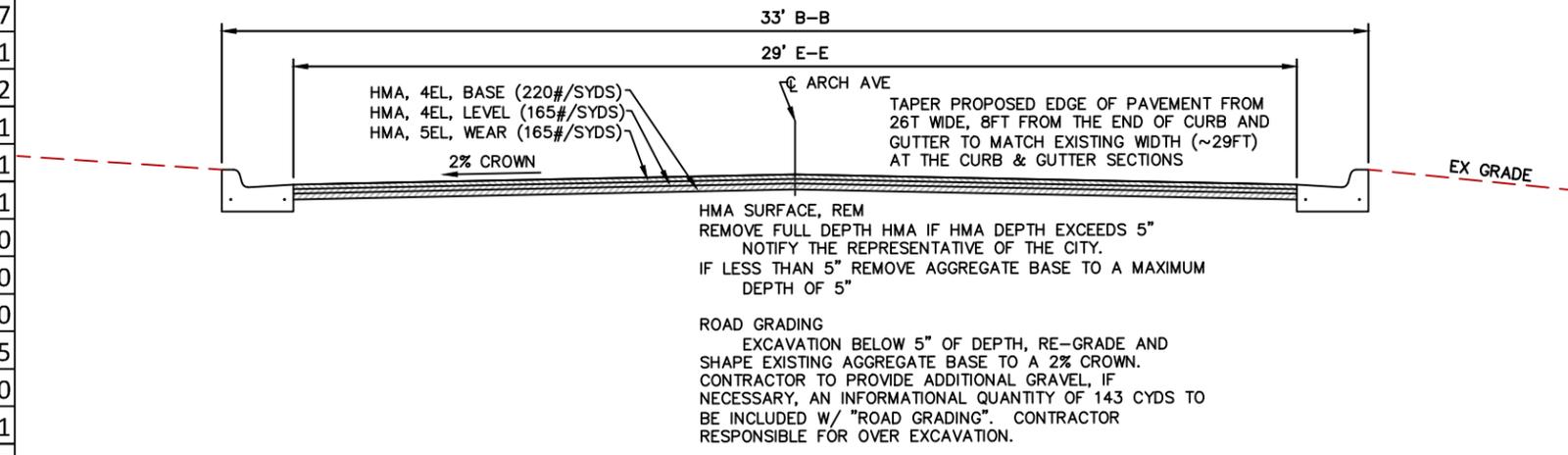
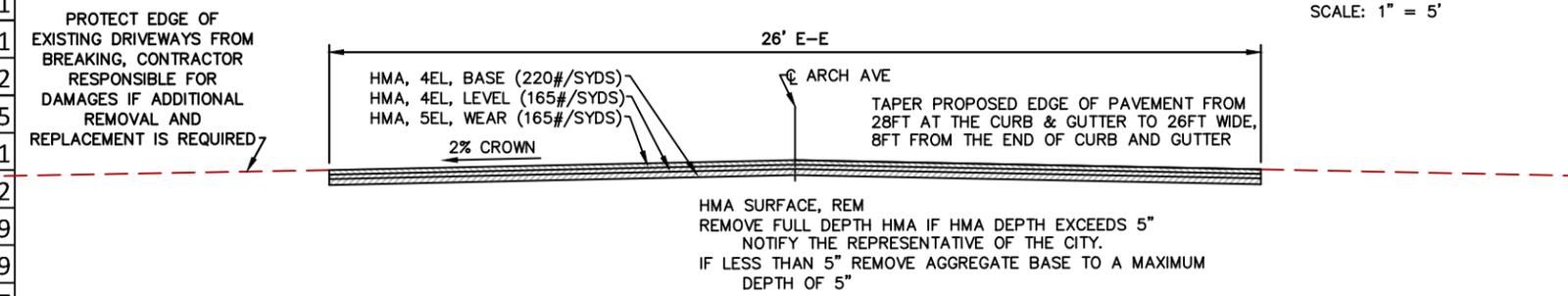
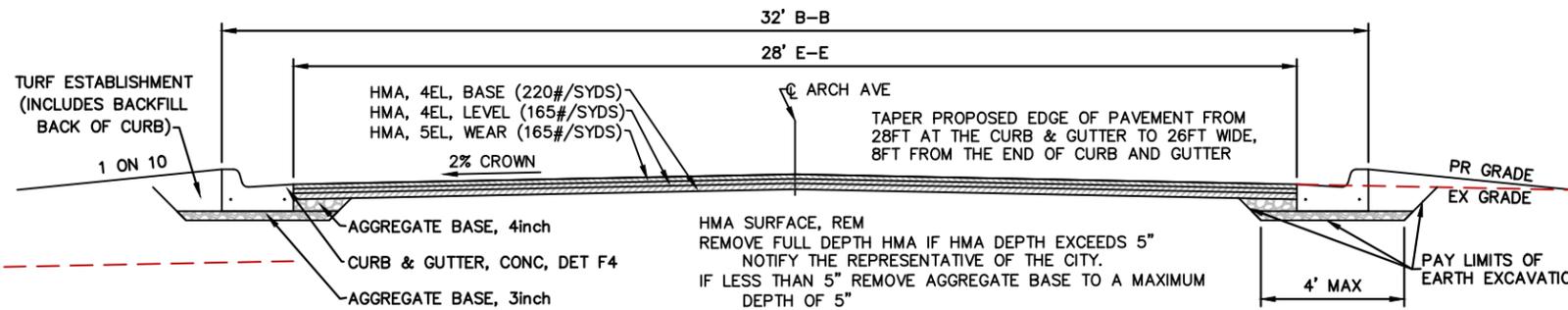


PROJECT SITE

HMA APPLICATION TABLE					
COURSE	TYPE	ITEM	EST. YIELD	BINDER GRADE	AWI
①	BASE	4EL	220 LBS/SYD	PG 58-28	-
②	LEVELING	4EL	165 LBS/SYD	PG 58-28	-
③	TOP	5EL	165 LBS/SYD	PG 58-28	260

NOTE: BOND COAT SHALL BE APPLIED BETWEEN SUCCESSIVE COURSES OF HMA (PAYMENT INCLUDED IN HMA MIX). APPLICATION RATE 0.05 - 0.15 GAL/SYD SS-IH, AS DIRECTED BY ENGINEER.

Project Quantities - Total		
Above Ground Video Survey	LSUM	1
Mobilization, Max 10%	LSUM	1
Culv, Rem, Less than 24 inch	Ea	2
Sewer, Rem, Less than 24 inch	Ft	18.5
Structures, Rem	LSUM	1
Ditch Cleanout	Sta	2
Road Grading	Sta	16.9
Erosion Control, Inlet Protection, Fabric Drop	Ea	9
Aggregate Base, 3 inch	Syd	77
Aggregate Base, 4 inch	Syd	20
Aggregate Surface Cse, 12 inch	Syd	132
Shld, Cl III, 4 inch	Syd	160
Culv, Cl A, Conc, 12 inch	Ft	72
Culv End Section, Conc, 12inch	Ea	2
Sewer, Cl A, 12 inch, Tr Det B	Ft	277
Dr Structure Cover, Adj, Case 2	Ea	1
Dr Structure Cover, Type G	Ea	2
Dr Structure, 48 inch dia	Ea	1
Dr Structure, 60 inch dia	Ea	1
Dr Structure, Tap, 12 inch	Ea	1
HMA Surface, Rem	Syd	5390
HMA, 4EL	Ton	1130
HMA, 5EL	Ton	470
Conc Pavt, Misc, Nonreinf, 8 inch	Syd	65
Curb and Gutter, Conc, Det F4	Ft	150
Post, Mailbox	Ea	1
Sign, Type III, Rem	Ea	2
_ Bollard	Ea	1
Pavt Mrkg, Ovly Cold Plastic, 24 inch, Stop Bar	Ft	34
Pavt Mrkg, Waterborne, 4 inch, Yellow	Ft	3090
Pavt Mrkg, Waterborne, 6 inch, White	Ft	2440
Traffic Control	LSUM	1
Riprap, Plain	Syd	2
Turf Establishment	Syd	1090
Gate Box, Adj, Case 2	Ea	1
Sanitary Structure Cover, Adj, Case 1	Ea	3



REVISIONS	DATE
DATE OF PLAN	10/21/25

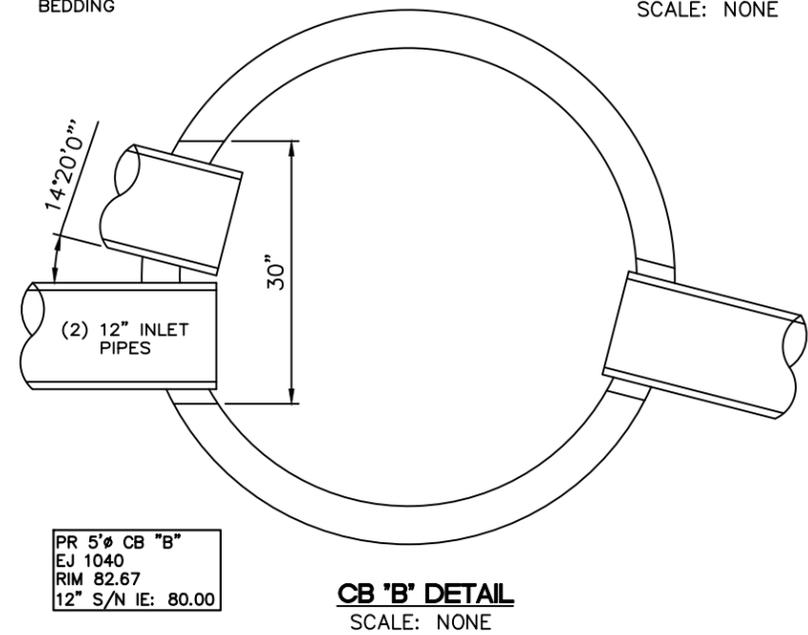
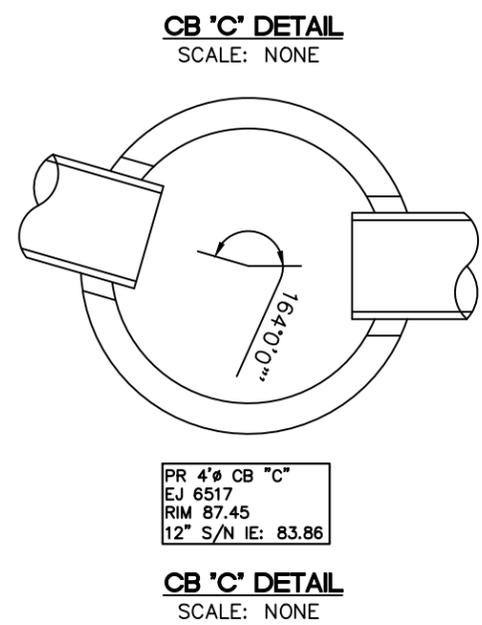
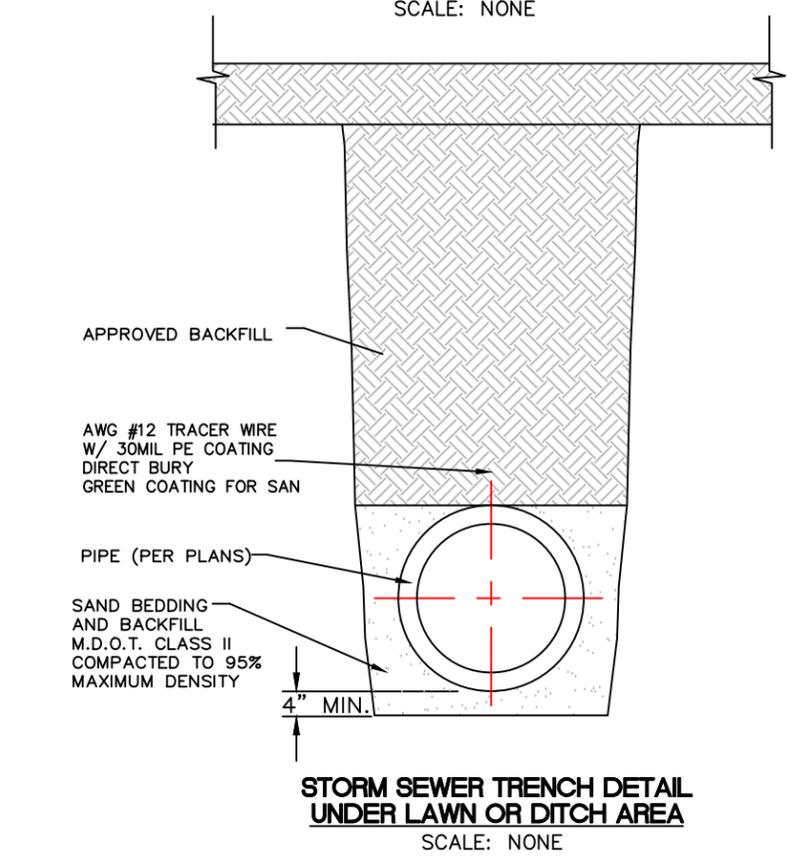
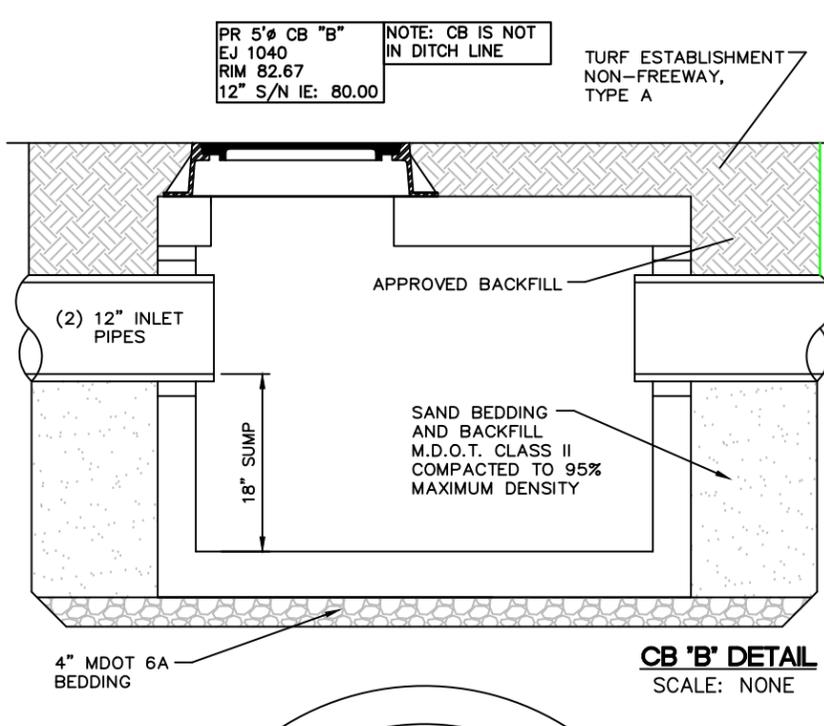
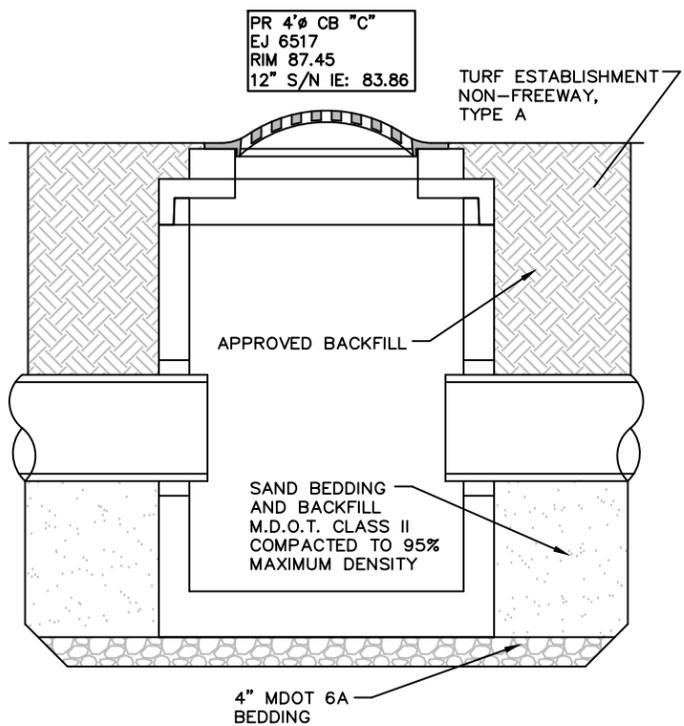
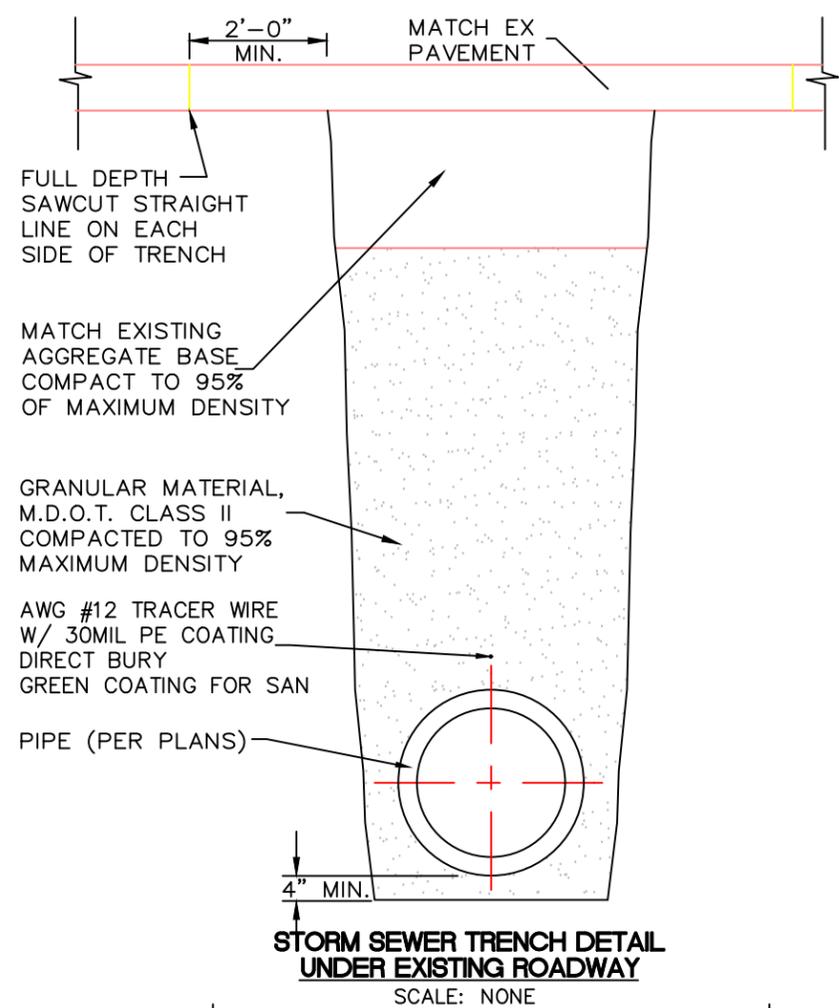
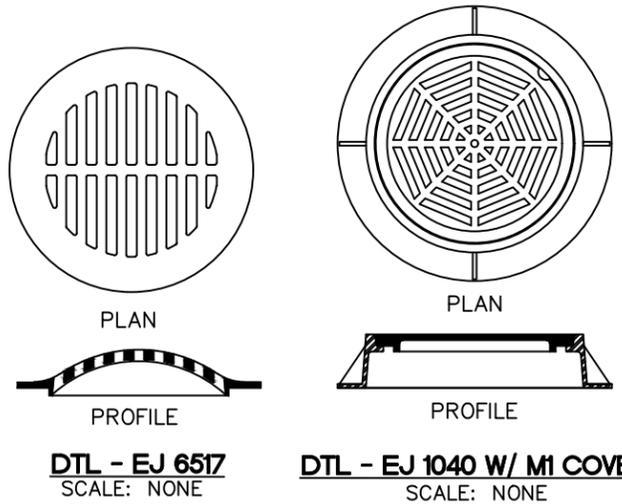
ARCH STREET
MECHANIC TO M-99
 CITY OF HILLSDALE
 HILLSDALE COUNTY, MICHIGAN
PAVEMENT SECTIONS
INFORMATIONAL QUANTITIES

SCALE	H 1" = 100'	
	NAME	DATE
DESIGNED	KLB	7/28/23
DRAWN	ES/RDS	10/21/25
CHECKED		

DRAWING NO.
C8

REVISIONS	DATE
DATE OF PLAN	10/21/25

CASTING EQUIVALENTS	
EAST JORDAN	M.D.O.T.
1040	"B"
6508	"E"
6517	"G"
7045	"K"
7065	"C"
1040 w/ "Sanitary"	"q"



ARCH STREET
MECHANIC TO M-99
CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN
STORM SEWER
DETAIL SHEET

SCALE	H 1" = 100'	
DESIGNED	NAME	DATE
DRAWN	ES/RDS	10/21/25
CHECKED		

DRAWING NO. **C9**

REVISIONS	DATE
DATE OF PLAN	10/27/25

**ARCH STREET
MECHANIC TO M-99**

**CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN**

**NOTE SHEET
LEGEND**

SCALE	N/A	
DESIGNED	NAME	DATE
DRAWN	RDS	10/27/25
CHECKED		

DRAWING NO.
C10

CONSTRUCTION NOTES (APPLICABLE TO ALL SHEETS, AS NEEDED):

SOIL EROSION CONTROL MEASURES

TO PROTECT SLOPES AND DITCHES, SOD OR SEED/MULCH SHOULD BE PLACED AS SOON AS POSSIBLE AND AS DIRECTED BY THE ENGINEER. TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE UTILIZED DURING CONSTRUCTION IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND AS NECESSARY TO CONTROL SOIL EROSION AND SEDIMENTATION AND AS DIRECTED BY THE ENGINEER.

PLAN ELEVATIONS

ELEVATIONS IN THESE PLANS ARE BASED ON USGS DATUM.

UNDERGROUND UTILITIES

FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL DIAL 1-800-482-7171 A MINIMUM OF THREE WORKING DAYS EXCLUDING SATURDAYS, SUNDAYS & HOLIDAYS PRIOR TO EXCAVATING IN THE VICINITY OF UTILITY LINES. ALL "MISS DIG" PARTICIPATING MEMBERS WILL BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING THE UTILITY OWNERS WHO MAY NOT BE PART OF THE "MISS DIG" ALERT SYSTEM.

EXISTING WATER MAINS AND SEWERS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO PROPERLY IDENTIFIED EXISTING WATER MAINS AND/OR EXISTING SEWERS DURING THE CONSTRUCTION OF THE PROJECT.

ADJUSTMENT OF CATCH BASINS

IT IS THE CONTRACTOR'S RESPONSIBILITY TO PLACE THE LOCATION AND ELEVATION OF ALL CATCH BASIN CASTINGS PROPERLY ALIGNED WITH THE PROPOSED CURB. ADJUSTMENT OF CASTINGS ON NEW STRUCTURES IS INCLUDED IN PAYMENT FOR THE DRAINAGE STRUCTURE COVER SPECIFIED. ADJUSTMENT OF CASTINGS ON EXISTING STRUCTURES WILL BE PAID AS DR STRUCTURE COVER, ADJ, CASE 1. THESE ITEMS INCLUDE ALL BLOCK OR GRADE RINGS NECESSARY FOR PROPER ADJUSTMENT.

PROPERTY CORNER PRESENTATION

CONTRACTOR SHALL TAKE CARE TO ENSURE THAT PROPERTY CORNERS BEHIND THE SIDEWALKS SCHEDULED FOR REMOVAL AND REPLACEMENT ARE NOT DISTURBED.

SALVAGE

THE CITY RESERVES THE RIGHT TO SALVAGE ALL EXISTING MATERIALS (CASTINGS, HYDRANTS, SIGNS, ETC). MATERIALS DESIRED TO BE SALVAGED SHALL BE STOCKPILED WITHIN THE PROJECT LIMITS FOR THE CITY TO PICK UP. ITEMS THAT THE CITY DECIDES NOT TO SALVAGE BECOME PROPERTY OF THE CONTRACTOR.

CURB DIMENSIONS

ALL CURB DIMENSIONS SHALL BE FROM BACK OF CURB UNLESS OTHERWISE INDICATED

LAWN SPRINKLER SYSTEMS AND LANDSCAPING

OWNERS OF EXISTING LAWN SPRINKLER SYSTEMS AND/OR LANDSCAPING SHALL BE NOTIFIED (IN WRITING WITH A COPY SEND TO THE ENGINEER) BY THE CONTRACTOR TWO WEEKS IN ADVANCE OF ANY WORK TO BE DONE THAT WILL AFFECT THOSE SYSTEMS AND/OR LANDSCAPING. IF THE PROPERTY OWNER FAILS TO RELOCATE THE LAWN SPRINKLER SYSTEM PRIOR TO THE CONTRACTOR BEGINNING WORK, AND IF THE CONTRACTOR CUTS CUTS THE SYSTEM DURING THE CONSTRUCTION, THE CONTRACTOR SHALL CAP THE SYSTEM PIPE AND WITNESS THE LOCATION OF THE CAP WITH A WOODEN STAKE FOR THE PROPERTY OWNERS USE. THE CONTRACTOR SHALL PLACE THE SALVAGED SPRINKLER HEADS ON THE PROPERTY OWNERS PROPERTY. IF THE PROPERTY OWNER FAILS TO RELOCATE THE LANDSCAPING PRIOR TO THE CONTRACTOR BEGINNING WORK, THE CONTRACTOR SHALL CAREFULLY SALVAGE THE LANDSCAPING ITEMS AND STOCKPILE THEM ON THE PROPERTY OWNERS PROPERTY FOR THE PROPERTY OWNER. ANY OTHER MODIFICATION TO THE LAWN SPRINKLER SYSTEMS AND/OR LANDSCAPING, IS THE RESPONSIBILITY OF THE OWNER AND IS NOT PART OF THE CONTRACT. THIS WORK IS INCLUDED IN OTHER ITEMS OF THE PROJECT.

CONCRETE WORK

THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF PLANS TO POUR CONCRETE A MINIMUM OF 24 HOURS BEFORE THE POUR. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF TWO HOURS BETWEEN FORMING A SECTION OF FLAT WORK AND POURING THE SECTION TO ALLOW FOR INSPECTION OF THE GRADES, GRADING, AND SUB-BASE. FAILURE TO PROVIDE NOTICE AND TIME FOR INSPECTION WILL BE CONSIDERED CAUSE TO REJECT THE PRODUCT OR CAUSE TO REQUIRE RESCHEDULING OF THE WORK, WITH NO ADJUSTMENTS TO THE COMPLETION DATES.

SUBBASE (CIP)

WHEN THE NATURAL MATERIAL MEETING SUBBASE REQUIREMENTS IS LEFT IN PLACE, IT WILL NOT BE PAID FOR. THE GRADING AND COMPACTIVE WORK REQUIRED SHALL BE INCLUDED IN COMPENSATION FOR THE ROADWAY GRADING. EXCAVATION FOR INSTALLATION OF NEW SAND SUBBASE, IF REQUIRED, IS TO BE INCLUDED IN SUBBASE (CIP).

DRIVEWAYS

EXISTING DRIVEWAYS SHALL BE REMOVED WHERE NECESSARY, WHERE SHOWN ON PLANS OR DIRECTED BY ENGINEER, AND SHALL BE PAID FOR AS PAVT, REM. GRADING AND PREPARATION FOR NEW DRIVEWAY SHALL BE INCLUDED IN ROADWAY GRADING. CONTRACTOR SHALL MAINTAIN ACCESS TO DRIVEWAYS DURING CONSTRUCTION INCLUDED IN ROADWAY GRADING.

NOTICE TO RESIDENTS

THE CONTRACTOR SHALL NOTIFY RESIDENTS 24 HOURS IN ADVANCE OF DISRUPTION TO SERVICE, SUCH AS DRIVEWAY CLOSING OR UTILITY SERVICE.

RELOCATION OF GUY ANCHORS

CITY OF HILLSDALE B.P.U. GUY ANCHOR RELOCATIONS WILL BE RELOCATED BY THE UTILITY COMPANY THROUGHOUT THE PROJECT TO A LOCATION DETERMINED IN THE FIELD ALLOWING NEW SEWER CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION ACTIVITIES WITH THE GUY ANCHOR RELOCATIONS.

SAW CUTTING

SAW CUTTING OF EXISTING PAVEMENT SHALL BE INCLUDED IN THE UNIT PRICE FOR THE ITEM BEING REMOVED.

SAWCUTTING PAVEMENT

SAWCUTTING EXISTING PAVEMENT AT REMOVAL LIMITS WHERE INDICATED ON THE PLANS AND AS DIRECTED BY THE ENGINEER SHALL BE INCLUDED IN ROADWAY GRADING.

ROADWAY GRADING

ROADWAY GRADING SHALL INCLUDE REMOVAL OF ALL BASE MATERIALS REGARDLESS OF THICKNESS TO A DEPTH SUFFICIENT TO INSTALL THE REQUIRED NEW SUBBASE AND BASE DEPTHS. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF ONE LANE OF TRAFFIC AT ALL TIMES TO ALLOW EMERGENCY VEHICLE ACCESS AND FOR ACCESS TO LOCAL BUSINESSES AND RESIDENCES.

CURB AND GUTTER

PLACEMENT OF AND PAYMENT FOR CONCRETE CURB AND GUTTER INCLUDES PLACING REBAR DOWELS EPOXY ANCHORED INTO EXISTING CURB AND GUTTER AT POINTS OF CONNECTION IN ACCORDANCE WITH MDOT STANDARD PLAN R-30-G.

SURFACE RESTORATION

AREAS DISTURBED BY CONSTRUCTION, SURFACE SHALL BE GRADED SMOOTH AND RESTORED WITH 4" OF NEW TOPSOIL, HYDROSEEDDED, FERTILIZED, MULCHED, AND ANCHORING MULCHED. SLOPES OF 1:2 OR STEEPER SHALL RECEIVE SLOPE RESTORATION PEGGED IN PLACE. AREAS BETWEEN THE CURB AND SIDEWALK SHALL BE FILLED AND GRADED SMOOTH AND RESTORED AS NOTED ABOVE. RESTORATION SHALL BE FROM BACK OF CURB TO RIGHT OF WAY AS DIRECTED BY ENGINEER. RESTORATION OF DISTURBED AREAS OUTSIDE OF THE STREET RIGHT-OF-WAY WILL NOT BE PAID FOR SEPARATELY UNLESS SHOWN ON THE PLANS OR AS DIRECTED BY ENGINEER. SURFACE RESTORATION WILL BE PAID FOR AS SLOPE RESTORATION.

MAINTAINING TRAFFIC

CONTRACTOR SHALL MAINTAIN ACCESS TO LOCAL RESIDENTS AND EMERGENCY VEHICLES DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE TEMPORARY AGGREGATE AT DRIVEWAYS AS NECESSARY TO MAINTAIN ACCESS. TEMPORARY GRAVEL INCLUDED IN ROADWAY GRADING.

WATER SERVICES

CITY OF HILLSDALE BPU OR THEIR CONTRACTOR WILL REPLACE ALL REQUIRED WATER SERVICES IN THE PROJECT AREA DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE CITY OF HILLSDALE.

ADJUSTMENT OF SANITARY SEWER STRUCTURES: IT IS THE CONTRACTOR'S RESPONSIBILITY TO PLACE THE LOCATION AND ELEVATION OF ALL CASTINGS TO BE PROPERLY ALIGNED WITH THE FINISH GRADE. SANITARY CASTING THAT DO NOT PROVIDE AN OPENING OF 24", ARE TO BE REPLACED WITH MDOT COVER "B", AND INCLUDED IN THE COST OF THE ADJUSTMENT. ADJUSTMENT OF CASTINGS ON EXISTING STRUCTURES WILL BE PAID AS SANITARY STRUCTURE COVER, ADJ, CASE 1 OR 2. THESE ITEMS INCLUDE ALL CASTINGS, BLOCK OR ADJUSTING RINGS AS NECESSARY FOR PROPER ADJUSTMENT.

ADJUSTMENT OF GATE BOXES AND WATER SHUTOFF BOXES: IT IS THE CONTRACTOR'S RESPONSIBILITY TO PLACE THE LOCATION AND ELEVATION OF ALL GATE BOXES AND WATER SHUTOFF BOXES TO BE PROPERLY ALIGNED WITH THE FINISH GRADE. ADJUST OF CASTINGS ON EXISTING GATE BOXES WILL BE PAID AS GATE BOX, ADJ, CASE 1 OR 2. THESE ITEMS INCLUDE ALL ADJUSTING RINGS AS NECESSARY FOR PROPERT ADJUSTMENT

PUBLIC UTILITIES: THE EXISTING UTILITIES LISTED BELOW AND SHOWN ON THE PLANS REPRESENT THE BEST INFORMATION AVAILABLE. THIS INFORMATION DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO VERIFY THEIR ACCURACY OR THE RESPONSIBILITY IN CASE UTILITIES HAVE BEEN REMOVED OR CONSTRUCTED.

GAS:
MICHIGAN GAS UTILITY
70 SAUK RIVER DRIVE
COLDWATER, MI 49036
P - 517-781-0511
ATTN: DONALD SEEKMAN
donald.seekman@michingangasutilities.com

CABLE TELEVISION:
COMCAST
25626 TELEGRAPH RD.
SOUTHFIELD, MI 48034
P - 734-359-1669
ATTN: JEFF DOBIES

WATER/SEWER:
CITY OF HILLSDALE BPU
45 MONROE STREET
HILLSDALE, MI 49242
P - 517-437-6412
ATTN: CRAIG WICKHAM
cwickham@cityofhillsdale.com

ELECTRIC:
CITY OF HILLSDALE BPU
45 MONROE STREET
HILLSDALE, MI 49242
P - 517-437-6417
ATTN: DAVID MACKIE

TELEPHONE:
AT&T
1041 HURST ROAD
JACKSON, MI 49201
P - 517-750-0660
ATTN: KAREN TRUDGEN
karen.m.trudgen@att.com

PUBLIC WORKS:
CITY OF HILLSDALE
149 WATER WORKS AVE
HILLSDALE, MI 49242
517-437-6491
ATTN: JASON BLAKE
jblake@cityofhillsdale.org

THE CONTRACTOR SHALL EXPOSE AND VERIFY LOCATION AND DEPTH OF EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. CONFLICTS IN GRADE SHALL BE REPORTS TO THE CITY ENGINEER AND ADJUSTMENTS MADE AT NO ADDITIONAL COST TO THE OWNER.

LEGEND	
	MONUMENT / SECTION CORNER
	FOUND PROPERTY IRON
	SECTION LINE
	EXISTING PROPERTY LINE
	EXISTING RIGHT OF WAY LINE
	EXISTING EASEMENT LINE
	EXISTING CENTERLINE
	EXISTING DITCH CENTERLINE
	EXISTING SWALE CENTERLINE
	EXISTING DECORATIVE FENCE
	EXISTING FENCE LINE/CHAINLINK
	EXISTING CONTOURS
	BOLLARD / POST
	EXISTING SIGN
	UTILITY POWER POLE
	GUY WIRE
	EXISTING LIGHT POLES/STREET LIGHTS
	UNDERGROUND ELECTRIC LINE
	OVERHEAD ELECTRICAL WRES
	UNDERGROUND GAS LINE
	UNDERGROUND TELEPHONE LINE
	TELEPHONE RISER
	EXISTING DECIDUOUS TREES
	EXISTING CONIFEROUS TREES
	EXISTING SANITARY MANHOLE
	SANITARY CLEAN-OUT
	EXISTING SANITARY SEWER
	EXISTING STORM MANHOLE
	EXISTING CURB CATCHBASIN
	EXISTING MANHOLE/CATCHBASIN
	EXISTING STORM SEWER
	EXISTING HYDRANT
	EXISTING VALVE / CURB STOP
	EXISTING WATERMAIN
	EXISTING CURB & GUTTER
	EXISTING HMA/BIT SURFACE
	EXISTING CONCRETE SURFACE
	EXISTING GRAVEL SURFACE
	EXISTING SIDEWALK
	EXISTING TRAFFIC ARROWS
	SOIL BORING
	FLAGPOLE
	HANDICAP PARKING SYMBOL

LEGEND - PROPOSED FEATURES	
	PROPOSED SANITARY SEWER
	PROPOSED MANHOLE
	SANITARY CLEAN-OUT
	PROPOSED STORM SEWER
	PROPOSED CURB CATCHBASIN
	PROPOSED MANHOLE/CATCHBASIN
	PROPOSED MANHOLE
	PROPOSED WATERMAIN
	PROPOSED HYDRANT
	PROPOSED VALVE
	WATER SERVICE SHUT-OFF
	UNDERGROUND ELECTRIC LINE
	OVERHEAD ELECTRICAL WRES
	PROPOSED LIGHT POLES
	PROPOSED CURB & GUTTER
	PROPOSED HMA/BIT SURFACE
	EXISTING CONCRETE SURFACE
	EXISTING GRAVEL SURFACE
	EXISTING SIDEWALK
	PROPOSED FLOW ARROW
	PROPOSED CONTOURS
	PROPOSED MODIFIED CURB AND GUTTER



Know what's below.
Call before you dig.

10-Nov-25

Arch Street
Mechanic to Carleton (M-99)

Street Resurfacing and drainage improvements

Opinion of Probable Costs

Summary:

Opinion of Probable Construction Costs	\$ 368,275.00
Design Engineering	\$ 19,650.00
Inspection and Project Management	\$ 13,910.00
Special Assessment	\$ 4,870.00
Contingencies	\$ 41,295.00
Total Opinion of Probable Costs	\$ 448,000.00

Design and Inspection are at 9.1% of Construction Costs. Consulting Firms are typically 15-20% of Construction Costs.

Construction					
Line	Pay Item	Quantity	Units	Unit Price	Price
1	Above Ground Video Survey	1	LSUM	\$ 2,125.00	\$ 2,125.00
2	Mobilization, Max 10%	1	LSUM	\$ 36,968.00	\$ 36,968.00
3	Culv, Rem, Less than 24 inch	2	Ea	\$ 1,110.00	\$ 2,220.00
4	Sewer, Rem, Less than 24 inch	18.5	Ft	\$ 25.00	\$ 462.50
5	Structures, Rem	1	LSUM	\$ 100.00	\$ 100.00
6	Ditch Cleanout	2	Sta	\$ 600.00	\$ 1,200.00
7	Roadway Grading	16.9	Sta	\$ 2,350.00	\$ 39,715.00
8	Erosion Control, Inlet Protection, Fabric Drop	9	Ea	\$ 140.00	\$ 1,260.00
9	Aggregate Base, 3 inch	77	Syd	\$ 15.00	\$ 1,155.00
10	Aggregate Base, 4 inch	20	Syd	\$ 15.00	\$ 300.00
11	Aggregate Surface Cse, 12 inch	132	Syd	\$ 31.00	\$ 4,092.00
12	Shld, CI III, 4 inch	160	Syd	\$ 25.00	\$ 4,000.00
13	Culv, CI A, Conc, 12 inch	72	Ft	\$ 75.00	\$ 5,400.00
14	Sewer, CI A, 12 inch, Tr Det B	277	Ft	\$ 90.00	\$ 24,930.00
15	Dr Structure Cover, Adj, Case 2	1	Ea	\$ 500.00	\$ 500.00
16	Dr Structure Cover, Type G	2	Ea	\$ 630.00	\$ 1,260.00
17	Dr Structure, 48 inch dia	1	Ea	\$ 4,000.00	\$ 4,000.00
18	Dr Structure, 60 inch dia	1	Ea	\$ 5,000.00	\$ 5,000.00
19	Dr Structure, Tap, 12 inch	1	Ea	\$ 700.00	\$ 700.00
20	HMA Surface, Rem	5390	Syd	\$ 9.00	\$ 48,510.00
21	HMA, 4EL	1130	Ton	\$ 80.00	\$ 90,400.00
22	HMA, 5EL	470	Ton	\$ 89.00	\$ 41,830.00
23	Conc Pavt, Misc, Nonreinf, 8 inch	65	Syd	\$ 68.00	\$ 4,420.00
24	Curb and Gutter, Conc, Det F4	150	Ft	\$ 45.00	\$ 6,750.00
25	Post, Mailbox	1	Ea	\$ 300.00	\$ 300.00
26	Sign, Type III, Rem	2	Ea	\$ 25.00	\$ 50.00
27	BOLLARD	1	Ea	\$ 185.00	\$ 185.00
28	Pavt Mrkg, Ovly Cold Plastic, 24 inch, Stop Bar	34	Ft	\$ 15.00	\$ 510.00
29	Pavt Mrkg, Waterborne, 4 inch, Yellow	3090	Ft	\$ 0.25	\$ 772.50
30	Pavt Mrkg, Waterborne, 6 inch, White	2440	Ft	\$ 0.25	\$ 610.00
31	Traffic Control	1	LSUM	\$ 15,000.00	\$ 15,000.00
32	Riprap, Plain	2	Syd	\$ 300.00	\$ 600.00
33	Turf Establishment	1090	Syd	\$ 15.00	\$ 16,350.00
34	Gate Box, Adj, Case 2	1	Ea	\$ 100.00	\$ 100.00
35	Sanitary Structure Cover, Adj, Case 1	3	Ea	\$ 1,500.00	\$ 4,500.00
36	Culv End Sect, Conc, 12 inch	2	Ea	\$ 1,000.00	\$ 2,000.00
Opinion of Probable Construction Costs					\$ 368,275.00



MEMORANDUM

Date: January 13, 2026
To: City Council, City Manager Mackie, DPS Director Blake
From: Robert Stiverson, PE, City Engineer
Subject: Industrial Dr – Mechanic to Beck Rd
Proctor – Industrial Dr to Dead End

Please find the attach draft Opinion of Probable Costs, bid document, and plans for the subject project.

We are recommending a budget of

Construction – Industrial	\$643,176.57
Engineering/Project Management/Special Assessment	\$ 35,920.00
Contingencies:	\$ 64,403.43
Total:	\$743,500.00
Construction – Proctor	\$105,000.00
Engineering/Project Management/Special Assessment	\$ 5,000.00
Contingencies	\$ 15,000.00
Total:	\$125,000.00

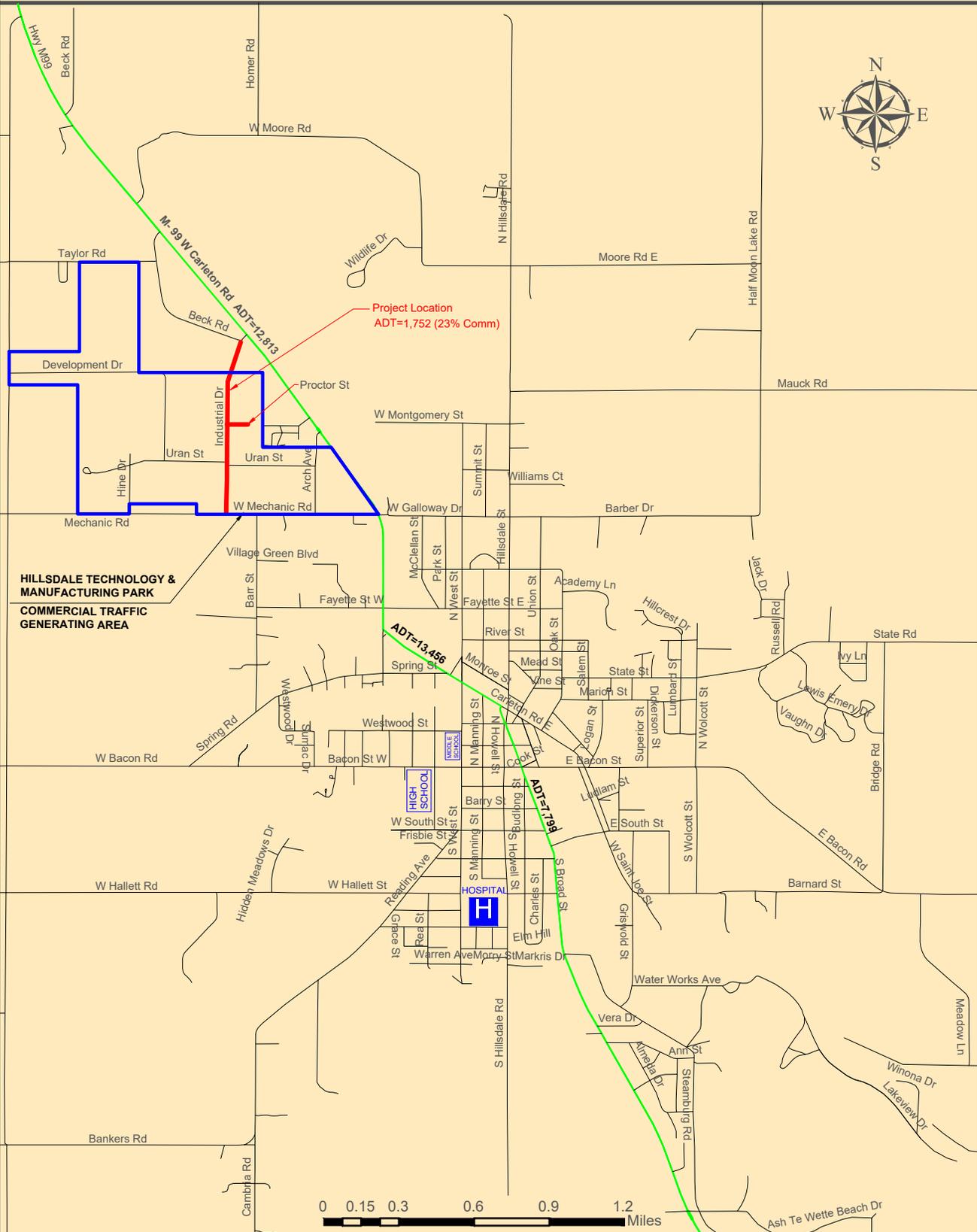
Project Management is based on full-time inspection, however, we plan on performing Part Time inspection with the hours based on the quality and performance of the contractor.

As always, Construction costs are based on Historic Bid Tabulations for the City of Hillsdale with a comparison of MDOT Unit Prices. Project Management/Inspection is based on MDOT guideline for installation of Quantities and previous experience.

Contingencies are approximately 10%, and are recommended based on there are unknowns in the field that could impact project costs.

The City has been award a TEDF Grant in the Amount of \$375,000.00 for Industrial Dr from Mechanic to Beck Road.

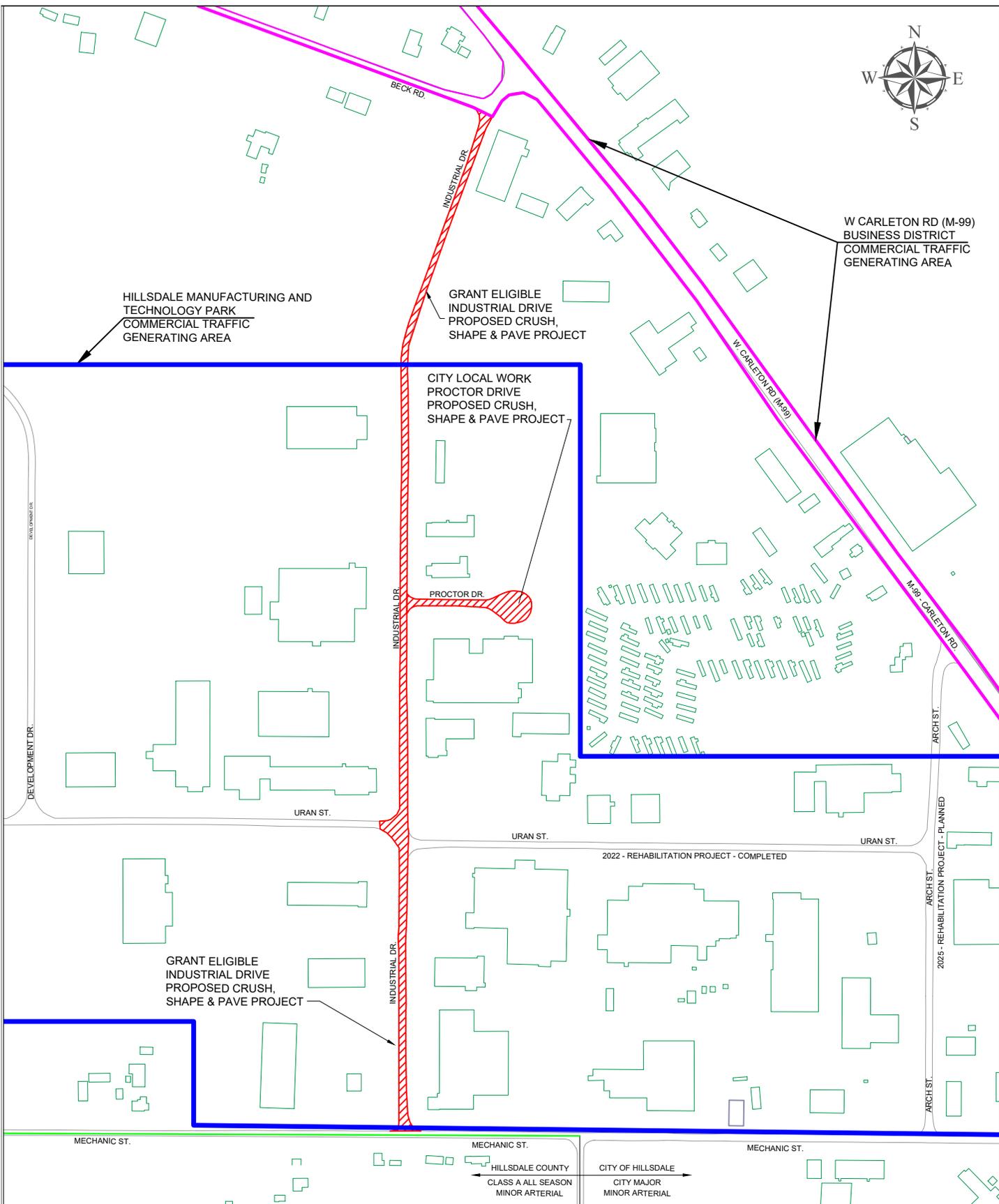
CITY OF HILLSDALE, MICHIGAN



LEGEND	
—	STATE TRUNKLINE (M-99)
—	PROJECT STREETS
—	CITY STREETS
—	COMMERCIAL TRAFFIC



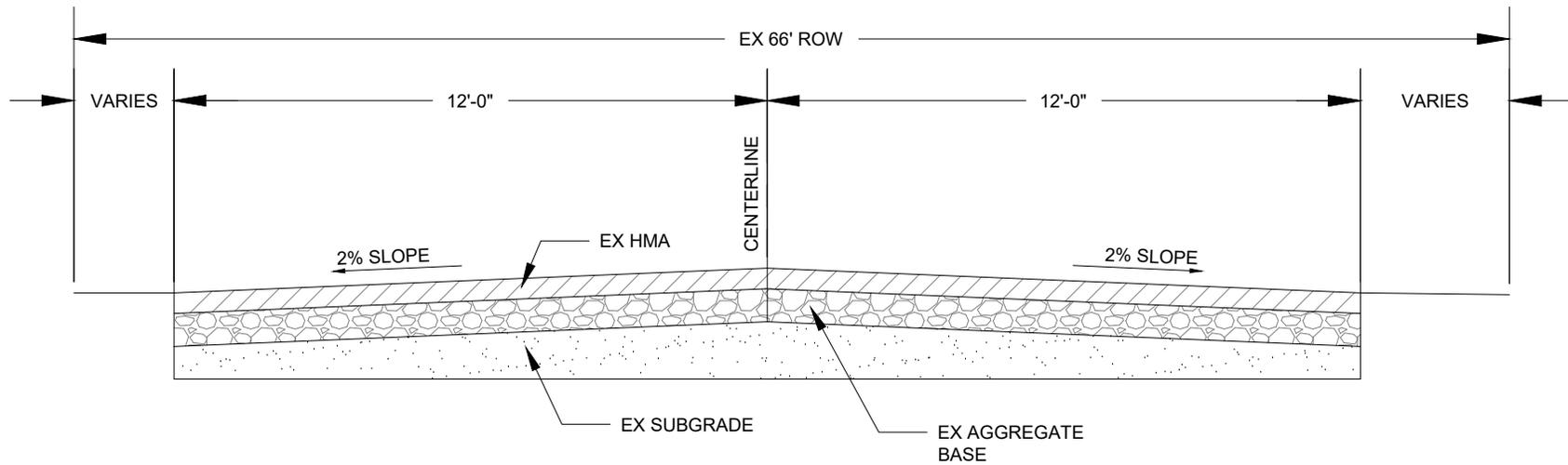
LOCATION MAP
INDUSTRIAL DRIVE
 W Carleton (M-99) to Mechanic Street



INDUSTRIAL DRIVE BECK RD. TO MECHANIC ST

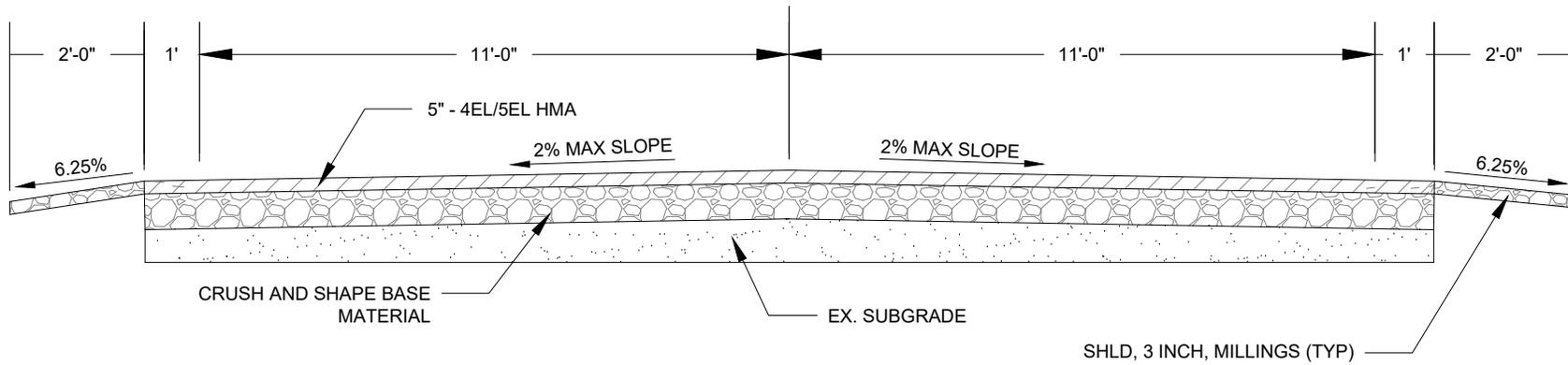
- STATE TRUCKLINE - M-99
- HILLSDALE TECHNOLOGY PARK BOUNDRY
- HILLSDALE COUNTY ALL SEASON ROAD

		Name	Date	Drawing No.
Designed	KLB	4/4/25	1	
Drawn	KLB	4/4/25		
Revised	RDS	1/13/26	Sheet 1 of 1	



TYP. ROAD CROSS SECTION
EXISTING

1



TYP. ROAD CROSS SECTION
PROPOSED

2

Engineer's Opinion of Costs

Project Number: 2027 - TEDF F	Project Engineer: Kristin Bauer
Estimate Number: 1: Industrial Dr - Beck to Mechanic	Date Created: 4/2/2025
Project Type: Miscellaneous	Date Edited: 8/28/2025
Location: Industrial Dr -	Fed/State #:
Beck to Mechanic	Fed Item:
Description: Crush/Shape/Pave with concrete curbs at intersections and pavement markings	Control Section:

Line	Pay Item	Description	Quantity	Units	Unit Price	Total
Category: 0000						
0001	1100001	Mobilization, Max 10%	1.000	LSUM	\$62,218.00	\$62,218.00
0002	2040050	Pavt, Rem	200.000	Syd	\$13.00	\$2,600.00
0003	2050016	Excavation, Earth	150.000	Cyd	\$40.00	\$6,000.00
0004	2050041	Subgrade Undercutting, Type II	300.000	Cyd	\$41.13	\$12,339.00
0005	2087051	_ Soil Erosion and Sedimentation Control	1.000	LSUM	\$25,000.00	\$25,000.00
0006	3020050	Aggregate Base, Conditioning	300.000	Syd	\$12.00	\$3,600.00
0007	3050002	HMA Base Crushing and Shaping	10,925.000	Syd	\$2.71	\$29,606.75
0008	3077011	_ Shoulder, 3 Inch, Millings	2,000.000	Syd	\$20.00	\$40,000.00
0009	4030005	Dr Structure Cover, Adj, Case 1	11.000	Ea	\$750.00	\$8,250.00
0010	4030006	Dr Structure Cover, Adj, Case 2	5.000	Ea	\$750.00	\$3,750.00
0011	4037050	_ EJIW 1045 w/1040 "Sanitary" Lid	16.000	Ea	\$1,000.00	\$16,000.00
0012	5010005	HMA Surface, Rem	500.000	Syd	\$10.00	\$5,000.00
0013	5012024	HMA, 4EL	2,200.000	Ton	\$100.00	\$220,000.00
0014	5012036	HMA, 5EL	1,000.000	Ton	\$110.00	\$110,000.00
0015	8010007	Driveway, Nonreinf Conc, 8 inch	200.000	Syd	\$80.00	\$16,000.00
0016	8020038	Curb and Gutter, Conc, Det F4	750.000	Ft	\$30.00	\$22,500.00
0017	8027050	_ Concrete Spillway, Modified	1.000	Ea	\$700.00	\$700.00
0018	8070095	Post, Mailbox	8.000	Ea	\$141.74	\$1,133.92
0019	8110045	Pavt Mrkg, Ovly Cold Plastic, 24 inch, Stop Bar	70.000	Ft	\$15.37	\$1,075.90
0020	8110231	Pavt Mrkg, Waterborne, 4 inch, White	7,100.000	Ft	\$0.27	\$1,917.00
0021	8110232	Pavt Mrkg, Waterborne, 4 inch, Yellow	7,100.000	Ft	\$0.24	\$1,704.00
0022	8127051	_ Traffic Control	1.000	LSUM	\$25,000.00	\$25,000.00

Line	Pay Item	Description	Quantity	Units	Unit Price	Total
0023	8167011	_ Turf Establishment	4,300.000	Syd	\$16.00	\$68,800.00
0024	8230431	Gate Box, Adj, Case 1	3.000	Ea	\$400.00	\$1,200.00
Category 0000 Total:						\$684,394.57

Line	Pay Item	Description	Quantity	Units	Unit Price	Total
Estimate Total: \$684,394.57						

Engineer's Opinion of Costs

Project Number: Proctor Street Estimate Number: 1 Project Type: Miscellaneous Location: Industrial to Dead End Description:	Project Engineer: Robert Stiverson, PE Date Created: 1/13/2026 Date Edited: 1/13/2026 Fed/State #: Fed Item: Control Section:
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Line	Pay Item	Description	Quantity	Units	Unit Price	Total
Category: 0000						
0001	1100001	Mobilization, Max	1.000	LSUM	\$8,680.50	\$8,680.50
0002	3020050	Aggregate Base, Conditioning	110.000	Syd	\$12.00	\$1,320.00
0003	3050002	HMA Base Crushing and Shaping	2,185.000	Syd	\$2.70	\$5,899.50
0004	3077011	_ Shoulder, 3 Inch, Millings	490.000	Syd	\$20.00	\$9,800.00
0005	4030005	Dr Structure Cover, Adj, Case 1	2.000	Ea	\$750.00	\$1,500.00
0006	5010005	HMA Surface, Rem	110.000	Syd	\$10.00	\$1,100.00
0007	5012024	HMA, 4EL	510.000	Ton	\$100.00	\$51,000.00
0008	5012036	HMA, 5EL	220.000	Ton	\$110.00	\$24,200.00
0009	8127051	_ Traffic Control	1.000	LSUM	\$1,500.00	\$1,500.00

Category 0000 Total: \$105,000.00

Line	Pay Item	Description	Quantity	Units	Unit Price	Total
Estimate Total: \$105,000.00						



Notice of Public Hearing

Date and Resolution Number Establishing Special Assessment District: January 20, 2026,
Resolution #3665

Project Description: 2026-1 Arch Avenue, Industrial Drive, and Proctor Drive milling and resurfacing

Public Hearing #1 Date, Time, and Location: Monday, February 16, 2026 at 7:00 p.m., 3rd Floor Council Chambers, Hillsdale City Hall, 97 North Broad Street, Hillsdale, Michigan 49242

Notice Mailing Date: On or before February 6, 2026

Hillsdale City Council has made a determination that the above identified public improvements are necessary and proper, and that all or part of the costs thereof should be defrayed by special assessment against certain specially benefitting properties. Therefore, pursuant to Hillsdale City Code Section 2-334, a public hearing has been scheduled to consider any objections to this project. **You are receiving this notice because it has been determined that you are the owner of property specially benefitting from the proposed project.**

Written objections may be mailed or dropped off to:

**Hillsdale City Clerk
97 N Broad St
Hillsdale, MI 49242**

- The plans, specifications and estimates of cost have been placed on file with the City Clerk for review.
- Affected property owners will be given an opportunity during the public hearing to comment, ask questions about the project, and submit written objections to the improvements or the description of the lands and premises to be assessed.
- If more than 50 percent of the number of owners of privately owned real property to be assessed object in writing to the proposed improvement, the improvement shall not be made without the affirmative vote of seven of the members of the council.

After the close of the public hearing, Council may make a motion to vote on a resolution to make the improvement and to defray all or part of the cost by special assessment. This resolution will direct the assessor to prepare the assessment roll and must include the percentage of the cost to be levied by special assessment, the method of allocation, the number of annual installments, the interest rate to be charged upon the deferred balance, and a statement that special assessments may

be paid in advance, with interest only to the date of payment. If passed, a second public hearing will be scheduled and noticed to provide affected property owners and interested parties an opportunity to protest the amount of any assessment.

Michigan Compiled Law (MCL) Section 211.741 Required Statements:

- Appearance and protest at the hearing in the special assessment proceedings is required in order to appeal the amount of the special assessment to the state tax tribunal.
- An owner or party in interest, or his or her agent may appear in person at the hearing to protest the special assessment, or shall be permitted to file his or her appearance or protest by letter and his or her personal appearance shall not be required.

Additional Appeal Information:

- Hillsdale City Charter, Section 11.7. – Contested assessments. “Except and unless notice is given to the Council in writing of an intention to contest or enjoin the collection of any special assessment within thirty days after the date of the meeting of the Council at which the assessment roll is finally confirmed, which notice shall state the grounds on which the proceedings are to be contested, no suit or action of any kind shall be instituted or maintained for the purpose of contesting or enjoining the collection of such special assessment. Further, whether or not any public improvement is completed in any special assessment district, no owner of real property located in such district shall be entitled to commence any suit or action for the purpose of contesting or enjoining the collection of any such special assessment after he has received a benefit from the substantial completion of that portion of such public improvement for which he is assessed.” (emphasis added)
- Michigan Compiled Laws, Section **211.746 Statement of right to file written appeal**. Sec. 6. “If a special assessment is made against property, the notice of the special assessment sent to the property owner or person responsible for payment of the ad valorem property taxes under the general property tax act, Act No. 206 of the Public Acts of 1893, being sections 211.1 to 211.157 of the Michigan Compiled Laws, shall include, in addition to any other requirements by statute or charter, a statement that the owner or any person having an interest in the real property may file a written appeal of the special assessment with the state tax tribunal within 30 days after the confirmation of the special assessment roll if that special assessment was protested at the hearing held for the purpose of confirming the roll.” (emphasis added)
 - Petition forms are available and may be filed online with the Michigan Tax Tribunal at www.michigan.gov/taxtrib.
 - The correct form to use can be found under Small Claims, “Property Tax Appeal Petition Form Special Assessment.” Failure to use the correct form may result in a delay or dismissal of your appeal.

400 ARCH LLC
PO BOX 292
BETTENDORF IA 52722

AAA STORAGE BY U LLC
P O BOX 660
READING MI 49274

ACT TEST PANELS LLC
273 INDUSTRIAL DR
HILLSDALE MI 49242

ARCHIE REAL ESTATE LLC
33 BLOOMFIELD HILLS PKWY STE 120
BLOOMFIELD HILLS MI 48304

COBRA
HOLDINGS LLC
240 URAN ST
HILLSDALE MI 49242

HILLSDALE HOLDINGS LLC
228 BETHANNA DR
COLDWATER MI 49036

CONDON FAMILY LLC
THOMAS & KURTIS CONDON, MEMBERS
2398 STEAMBURG RD
HILLSDALE MI 49242

DESJARDIN, DAN
1423 HUDSON RD
HILLSDALE MI 49242

EMAC PROPERTIES LLC
1350 S PITTSFORD RD
OSSEO MI 49266

ESSEX SPECIALTY PRODUCTS
INC
C/O TAX DEPT - PROP
P O 2899
WILMINGTON DE 19805

FOUST ELECTRO MOLD INC
277 INDUSTRIAL AVE
HILLSDALE MI 49242

HILLSDALE CLASSICAL LLC
89 S HOWELL ST
HILLSDALE MI 49242

HILLSDALE PROPERTIES, LLC
PERDEW, DAN, RESIDENT AGENT
215 MECHANIC ST
HILLSDALE MI 49242

JACKSON COMMUNITY COLLEGE
211 EMMONS RD
JACKSON MI 49201

JACKSON-HILLSDALE COMM MH BOARD
1200 N WEST AVE
JACKSON MI 49202

LEONARD'S PROPERTY MANAGEMENT LLC
6719 HALLENBECK HWY
MANITOU BEACH MI 49253

PATILLO FAMILY PROPERTIES LLC
3220 W CARLETON RD
HILLSDALE MI 49242

PENN, MICHAEL ALLAN
2806 W CARLETON RD
HILLSDALE MI 49242

PH COMMERCIAL LLC
728 SILVER SHORE DR SE
GRAND RAPIDS MI 49548

PRECISION GAGE LLC
1401 S GRANDSTAFF DR
AUBURN IN 46706

RATHBUN, LARRY
410 WEST ST
JONESVILLE MI 49250

RUPERT, DENNIS A & RENEE C
4411 MECHANIC RD
HILLSDALE MI 49242

SANDY, TROY A
SANDY, TROY T
1995 MOORE RD
HILLSDALE MI 49242

TI GROUP AUTOMOTIVE SYSTEMS LLC
C/O JESSICA RICHARDS
2020 TAYLOR RD
AUBURN HILLS MI 48326

TWOZONE, LLC
HOMOVEC, DREW T, RESIDENT AGENT
221 INDUSTRIAL DR
HILLSDALE MI 49242

Parcel Number	Street Address	Owner Name	2025 Class	Current use	Total Acres	Arch, Industrial, or			2025 SEV	Estimated True Cash Value	Per Parcel Cap by Ordinance (HMC Sec 2-235)	Cap Based on Property Class	FF Share with Class Caps	% of Total Cost specially assessed
						Proctor	Front Feet	Corner Lot?						
006-015-300-13	3220 W Carleton Rd	Patillo Family Properties LLC	201	shopping center	2.83		415.00	Long	433,600	\$ 867,200	\$ 216,800.00	\$ 10,000.00	\$ 10,000.00	0.75%
006-016-400-21	3310 Beck Rd	Jackson-Hillsdale Comm Ment Health	201	vacant lot	2.20		181.28	Short	20,000	\$ 40,000	\$ 10,000.00	\$ 10,000.00	\$ 10,000.00	0.75%
006-016-400-22	300 Industrial Dr	Jackson-Hillsdale Comm Ment Health	201	vacant lot	6.27		778.60	No	65,000	\$ 130,000	\$ 32,500.00	\$ 10,000.00	\$ 10,000.00	0.75%
006-016-400-35	3120 W Carleton Rd	Jackson Community College	201	school	8.34		613.05	Long	714,200	\$ 1,428,400	\$ 357,100.00	\$ 10,000.00	\$ 10,000.00	0.75%
006-221-226-07	260 Industrial Dr	Precision Gage LLC	301	industrial processing/warehouse	4.38		300.00	No	403,700	\$ 807,400	\$ 201,850.00	\$ 15,000.00	\$ 15,000.00	1.13%
006-221-226-11	282 Industrial Dr	Precision Gage LLC	301	industrial processing/warehouse	5.53		380.00	No	1,295,600	\$ 2,591,200	\$ 647,800.00	\$ 15,000.00	\$ 15,000.00	1.13%
006-221-226-12	285 Industrial Dr	AAA Storage By U LLC	201	warehouse, mini	5.24		380.00	No	95,300	\$ 190,600	\$ 47,650.00	\$ 10,000.00	\$ 10,000.00	0.75%
006-221-226-13	279 Industrial Dr	Hillsdale Classical LLC	301	school	1.09		174.78	No	140,809	\$ 281,617	\$ 70,404.25	\$ 15,000.00	\$ 13,732.68	1.04%
006-221-226-14	277 Industrial Dr	Foust Electro Mold Inc	301	industrial processing/warehouse	1.09		174.78	No	120,400	\$ 240,800	\$ 60,200.00	\$ 15,000.00	\$ 13,732.68	1.04%
006-221-226-15	Proctor Dr Parking	Hillsdale Classical LLC	301	parking lot	1.17		165.00	No	24,000	\$ 48,000	\$ 12,000.00	\$ 15,000.00	\$ 12,000.00	0.90%
006-221-226-16	Proctor Dr	ACT Test Panels LLC	301	vacant lot	1.47		75.00	No	16,600	\$ 33,200	\$ 8,300.00	\$ 15,000.00	\$ 5,892.84	0.44%
006-221-226-17	Proctor Dr Parking	ACT Test Panels LLC	301	parking lot	1.47		75.00	No	22,900	\$ 45,800	\$ 11,450.00	\$ 15,000.00	\$ 5,892.84	0.44%
006-221-226-21	263 Industrial Dr	Leonard's Property Management LLC	301	industrial processing/warehouse	2.57		451.85	Long	198,900	\$ 397,800	\$ 99,450.00	\$ 15,000.00	\$ 15,000.00	1.13%
006-221-226-22	256 Industrial Dr	Precision Gage LLC	301	industrial processing/warehouse	3.41		234.00	Short	688,400	\$ 1,376,800	\$ 344,200.00	\$ 15,000.00	\$ 13,789.25	1.04%
006-221-226-24	266 Industrial Dr	Condon Family LLC	301	industrial processing/warehouse	8.74		600.00	No	832,100	\$ 1,664,200	\$ 416,050.00	\$ 15,000.00	\$ 15,000.00	1.13%
006-221-226-25	273 Industrial Dr	ACT Test Panels LLC	301	industrial processing/warehouse	3.34		349.56	No	595,000	\$ 1,190,000	\$ 297,500.00	\$ 15,000.00	\$ 15,000.00	1.13%
006-221-276-01	221 Industrial Dr	Two2One LLC	301	industrial processing/warehouse	5.24		205.90	Short	283,700	\$ 567,400	\$ 141,850.00	\$ 15,000.00	\$ 12,133.36	0.91%
006-221-276-04	215 Industrial Dr	PH Commercial LLC	301	industrial processing/warehouse	1.61		290.68	No	137,200	\$ 274,400	\$ 68,600.00	\$ 15,000.00	\$ 15,000.00	1.13%
006-221-276-05	225 Mechanic St	Hillsdale Properties LLC	301	industrial processing/warehouse	3.53		456.00	Long	54,800	\$ 109,600	\$ 27,400.00	\$ 15,000.00	\$ 15,000.00	1.13%
006-221-276-07	200 Industrial Dr	Hillsdale Properties LLC	301	industrial processing/warehouse	4.23		290.96	No	223,800	\$ 447,600	\$ 111,900.00	\$ 15,000.00	\$ 15,000.00	1.13%
006-221-276-08	250 Industrial Dr	Cobra Holdings LLC	301	industrial processing/warehouse	4.38		300.00	Short	301,500	\$ 603,000	\$ 150,750.00	\$ 15,000.00	\$ 15,000.00	1.13%
006-221-276-09	215 Mechanic St	Hillsdale Properties LLC	301	industrial processing/warehouse	6.42		467.70	Short	489,100	\$ 978,200	\$ 244,550.00	\$ 15,000.00	\$ 15,000.00	1.13%
006-222-100-10	2806 W CARLETON RD	PENN, MICHAEL A	401	single-family residence	2.58		389.68	Long	182,000	\$ 364,000	\$ 91,000.00	\$ 5,000.00	\$ 5,000.00	0.38%
006-222-100-11	420 ARCH AVE	400 ARCH LLC	301	vacant lot	0.39		66	No	87,300	\$ 174,600	\$ 43,650.00	\$ 15,000.00	\$ 5,185.70	0.39%
006-222-100-14	2768 W CARLETON RD	SANDY, TROY A	201	automotive service/sales	0.62		342.48	Long	151,500	\$ 303,000	\$ 75,750.00	\$ 10,000.00	\$ 10,000.00	0.75%
006-222-100-15	2764 W CARLETON RD	SANDY, TROY A	201	vacant lot	0.90		16.50	No	95,000	\$ 190,000	\$ 47,500.00	\$ 10,000.00	\$ 1,296.42	0.10%
006-222-151-04	400 ARCH AVE	400 ARCH LLC	301	industrial processing/warehouse	3.37		269.11	Short	375,800	\$ 751,600	\$ 187,900.00	\$ 15,000.00	\$ 15,000.00	1.13%
006-222-152-10	200 ARCH AVE	TI GROUP AUTOMOTIVE SYSTEMS LLC	301	industrial processing/warehouse	5.67		724.73	Long	623,600	\$ 1,247,200	\$ 311,800.00	\$ 15,000.00	\$ 15,000.00	1.13%
006-222-152-12	190 URAN ST	ESSEX SPECIALTY PRODUCTS	301	industrial processing/warehouse	20.30		215.24	Short	1,195,400	\$ 2,390,800	\$ 597,700.00	\$ 15,000.00	\$ 12,683.75	0.96%
006-222-177-01	407 ARCH AVE	RATHBUN, LARRY	201	warehouse/fleet service	1.14		140.60	No	45,800	\$ 91,600	\$ 22,900.00	\$ 10,000.00	\$ 10,000.00	0.75%
006-222-177-02	405 ARCH AVE	RATHBUN, LARRY	201	warehouse/fleet service	1.15		128.00	No	35,300	\$ 70,600	\$ 17,650.00	\$ 10,000.00	\$ 10,000.00	0.75%
006-222-177-03	305 ARCH AVE	EMAC PROPERTIES LLC	301	industrial processing/warehouse	0.37		80.00	No	115,100	\$ 230,200	\$ 57,550.00	\$ 15,000.00	\$ 6,285.70	0.47%
006-222-177-06	301 ARCH AVE	ARCHIE REAL ESTATE LLC	301	industrial processing/warehouse	3.48		300.00	No	522,300	\$ 1,044,600	\$ 261,150.00	\$ 15,000.00	\$ 15,000.00	1.13%
006-222-177-10	129 MECHANIC ST	RUPERT, DENNIS A & RENEE C	201	warehouse/fleet service	0.85		215.24	Long	80,800	\$ 161,600	\$ 40,400.00	\$ 10,000.00	\$ 8,455.83	0.64%
006-222-177-14	303 ARCH AVE	RATHBUN, LARRY	301	vacant lot	0.61		33.00	No	9,700	\$ 19,400	\$ 4,850.00	\$ 15,000.00	\$ 2,592.85	0.20%
006-222-177-15	305 ARCH AVE PARKING	EMAC PROPERTIES LLC	301	parking lot	0.22		47.00	No	5,100	\$ 10,200	\$ 2,550.00	\$ 15,000.00	\$ 2,550.00	0.19%
006-222-177-16	201 ARCH AVE	DESJARDIN, DAN	301	warehouse/fleet service	2.01		159.99	No	64,500	\$ 129,000	\$ 32,250.00	\$ 15,000.00	\$ 12,570.61	0.95%
006-222-177-17	271 ARCH AVE	ARCHIE REAL ESTATE LLC	301	vacant lot	2.76		227.00	No	24,600	\$ 49,200	\$ 12,300.00	\$ 15,000.00	\$ 12,300.00	0.93%
Totals:					130.95		10,713.71		10,770,409	\$ 21,540,817	\$ 5,385,204.25		\$ 421,094.50	31.74%

Parcel Count:	38	Per Parcel Flat Rate without caps (Property Owner Share/Parcel Count)	\$ 17,453.95
% of Total specially assessed per parcel:	2.63%		

Calculated from SEV on last tax roll (estimated for exempt)
25%

Total ESTIMATED Project Cost:		\$ 1,326,500.00	
Cost allocation without per parcel caps:			
City Share	50%	\$ 663,250.00	53%
Property Owner Share	50%	\$ 663,250.00	47%
Cost allocation with per parcel cap by ordinance:		Cost allocation with per parcel cap by ordinance:	
City Share	68%	\$ 905,405.50	
Property Owner Share	32%	\$ 421,094.50	
inferred values - exempt, abated, or easement access			

Estimated based on current policy

City of Hillsdale

Agenda Item Summary

Meeting Date: February 16, 2026

Agenda Item: Public Hearing

SUBJECT: 2026 Special Assessment District – SAD 2026-2, South Street – Public Hearing and Resolution

BACKGROUND PROVIDED BY STAFF:

At the January 20, 2026 City Council meeting a public hearing date of February 16, 2026 was set to consider any objections to the improvements under consideration for reconstruction of South St. The total estimated cost for this project is \$775,000. By City policy adopted February 17, 2025, up to 50% of the total project costs may be covered through special assessment to the 37 parcels currently identified in the South St. Special Assessment District (SAD 2026-2) which includes South St. from S. Broad St. (M-99) to Reading Ave.

The project cost split is in accordance with the City’s Policy on Special Assessment Districts for Street Projects updated at the February 17, 2025 meeting. It is important to note that the total assessed cost to the affected property owners will not go above the policy maximum assessment limits based on classification or 25% of the property value per Hillsdale Ordinance Chapter 2, Article V, Section 2-335, whichever is the lesser amount. Notice of the meeting was published once each week for two successive weeks in the local newspaper. Affected property owners were mailed information on the proposed district on February 5, 2026.

According to the City Charter, Sec. 2-335 Hearing procedure, “If more than 50% of the number of owners of privately owned real property to be assessed for such improvement shall object in writing to the proposed improvement, the improvement shall not be made without the affirmative vote of seven of the members of the council.”

RECOMMENDATION:

Based on the written objections received, which exceed 50% of the number of owners of privately owned real property proposed to be assessed, staff does not recommend establishment of the South Street Special Assessment District (SAD 2025-2). Pursuant to Sec. 2-335 of the City Charter, the improvement may not proceed absent the affirmative vote of seven members of the Council.

**CITY OF HILLSDALE
RESOLUTION NO. _____**

A RESOLUTION TO APPROVE ESTABLISHMENT OF THE SOUTH STREET SPECIAL ASSESSMENT DISTRICT (SAD 2026-2).

Minutes of a regular meeting of the City Council of the City of Hillsdale, Hillsdale County Michigan, held in the City Hall, City Council Chambers, 97 North Broad Street, Hillsdale, Michigan, in said City, on February 16, 2026 at 7:00 p.m.

PRESENT: _____

ABSENT: _____

The following preamble and resolution were offered by Councilperson _____ and supported by Councilperson _____.

WHEREAS, the City Council, by resolution 3666 at its January 20, 2026 regular meeting, deemed it necessary and declared its intention to construct improvements by reconstruction and other appurtenances of South Street from South Broad Street to Reading Avenue, and did provide for a public hearing to hear any objections to the proposed improvements; and

WHEREAS, a public hearing was held February 16, 2026 for said purpose; and

WHEREAS, the total cost of this project is estimated to be \$775,000.

NOW, THEREFORE, BE IT RESOLVED, that said public improvements be made and the City Manager be directed to proceed with the same; and

BE IT FURTHER RESOLVED, that the plans, specifications and detailed estimates relating to said improvements be hereby approved and adopted and the City Manager is directed to take action necessary to accomplish the said improvements; and

BE IT FURTHER RESOLVED, that Council does hereby determine that up to 50% of the costs are to be defrayed by special assessment, allocated as follows, in accordance with the policy and procedure adopted February 17, 2025:

1. The assessments will be individually determined by frontage and lot, and equally distributed thereto.

- a. In no case shall the whole amount to be levied by special assessment upon any lot or premises exceed 25 percent of the value of such lot or land as valued on the most recent assessment roll certified by the Board of Review.
- b. The whole amount to be levied upon any lot or premises is further subject to the following maximum amounts, based on property classification as defined in Michigan’s General Property Tax Act, being Act 206 of 1893 as amended, Section 211.34c, and certified on same assessment roll;
 - i. For property classified as Residential no more than \$5,000
 - ii. For property classified as Commercial no more than \$10,000
 - iii. For all other property \$15,000
- 2. The special assessment may be paid in full without interest on or before August 31, 2026.
- 3. If remaining unpaid, the assessment shall be divided into 15 annual installments with the first installment also to be paid on or before August 31, 2026 without interest.
- 4. Deferred special assessment installments shall be subject to interest to the date of payment up to 6% (to be determined based on today’s 10-year Treasury bond rate plus 1%).
- 5. Unpaid installments as of September 1 each year shall be certified by the City Treasurer and added to the winter tax bill.
- 6. All or a portion of the deferred special assessment balance or installments may be paid in advance at any time with interest only to the date of payment.
- 7. That the premiums upon which special assessments shall be levied, and which shall be hereafter known and designated as Special Assessment District 2026-2, are described as follows:

Special Assessment Properties
 South Street – South Broad Street to Reading Avenue

BE IT FURTHER RESOLVED, that the Assessor is hereby directed to cause the special assessments to be made, and report same to Council within 90 days, at which time the report shall be placed on file with the City Clerk and a public hearing scheduled to review the special assessment roll.

The foregoing resolution offered by Councilmember _____

And supported by Councilmember _____

The vote in favor of the resolution being as follows:

Roll call: _____

Motion _____, _____ - _____

Resolution declared _____.

Date: February 16, 2026

Scott Sessions, Mayor

Katy Price, Clerk

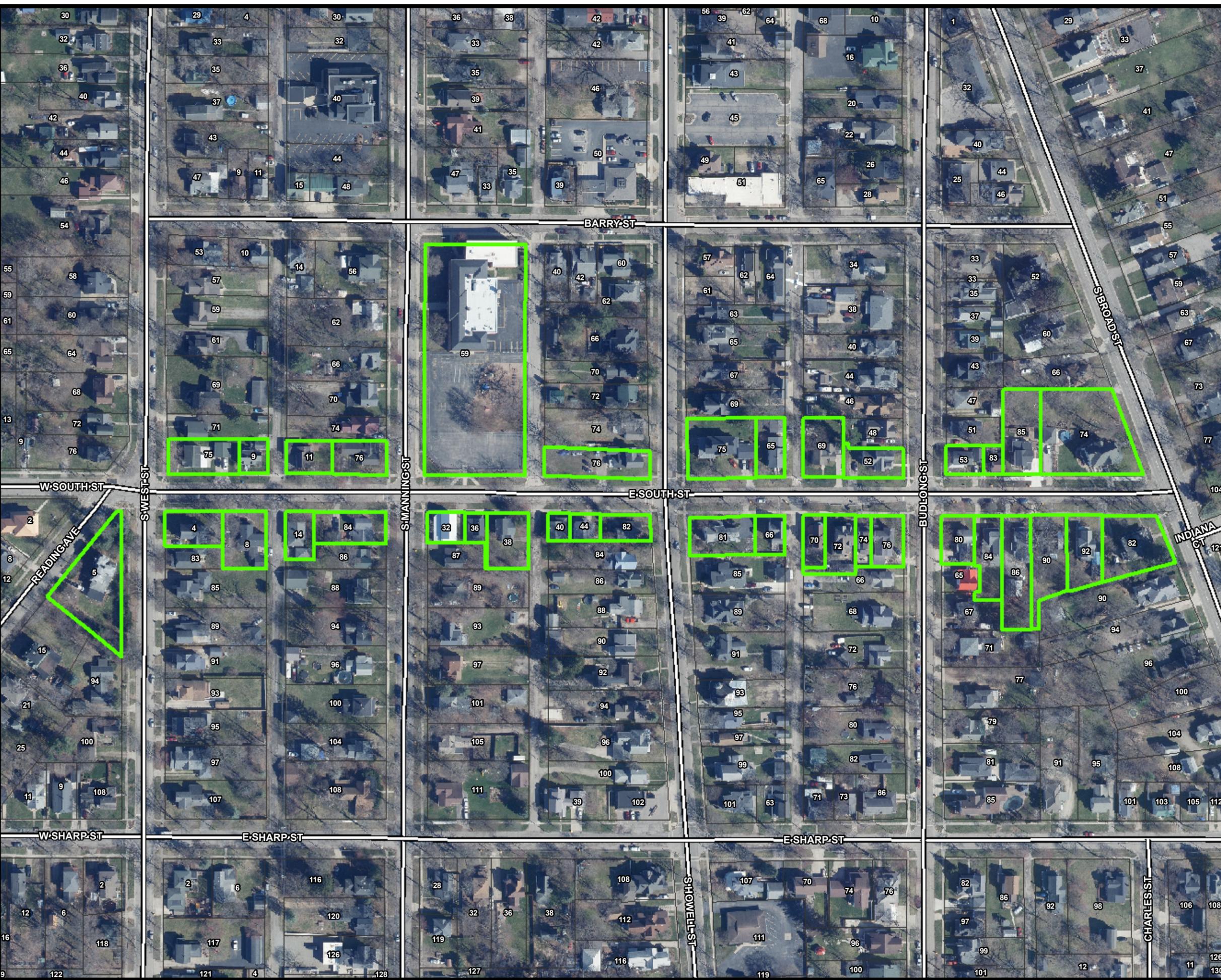
CERTIFICATION

As the Clerk for the City of Hillsdale, Hillsdale County, Michigan, I certify that this is a true and complete copy of a resolution adopted by the Hillsdale City Council, Hillsdale County at its regular meeting, held February 16, 2026.

Katy Price, Clerk

City of Hillsdale Special Assessment District 2026-2

South St from M-99/Broad St to Reading Ave



Legend

-  City Boundary
-  Railroad
-  Streets
-  Spec Asmt District 2026-2 (36 Parcels)
-  Parcels





MEMORANDUM

Date: January 6, 2026
To: City Council, City Manager Mackie, DPS Director Blake
From: Robert Stiverson, PE, City Engineer
Subject: South Street – Reading Ave to Broad St (M-99)

Please find the attach draft Opinion of Probable Costs, bid document, and plans for Arch street.

We are recommending a budget of

Construction	\$633,000
Tree Removal & Power Pole/Telephone Pole relocation	\$ 17,000
Engineering/Project Management/Special Assessment	\$ 60,000
Contingencies:	\$ 65,000
Total:	\$775,000

Project Management is based on full-time inspection, however, we plan on performing Part Time inspection with the hours based on the quality and performance of the contractor.

As always, Construction costs are based on Historic Bid Tabulations for the City of Hillsdale with a comparison of MDOT Unit Prices. Project Management/Inspection is based on MDOT guideline for installation of Quantities and previous experience.

Contingencies are approximately 10%, and are recommended based on there are unknowns in the field that could impact project costs.

CITY OF HILLSDALE SOUTH STREET STREET RECONSTRUCTION READING AVE TO BROAD ST (M99)



REVISIONS	DATE
DATE OF PLAN	1/6/26

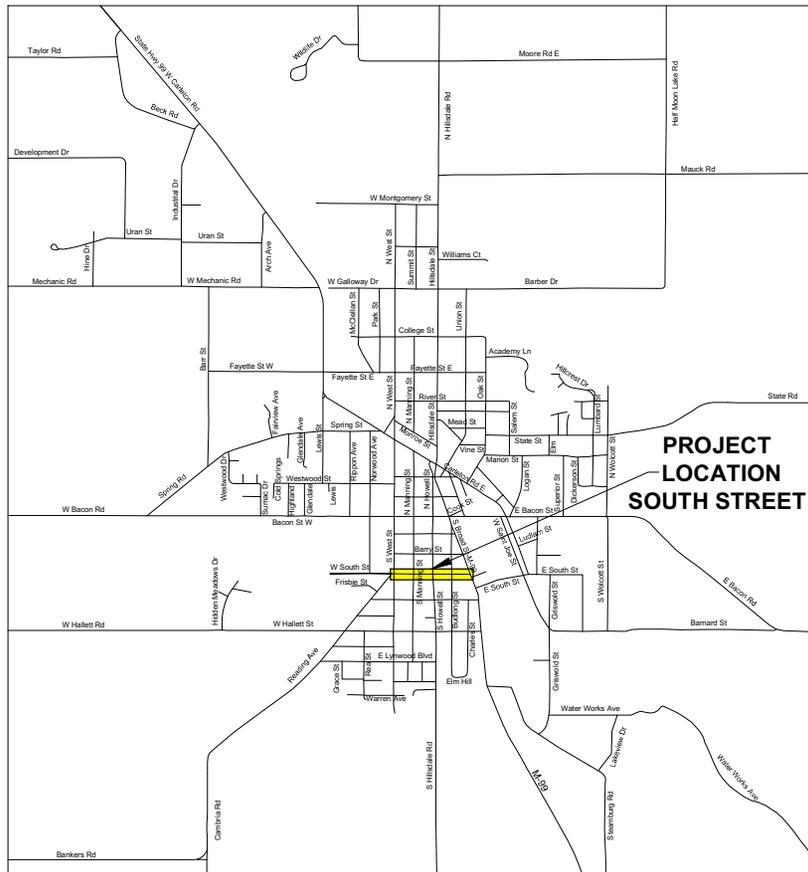
SOUTH STREET
READING AVE TO BROAD (M-99) ST
SECTION 26 and 27, T6S-R3W
CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN

COVER
SHEET

SCALE	NAME	DATE
DESIGNED	RDS	1/6/26
DRAWN	RDS	1/6/26
CHECKED		

DRAWING NO.

C1



AREA MAP
NOT TO SCALE



**Know what's below.
Call before you dig.**

FOR PROTECTION OF UNDERGROUND UTILITIES AND IN CONFORMANCE WITH PUBLIC ACT 53, THE CONTRACTOR SHALL DIAL 1-800-482-7171 OR 811 A MINIMUM OF THREE FULL WORKING DAYS, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS PRIOR TO THE BEGINNING OF EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED.

THE UTILITY LOCATIONS AS HEREON SHOWN ARE BASED ON FIELD OBSERVATIONS AND A CAREFUL REVIEW OF MUNICIPAL AND UTILITY RECORDS. HOWEVER, IT IS NOT POSSIBLE TO DETERMINE THE PRECISE SIZE, LOCATION, DEPTH, PRESSURE, OR ANY OTHER CHARACTERISTICS OF UNDERGROUND UTILITIES, TANKS OR SEPTIC FIELDS WITHOUT EXCAVATION. THEREFORE, WE CANNOT GUARANTEE THE ACCURACY OF COMPLETENESS OF THE BURIED UTILITY INFORMATION HEREON SHOWN.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THESE UTILITY LOCATIONS PRIOR TO CONSTRUCTION AND MAKE EVERY EFFORT TO PROTECT AND/OR RELOCATE THEM AS REQUIRED. THE CONTRACTOR SHALL NOTIFY THE ENGINEER/SURVEYOR AS SOON AS POSSIBLE IN THE EVENT A DISCREPANCY IS FOUND.

REFERENCES TO SPECIFICATIONS:
THE IMPROVEMENTS COVERED BY THESE PLANS SHALL BE DONE IN ACCORDANCE WITH THE PROJECT DRAWINGS, NOTES, AND THE APPLICABLE SECTIONS OF THE 2020 MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.

ALL TRAFFIC CONTROL DEVICES SHALL BE IN ACCORDANCE WITH THE MOST CURRENT VERSION OF THE MICHIGAN MANUAL OF TRAFFIC CONTROL DEVICES (MMUTCD)

SHEET NO.	DESCRIPTION
C1	COVER SHEET
C2	DEMOLITION PLAN - READING AVE TO STA 28+50
C3	DEMOLITION PLAN - STA. 22+50 TO BROAD (M-99)
C4	CONSTRUCTION - READING AVE TO STA 22+50
C5	CONSTRUCTION - STA 22+50 TO STA 28+50
C6	CONSTRUCTION - STA 28+50 TO BROAD (M99) ST
C7	PAVEMENT MARKING PLAN
C8	PAVEMENT DETAILS
C9	TRAFFIC CONTROL PLAN
C10	TRAFFIC CONTROL PLAN - SIGN DETAILS
C11	NOTE SHEET & LEGEND

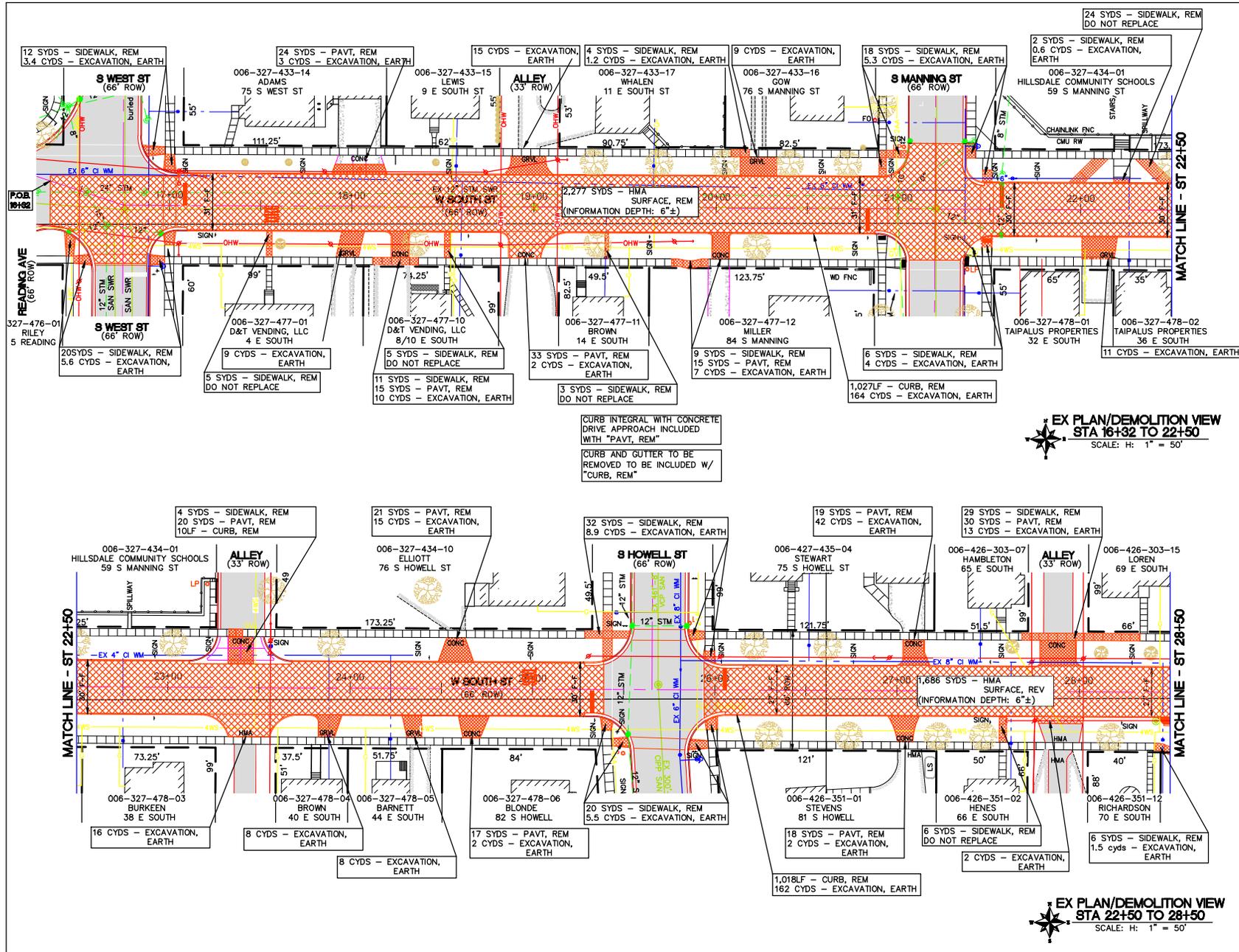


REVISIONS	DATE
DATE OF PLAN	1/6/26

SOUTH STREET
READING AVE TO BROAD (M-99) ST
SECTION 26 and 27, T6S-R3W
CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN
DEMOLITION PLAN
READING AVE TO STA 28+50

SCALE	NAME	DATE
DESIGNED	RDS	1/6/26
DRAWN	RDS	1/6/26
CHECKED		

DRAWING NO. **C2**



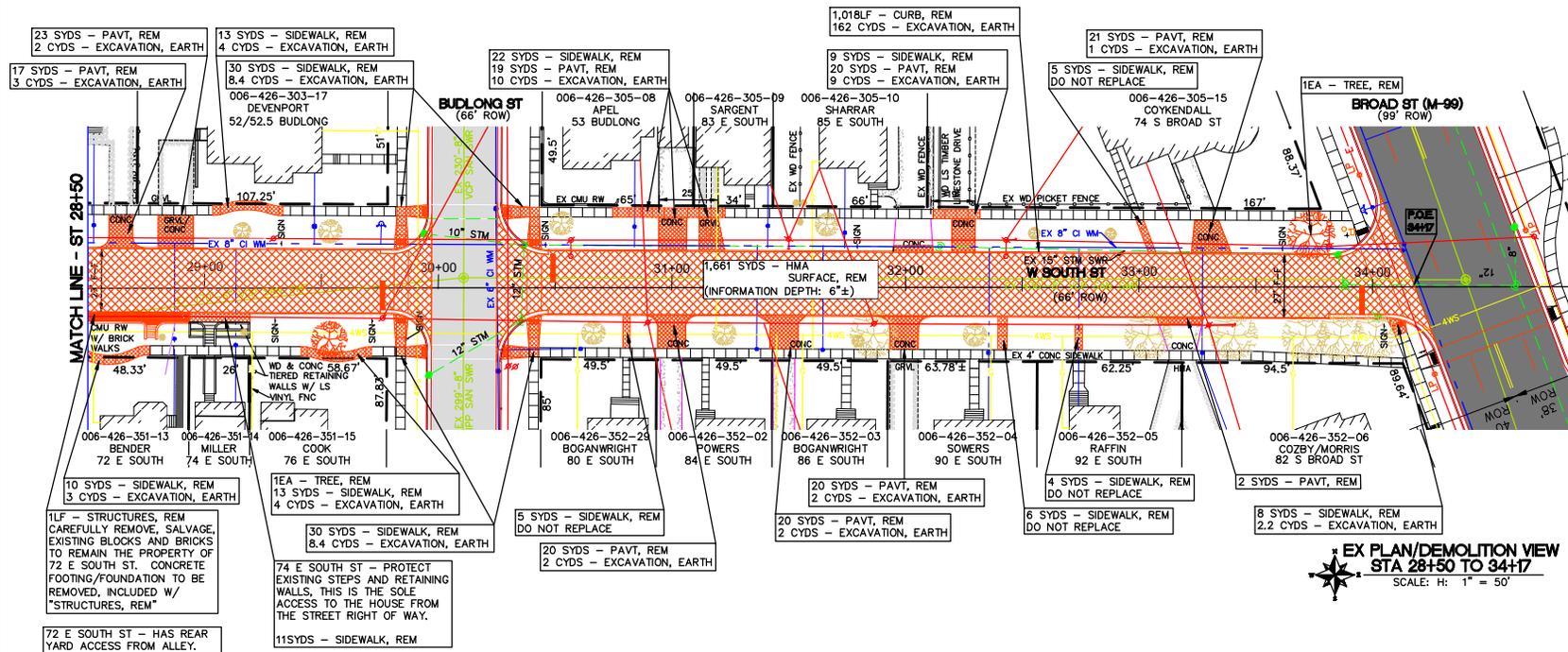
CURB INTEGRAL WITH CONCRETE DRIVE APPROACH INCLUDED WITH "PAVT, REM"

CURB AND GUTTER TO BE REMOVED TO BE INCLUDED W/ "CURB, REM"

EX PLAN/DEMOLITION VIEW
STA 16+32 TO 22+50
SCALE: H: 1" = 50'

EX PLAN/DEMOLITION VIEW
STA 22+50 TO 28+50
SCALE: H: 1" = 50'

CURB INTEGRAL WITH CONCRETE DRIVE APPROACH INCLUDED WITH "PAVT, REM"
CURB AND GUTTER TO BE REMOVED TO BE INCLUDED W/ "CURB, REM"



REVISIONS	DATE
DATE OF PLAN	1/6/26

**SOUTH STREET
READING AVE TO BROAD (M-99) ST
SECTION 26 and 27, T6S-R3W
CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN
DEMOLITION PLAN
STA 28+50 TO BROAD (M99) ST**

SCALE		
DESIGNED	NAME	DATE
DRAWN	RDS	1/6/26
CHECKED	RDS	1/6/26
DRAWING NO.		

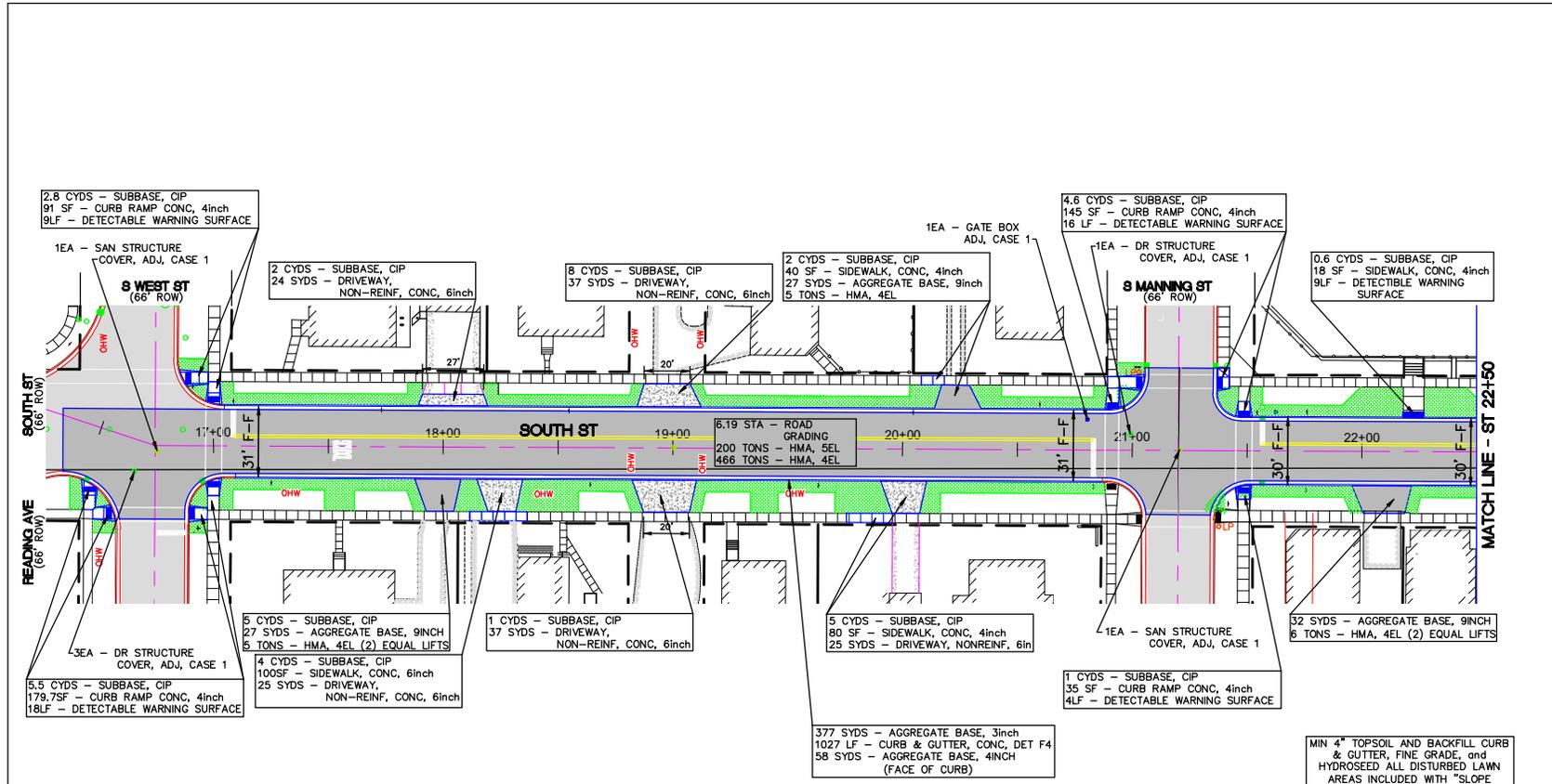
C3

REVISIONS	DATE
DATE OF PLAN	1/6/26

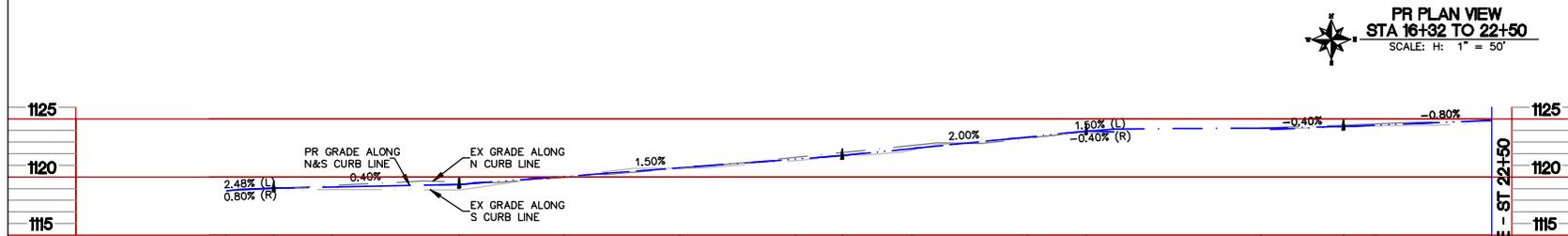
**SOUTH STREET
READING AVE TO BROAD (M-99) ST**
SECTION 26 and 27, T6S-R3W
CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN
**CONSTRUCTION PLAN
READING AVE TO STA 22+50**

SCALE	NAME	DATE
DESIGNED	RDS	1/6/26
DRAWN	RDS	1/6/26
CHECKED		

DRAWING NO. **C4**



**PR PLAN VIEW
STA 16+32 TO 22+50**
SCALE: H: 1" = 50'



STATION	EXISTING ELEVATION	PROPOSED ELEVATION	VERTICAL CURVE DATA
17+00	1118.92	1118.92	2.48% (L), 0.80% (R)
17+05	1118.80	1118.92	
17+10	1118.92	1118.92	0.40%
17+15	1118.92	1118.92	
17+20	1118.92	1118.92	1.50%
17+25	1118.92	1118.92	
18+00	1118.91	1118.91	2.00%
18+05	1119.36	1119.36	
19+00	1120.09	1120.04	1.80% (L), -0.40% (R)
19+05	1120.04	1120.04	
19+10	1120.76	1120.73	-0.80%
19+15	1120.79	1120.79	
19+20	1121.41	1121.69	-0.40%
19+25	1121.54	1121.94	
19+30	1122.09	1122.09	2.00%
19+35	1121.64	1121.64	
19+40	1122.31	1122.70	1.80% (L), -0.40% (R)
19+45	1122.43	1122.43	
19+50	1123.34	1123.33	-0.80%
19+55	1123.44	1123.44	
19+60	1123.71	1123.86	2.00%
19+65	1123.94	1123.94	
19+70	1123.89	1123.89	1.80% (L), -0.40% (R)
19+75	1123.69	1123.69	
20+00	1124.09	1124.20	-0.40%
20+05	1124.09	1124.20	
20+10	1124.47	1124.47	2.00%
20+15	1124.34	1124.34	
20+20	1124.40	1124.57	1.80% (L), -0.40% (R)
20+25	1124.45	1124.45	
20+30	1124.66	1124.81	-0.80%
20+35	1124.66	1124.81	

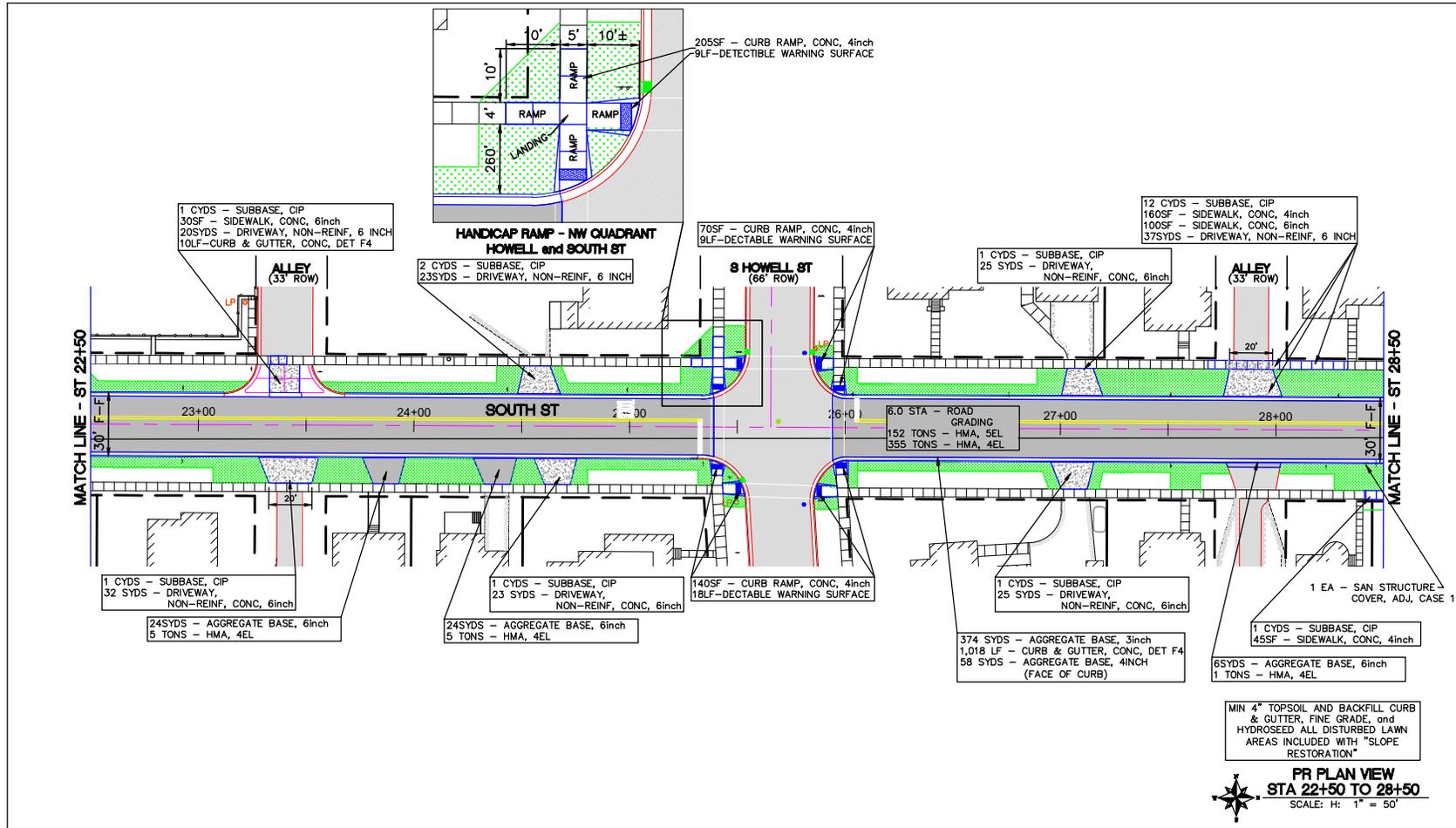
PROFILE VIEW - CURBS
SCALE: H: 1" = 50'
V: 1" = 10'

REVISIONS	DATE
DATE OF PLAN	1/6/26

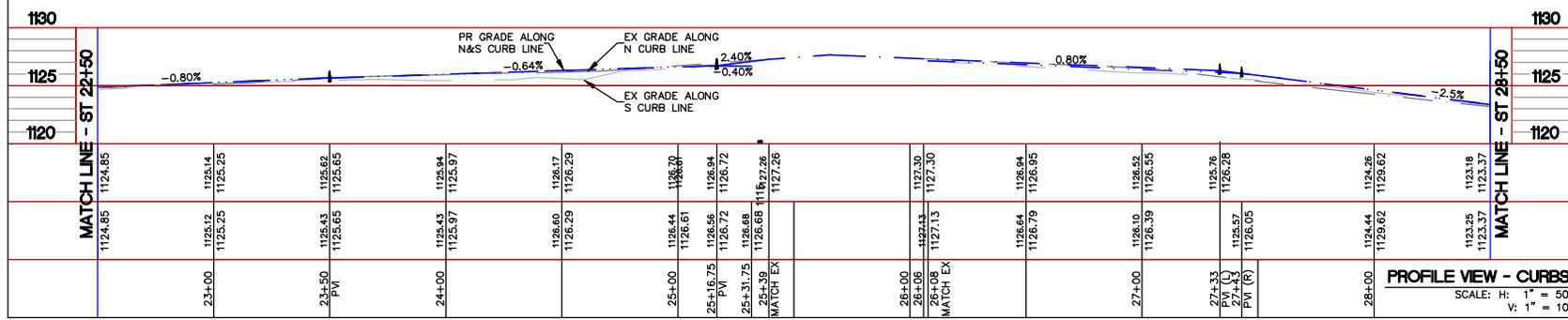
**SOUTH STREET
READING AVE TO BROAD (M-99) ST
SECTION 26 and 27, T6S-R3W
CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN
CONSTRUCTION PLAN
STA 22+50 TO STA 28+50**

SCALE	NAME	DATE
DESIGNED	RDS	1/6/26
DRAWN	RDS	1/6/26
CHECKED		
DRAWING NO.		

C5



**PR PLAN VIEW
STA 22+50 TO 28+50
SCALE: H: 1" = 50'**

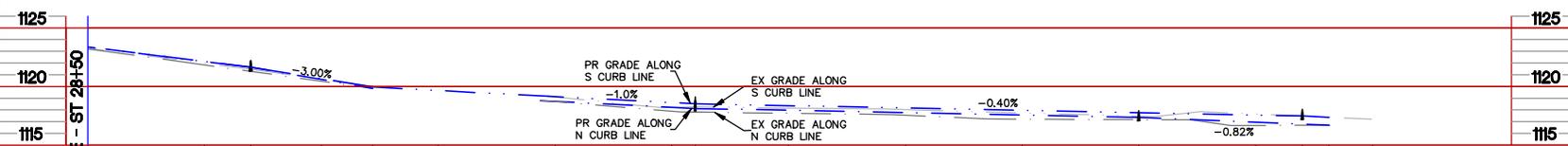
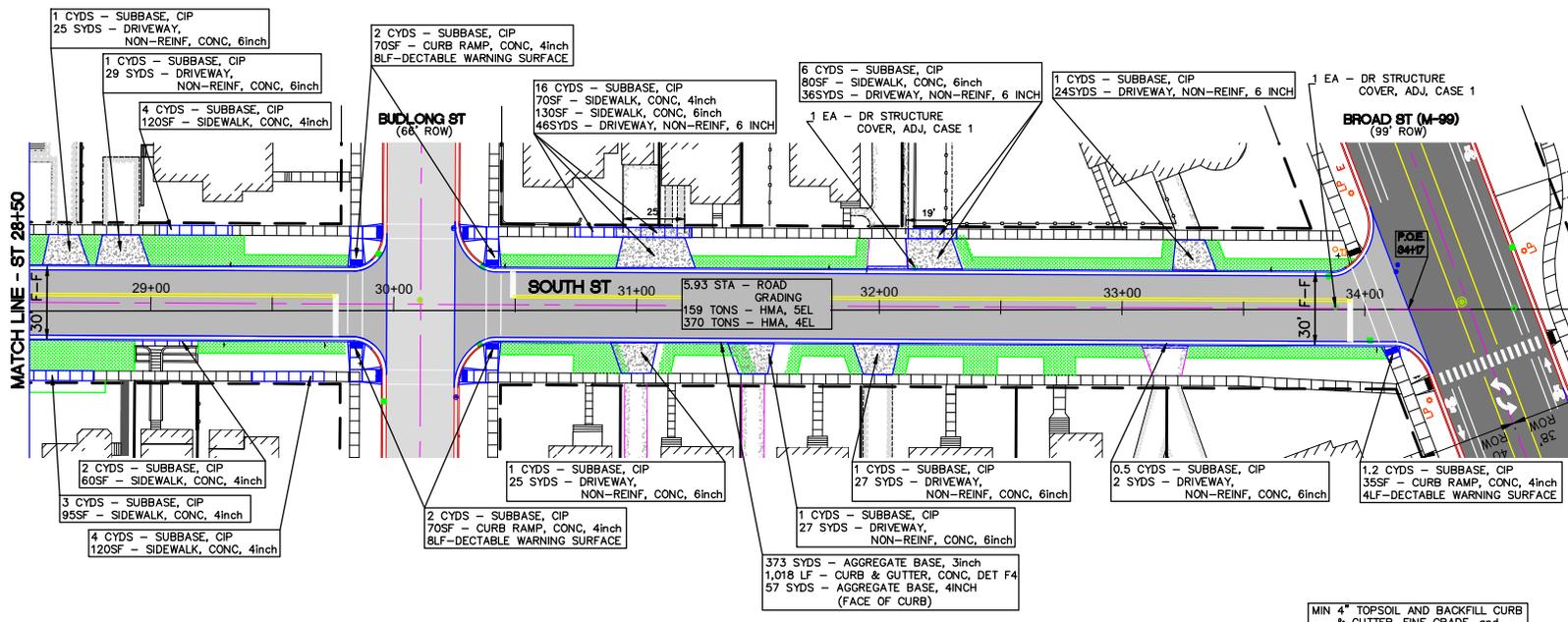


**PROFILE VIEW - CURBS
SCALE: H: 1" = 50'
V: 1" = 10'**

REVISIONS	DATE
DATE OF PLAN	1/6/26

SOUTH STREET
READING AVE TO BROAD (M-99) ST
SECTION 26 and 27, T6S-R3W
CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN
CONSTRUCTION PLAN
STA 28+50 TO BROAD (M-99) ST

SCALE	NAME	DATE
DESIGNED	RDS	1/6/26
DRAWN	RDS	1/6/26
CHECKED		
DRAWING NO.		



STA	1123.16	1123.37	1121.62	1122.12	1121.63	1120.45	1120.69	1119.84	1121.44	1121.61	1118.70	1118.73	1118.22	1117.89	1117.53	1117.61	1118.63	1118.13	1118.16	1117.72	1117.97	1117.21	1117.56	1117.48	1117.57	1117.64	1116.70	1116.95	1117.46	1117.75	1117.51	1117.37	1116.70	1116.70		
MATCH LINE - ST 28+50	1123.25	1123.37	1121.97	1122.12	1121.63	1120.59	1120.66	1119.96	1121.44	1121.61	1118.16	1118.16	1118.22	1118.22	1118.22	1118.22	1118.63	1118.63	1118.16	1118.16	1117.74	1117.56	1117.48	1117.57	1117.64	1116.57	1116.70	1117.46	1117.75	1117.51	1117.37	1116.70	1116.70			
29+00																																				
29+20																																				
PVI																																				
29+72																																				
MATCH EX																																				
30+00																																				
30+47 L																																				
MATCH EX																																				
31+00																																				
31+10																																				
32+00																																				
33+00																																				
PW (L)																																				
34+00																																				

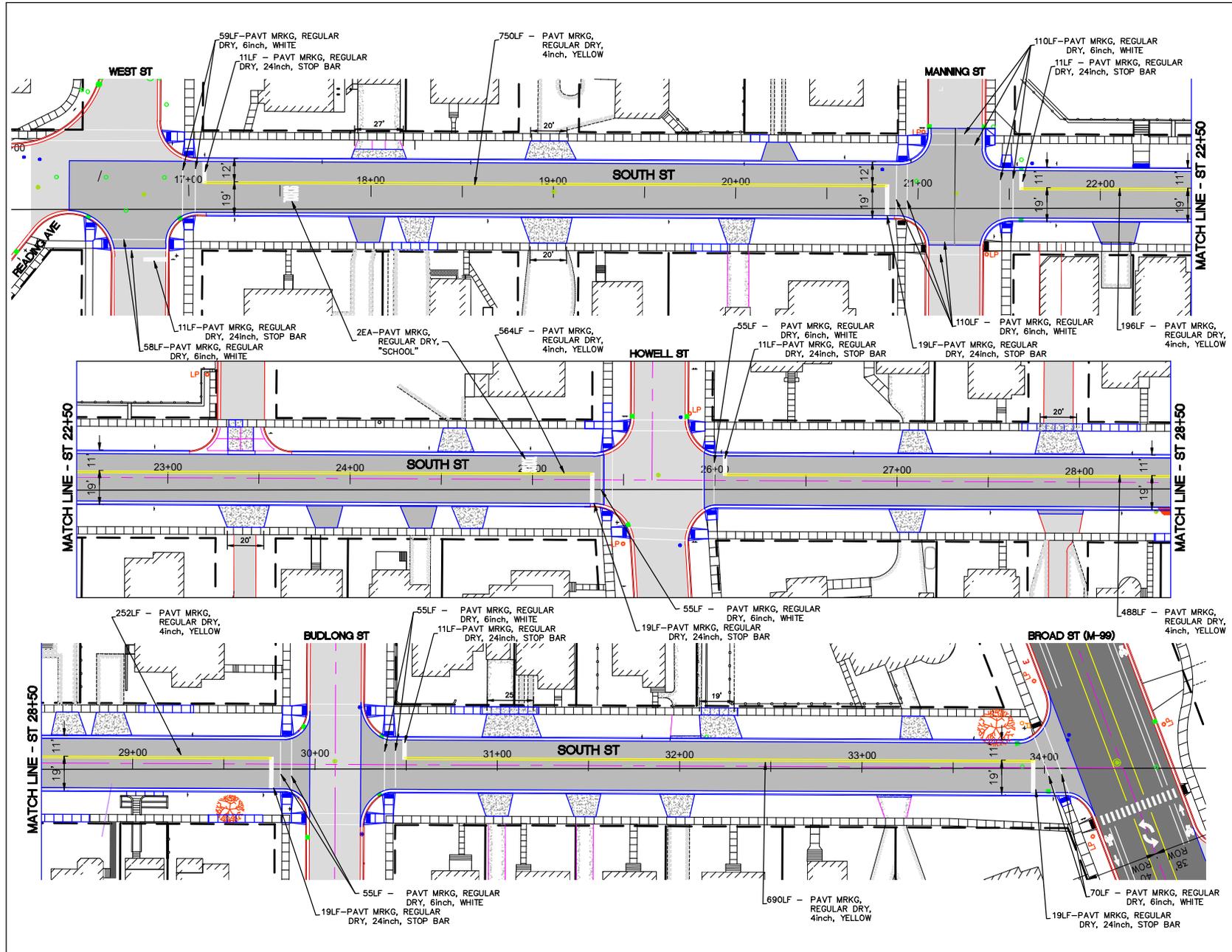
C6

REVISIONS	DATE
DATE OF PLAN	1/6/26

**SOUTH STREET
READING AVE TO BROAD (M-99) ST**
SECTION 26 and 27, T6S-R3W
CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN
**PAVEMENT
MARKING PLAN**

SCALE	NAME	DATE
DESIGNED	RDS	1/6/26
DRAWN	RDS	1/6/26
CHECKED		

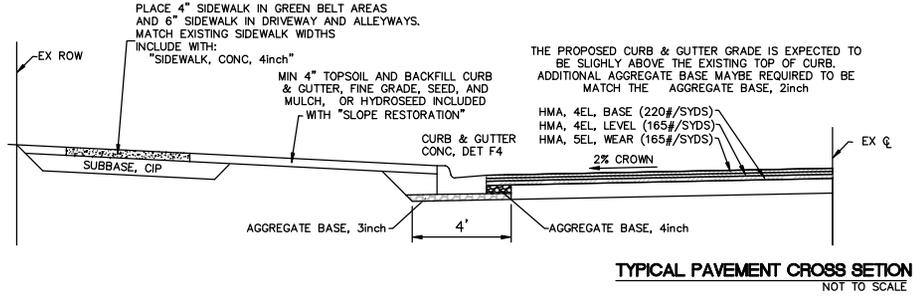
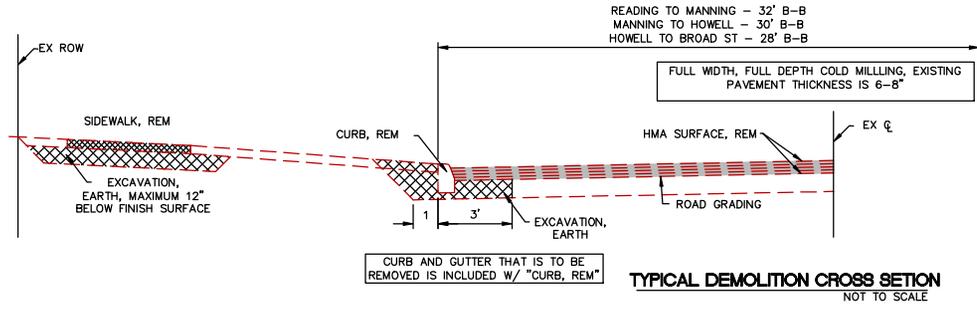
DRAWING NO.
C7



HMA APPLICATION TABLE					
COURSE	TYPE	ITEM	EST. YIELD	BINDER GRADE	
①	BASE	4EL	220 LBS/SYD	PG 58-28	
②	LEVELING	4EL	165 LBS/SYD	PG 58-28	
③	TOP	5EL	165 LBS/SYD	PG 58-28	

NOTE: BOND COAT SHALL BE APPLIED BETWEEN SUCCESSIVE COURSES OF HMA (PAYMENT INCLUDED IN HMA MIX). APPLICATION RATE 0.05 - 0.15 GAL/SYD SS-IH, AS DIRECTED BY ENGINEER.

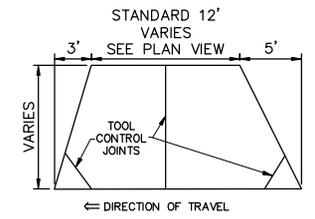
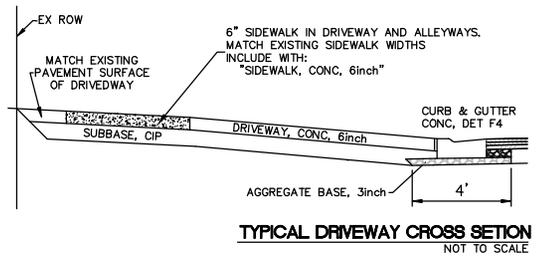
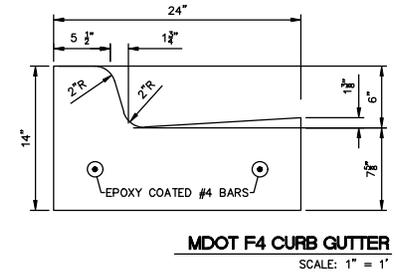
Project Quantities - Totals		
1027051	Above Ground Video	1 LSUM
1100001	Mobilization, Max	1 LSUM
2040021	Curb, Rem	3063 Ft
2040050	Pavt, Rem	374 Syd
2040055	Sidewalk, Rem	374 Syd
2040060	Structures, Rem	1 LSUM
2050016	Excavation, Earth	705 Cyd
2057002	Road Grading	18 Sta
2080020	Erosion Control, Inlet Protection, Fabric Drop	20 Ea
3010002	Subbase, CIP	120 Cyd
3020008	Aggregate Base, 3 inch	1124 Syd
3020010	Aggregate Base, 4 inch	173 Syd
3020016	Aggregate Base, 6 inch	185 Syd
4030005	Dr Structure Cover, Adj, Case 1	6 Ea
5010005	HMA Surface, Rem	5625 Syd
5010061	HMA Approach	36 Ton
5012024	HMA, 4EL	1191 Ton
5012036	HMA, 5EL	511 Ton
8010005	Driveway, Nonreinf Conc, 6 inch	572 Syd
8020038	Curb and Gutter, Conc, Det F4	3063 Ft
8030010	Detectable Warning Surface	149 Ft
8030044	Sidewalk, Conc, 4 inch	808 Sft
8030046	Sidewalk, Conc, 6 inch	440 Sft
8032001	Curb Ramp, Conc, 4 inch	1775 Sft
8110126	Pavt Mrkg, Regular Dry, 4 inch, Yellow	2930 Ft
8110127	Pavt Mrkg, Regular Dry, 6 inch, White	483 Ft
8117001	Pavt Mrkg, Regular Dry, 24 inch, Stop Bar	132 Ft
8117050	Pavt Mrkg, Regular Dry, School	2 Ea
8120170	Traffic Control	1 LSUM
8167011	Slope Restoration	2310 Syd
8230431	Gate Box, Adj, Case 1	1 Ea
8252145	Sanitary Structure Cover, Adj, Case 1	3 Ea



HMA SURFACE, REM
EXISTING HMA DEPTH EXPECTED TO BE 6-8"
REMOVE FULL DEPTH HMA IF HMA DEPTH EXCEEDS 8"
NOTIFY THE REPRESENTATIVE OF THE CITY.

HMA SURFACES LESS THAN 5" THICK THAT ARE TO BE REMOVED TO BE INCLUDED W/ "EXCAVATION, EARTH"

ROAD GRADING
EXCAVATION BELOW 5" OF DEPTH, RE-GRADE AND SHAPE EXISTING AGGREGATE BASE TO A 2% CROWN.
CONTRACTOR TO PROVIDE ADDITIONAL MDOT 22A AGGREGATE, IF NECESSARY, AN INFORMATIONAL QUANTITY OF 143 CYDS TO BE INCLUDED W/ "ROAD GRADING".
CONTRACTOR RESPONSIBLE FOR OVER EXCAVATION.

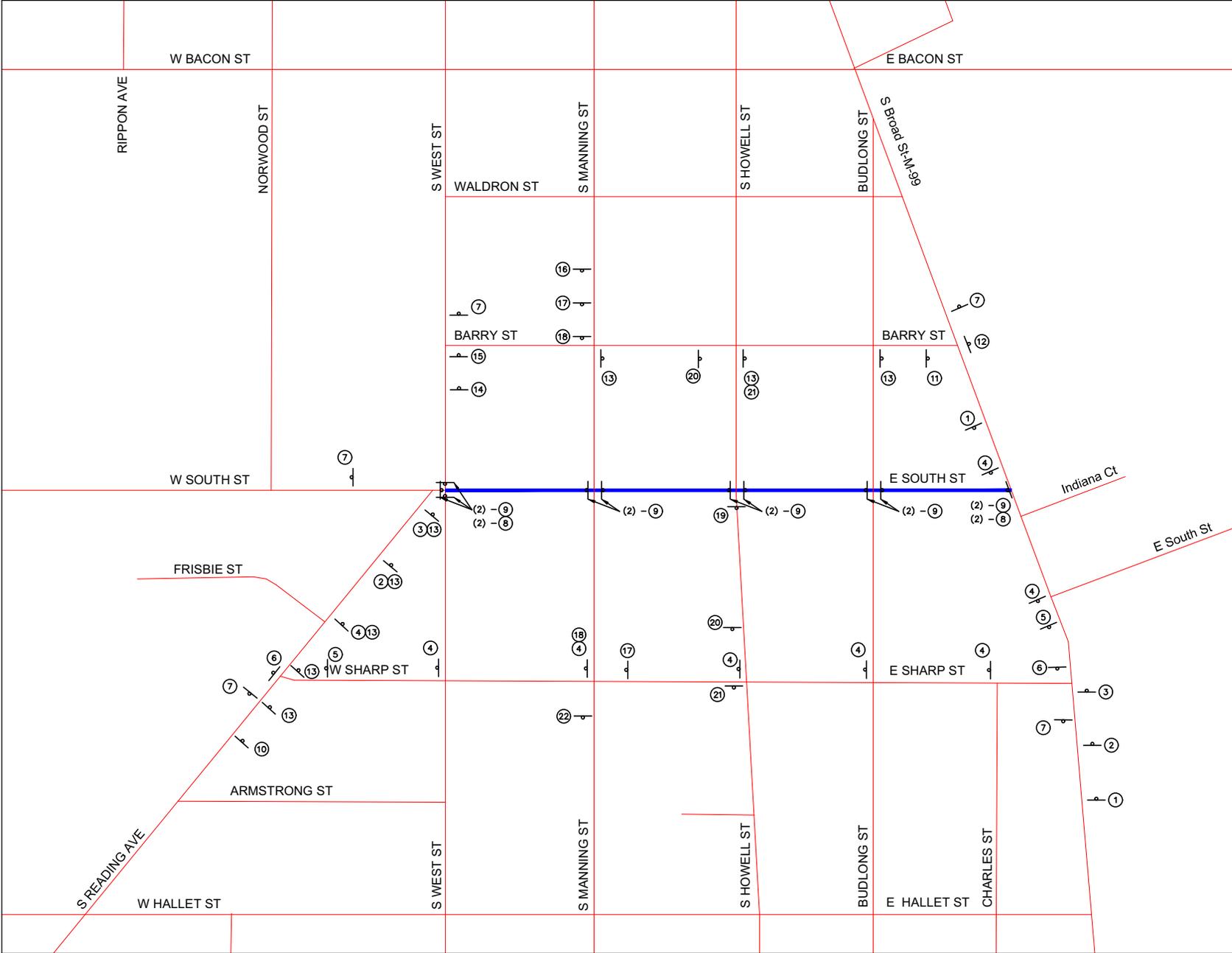


REVISIONS	DATE
DATE OF PLAN	1/6/26

SOUTH STREET
READING AVE TO BROAD (M-99) ST
SECTION 26 and 27, T6S-R3W
CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN
PAVEMENT DETAILS

SCALE	NAME		DATE	
	DESIGNED	RDS	1/6/26	
DRAWN	RDS	1/6/26		
CHECKED				

DRAWING NO. **C8**



REVISIONS	DATE
DATE OF PLAN	1/6/26

**SOUTH STREET
 READING AVE TO BROAD (M-99) ST**
 SECTION 26 and 27, T6S-R3W
 CITY OF HILLSDALE
 HILLSDALE COUNTY, MICHIGAN

TRAFFIC CONTROL PLAN

SCALE		
DESIGNED	NAME	DATE
DRAWN	RDS	1/6/26
CHECKED		

DRAWING NO.
C9

REVISIONS	DATE
DATE OF PLAN	1/6/26

**SOUTH STREET
READING AVE TO BROAD (M-99) ST
SECTION 26 and 27, T6S-R3W
CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN**

**TRAFFIC CONTROL PLAN
SIGN DETAILS**

SCALE	NAME	DATE
DESIGNED	RDS	1/6/26
DRAWN	RDS	1/6/26
CHECKED		

DRAWING NO.
C10

SIGNING REQUIREMENTS - SOUTH ST				
MAP SYMBOL	SIGN	SIGN DESIGNATION	SIGN	# of LOCATIONS
1		M 3-4 D 3-1 W 20-3	24 x 12 36 x 18 36 x 36 (LIGHTED & FLAGGED)	2
2		M 3-4 D 3-1 M 4-9	24 x 12 36 x 18 30 x 24	2
3		M 3-4 D 3-1 M 4-9	24 x 12 36 x 18 30 x 24	2
4		M 3-4 D 3-1 M 4-9	24 x 12 36 x 18 30 x 24	8
5		M 3-4 D 3-1 M 4-9	24 x 12 36 x 18 30 x 24	3
6		M 3-4 D 3-1 M 4-9	24 x 12 36 x 18 30 x 24	3
7		D 3-1 M 4-8a	36 x 18 30 x 24	5
8		R 11-2	48 x 30 (LIGHTED & FLAGGED)	8
9		TYPE III BARRICADE	60 x 48 (LIGHTED) DOUBLE SIDED	20

SIGNING REQUIREMENTS - SOUTH ST				
MAP SYMBOL	SIGN	SIGN DESIGNATION	SIGN	# of LOCATIONS
10		M 3-4 D 3-1 W 20-3	24 x 12 36 x 18 36 x 36 (LIGHTED & FLAGGED)	2
11		M 3-4 D 3-1 M 4-9	24 x 12 36 x 18 30 x 24	2
12		M 3-4 D 3-1 M 4-9	24 x 12 36 x 18 30 x 24	2
13		M 3-4 D 3-1 M 4-9	24 x 12 36 x 18 30 x 24	8
14		M 3-4 D 3-1 M 4-9	24 x 12 36 x 18 30 x 24	1
15		M 3-4 D 3-1 M 4-9	24 x 12 36 x 18 30 x 24	1
<p>CONTRACTOR TO MAKE THEIR OWN DETERMINATION OFF MINOR TRAFIC CONTROLS, TYPE II (CONES) AND PEDESTRAIN BARRIERS, TO BE INCLUDED WITH "MAINTAINING TRAFFIC"</p> <p>TEMPORARY SIGNS AND SIGN COVERS ARE TO BE INCLUDED WITH "MAINTAINING TRAFFIC"</p>				

SIGNING REQUIREMENTS - MANNING				
MAP SYMBOL	SIGN	SIGN DESIGNATION	SIGN	# of LOCATIONS
16		M 3-4 D 3-1 W 20-3	24 x 12 36 x 18 36 x 36 (LIGHTED & FLAGGED)	2
17		M 3-4 D 3-1 M 4-9	24 x 12 36 x 18 30 x 24	2
18		M 3-4 D 3-1 M 4-9	24 x 12 36 x 18 30 x 24	2
19		M 3-4 D 3-1 M 4-9	24 x 12 36 x 18 30 x 24	8
20		M 3-4 D 3-1 M 4-9	24 x 12 36 x 18 30 x 24	1
21		M 3-4 D 3-1 M 4-9	24 x 12 36 x 18 30 x 24	1
22		D 3-1 M 4-8a	36 x 18 30 x 24	5
<p>CONTRACTOR TO MAKE THEIR OWN DETERMINATION OFF MINOR TRAFIC CONTROLS, TYPE II (CONES) AND PEDESTRAIN BARRIERS, TO BE INCLUDED WITH "MAINTAINING TRAFFIC"</p> <p>TEMPORARY SIGNS AND SIGN COVERS ARE TO BE INCLUDED WITH "MAINTAINING TRAFFIC"</p>				

MAINTAINING TRAFFIC SCHEDULE

CONTRACTOR IS TO SUBMIT A PROGRESS SCHEDULE PRIOR TO STARTING CONSTRUCTION WITH THE FOLLOWING RESTRICTIONS IN MIND:

HOLIDAYS: CONTRACTOR SHALL OBSERVE THE HOLIDAYS AND HOLIDAY REQUIREMENTS LISTED IN THE MDOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION

WORK SHALL BE DONE IN SUCH A MANNER AS TO LIMIT THE IMPACT TO THE TRAFFIC ALONG READING AVE, MANNING ST, HOWELL ST AND M-99 ONCE THE CONTRACTOR COMMENCES WORK, THEY SHALL NOT LEAVE TO COMPLETE WORK IN OTHER AREAS WITHOUT OPENING WEST ST AND MANNING STREET TO TRAFFIC.

DETOUR ROUTE SHALL FOLLOW THE DETAILS SHOWN ON THIS SHEET AND COMPLY WITH MDOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, MICHIGAN MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES, AND MDOT MAINTAINING TRAFFIC TYPICAL (M0020, WZD-125-E, WZD-100-A)

CONTRACTOR IS TO PROVIDE 2 WEEKS NOTICE THE PROJECT ENGINEER WILL ALSO COORDINATE ACTIVITIES WITH THE LOCAL BUSINESSES, TRUCKING COMPANIES, AND EMERGENCY SERVICES REGARDING STREET CLOSURES AND TRUCKING ROUTES.

SIGN COVERS SHALL BE INSTALLED OVER SIGNS DURING PERIODS WHEN WORK IS NOT BEING COMPLETED BUT THE ROADWAY IS OPEN TO TRAFFIC. THESE TIMES MAY INCLUDE THE PERIOD OF TIME BETWEEN WHEN THE TEMPORARY SIGNS ARE PLACED AND START OF CONSTRUCTION, AND BETWEEN THE END OF CONSTRUCTION AND REMOVAL OF THE TEMPORARY SIGNS. INCLUDED WITH "SIGN COVER"

FURNISHING, INSTALLING, MAINTAINING, RELOCATING, AND REMOVING ALL TRAFFIC CONES AND OTHER TRAFFIC DEVICES NOT IDENTIFIED ON THE PLANS OR IN THE PROPOSAL WILL BE PAID FOR AS "MINOR TRAF DEVICES" AND SHALL BE COMPLETED IN ACCORDANCE WITH SECTION 812.04.F OF THE MDOT 2012 STANDARD SPECIFICATIONS FOR CONSTRUCTION

M3-4 SIGNS REPRESENT THE DIRECTION OF TRAVEL - EXAMPLE REPRESENTS WEST BOUND TRAFFIC

CONSTRUCTION NOTES (APPLICABLE TO ALL SHEETS, AS NEEDED):

SOIL EROSION CONTROL MEASURES

TO PROTECT SLOPES AND DITCHES, SOO OR SEED/MULCH SHOULD BE PLACED AS SOON AS POSSIBLE AND AS DIRECTED BY THE ENGINEER. TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE UTILIZED DURING CONSTRUCTION IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND AS NECESSARY TO CONTROL SOIL EROSION AND SEDIMENTATION AND AS DIRECTED BY THE ENGINEER.

PLAN ELEVATIONS

ELEVATIONS IN THESE PLANS ARE BASED ON USGS DATUM.

UNDERGROUND UTILITIES

FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL DIAL 1-800-482-7171 A MINIMUM OF THREE WORKING DAYS EXCLUDING SATURDAYS, SUNDAYS & HOLIDAYS PRIOR TO EXCAVATING IN THE VICINITY OF UTILITY LINES. ALL "MISS DIG" PARTICIPATING MEMBERS WILL THIS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING THE UTILITY OWNERS WHO MAY NOT BE PART OF THE "MISS DIG" ALERT SYSTEM.

EXISTING WATER MAINS AND SEWERS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO PROPERLY IDENTIFIED EXISTING WATER MAINS AND/OR EXISTING SEWERS DURING THE CONSTRUCTION OF THE PROJECT.

ADJUSTMENT OF CATCH BASINS

IT IS THE CONTRACTOR'S RESPONSIBILITY TO PLACE THE LOCATION AND ELEVATION OF ALL CATCH BASIN CASTINGS PROPERLY ALIGNED WITH THE PROPOSED CURB. ADJUSTMENT OF CASTINGS ON NEW STRUCTURES IS INCLUDED IN PAYMENT FOR THE DRAINAGE STRUCTURE COVER SPECIFIED. ADJUSTMENT OF CASTINGS ON EXISTING STRUCTURES WILL BE PAID AS DR STRUCTURE COVER, ADJ, CASE 1. THESE ITEMS INCLUDE ALL BLOCK OR GRADE RINGS NECESSARY FOR PROPER ADJUSTMENT.

PROPERTY CORNER PRESENTATION

CONTRACTOR SHALL TAKE CARE TO ENSURE THAT PROPERTY CORNERS BEHIND THE SIDEWALKS SCHEDULED FOR REMOVAL AND REPLACEMENT ARE NOT DISTURBED.

SALVAGE

THE CITY RESERVES THE RIGHT TO SALVAGE ALL EXISTING MATERIALS (CASTINGS, HYDRANTS, SIGNS, ETC) MATERIALS DESIRED TO BE SALVAGED SHALL BE STOCKPILED WITHIN THE PROJECT LIMITS FOR THE CITY TO PICK UP. ITEMS THAT THE CITY DECIDES NOT TO SALVAGE BECOME PROPERTY OF THE CONTRACTOR.

CURB DIMENSIONS

ALL CURB DIMENSIONS SHALL BE FROM BACK OF CURB UNLESS OTHERWISE INDICATED

LAWN SPRINKLER SYSTEMS AND LANDSCAPING

OWNERS OF EXISTING LAWN SPRINKLER SYSTEMS AND/OR LANDSCAPING SHALL BE NOTIFIED (IN WRITING WITH A COPY SEND TO THE ENGINEER) BY THE CONTRACTOR TWO WEEKS IN ADVANCE OF ANY WORK TO BE DONE THAT WILL AFFECT THOSE SYSTEMS AND/OR LANDSCAPING. IF THE PROPERTY OWNER FAILS TO RELOCATE THE LAWN SPRINKLER SYSTEM PRIOR TO THE CONTRACTOR BEGINNING WORK, AND IF THE CONTRACTOR CUTS THE SYSTEM DURING THE CONSTRUCTION, THE CONTRACTOR SHALL CAP THE SYSTEM PIPE AND WITNESS THE LOCATION OF THE CAP WITH A WOODEN STAKE FOR THE PROPERTY OWNERS USE. THE CONTRACTOR SHALL PLACE THE SALVAGED SPRINKLER HEADS ON THE PROPERTY OWNERS PROPERTY. IF THE PROPERTY OWNER FAILS TO RELOCATE THE LANDSCAPING PRIOR TO THE CONTRACTOR BEGINNING WORK, THE CONTRACTOR SHALL CAREFULLY SALVAGE THE LANDSCAPING ITEMS AND STOCKPILE THEM ON THE PROPERTY OWNERS PROPERTY FOR THE PROPERTY OWNER. ANY OTHER MODIFICATION TO THE LAWN SPRINKLER SYSTEMS AND/OR LANDSCAPING, IS THE RESPONSIBILITY OF THE OWNER AND IS NOT PART OF THE CONTRACT. THIS WORK IS INCLUDED IN OTHER ITEMS OF THE PROJECT.

CONCRETE WORK

THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF PLANS TO POUR CONCRETE A MINIMUM OF 24 HOURS BEFORE THE POUR. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF TWO HOURS BETWEEN FORMING A SECTION OF FLAT WORK AND POURING THE SECTION TO ALLOW FOR INSPECTION OF THE GRADES, GRADINGS, AND SUB-BASE. FAILURE TO PROVIDE NOTICE AND TIME FOR INSPECTION WILL BE CONSIDERED CAUSE TO REJECT THE PRODUCT OR CAUSE TO REQUIRE RESCHEDULING OF THE WORK, WITH NO ADJUSTMENTS TO THE COMPLETION DATES.

SUBBASE (CIP)

WHEN THE NATURAL MATERIAL MEETING SUBBASE REQUIREMENTS IS LEFT IN PLACE, IT WILL NOT BE PAID FOR. THE GRADING AND COMPACTIVE WORK REQUIRED SHALL BE INCLUDED IN COMPENSATION FOR THE ROADWAY GRADING. EXCAVATION FOR INSTALLATION OF NEW SAND SUBBASE, IF REQUIRED, IS TO BE INCLUDED IN SUBBASE (CIP).

DRIVEWAYS

EXISTING DRIVEWAYS SHALL BE REMOVED WHERE NECESSARY, WHERE SHOWN ON PLANS OR DIRECTED BY ENGINEER, AND SHALL BE PAID FOR AS PAVT, REM. GRADING AND PREPARATION FOR NEW DRIVEWAY SHALL BE INCLUDED IN ROADWAY GRADING. CONTRACTOR SHALL MAINTAIN ACCESS TO DRIVEWAYS DURING CONSTRUCTION INCLUDED IN ROADWAY GRADING.

NOTICE TO RESIDENTS

THE CONTRACTOR SHALL NOTIFY RESIDENTS 24 HOURS IN ADVANCE OF DISRUPTION TO SERVICE, SUCH AS DRIVEWAY CLOSING OR UTILITY SERVICE.

RELOCATION OF GUY ANCHORS

CITY OF HILLSDALE B.P.U. GUY ANCHOR RELOCATIONS WILL BE RELOCATED BY THE UTILITY COMPANY THROUGHOUT THE PROJECT TO A LOCATION DETERMINED IN THE FIELD ALLOWING NEW SEWER CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION ACTIVITIES WITH THE GUY ANCHOR RELOCATIONS.

SAW CUTTING

SAW CUTTING OF EXISTING PAVEMENT SHALL BE INCLUDED IN THE UNIT PRICE FOR THE ITEM BEING REMOVED.

SAWCUTTING PAVEMENT

SAWCUTTING EXISTING PAVEMENT AT REMOVAL LIMITS WHERE INDICATED ON THE PLANS AND AS DIRECTED BY THE ENGINEER SHALL BE INCLUDED IN ROADWAY GRADING.

ROADWAY GRADING

ROADWAY GRADING SHALL INCLUDE REMOVAL OF ALL BASE MATERIALS REGARDLESS OF THICKNESS TO A DEPTH SUFFICIENT TO INSTALL THE REQUIRED NEW SUBBASE AND BASE DEPTHS. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF ONE LANE OF TRAFFIC AT ALL TIMES TO ALLOW EMERGENCY VEHICLE ACCESS AND FOR ACCESS TO LOCAL BUSINESSES AND RESIDENCES.

CURB AND GUTTER

PLACEMENT OF AND PAYMENT FOR CONCRETE CURB AND GUTTER INCLUDES PLACING REBAR DOWELS EPOXY ANCHORED INTO EXISTING CURB AND GUTTER AT POINTS OF CONNECTION IN ACCORDANCE WITH MDOT STANDARD PLAN R-30-G.

SURFACE RESTORATION

AREAS DISTURBED BY CONSTRUCTION, SURFACE SHALL BE GRADED SMOOTH AND RESTORED WITH 4" OF NEW TOPSOIL, HYDROSEEDDED, FERTILIZED, MULCHED, AND ANCHORING MULCHED. SLOPES OF 1:2 OR STEEPER SHALL RECEIVE SLOPE RESTORATION PEGGED IN PLACE. AREAS BETWEEN THE CURB AND SIDEWALK SHALL BE FILLED AND GRADED SMOOTH AND RESTORED AS NOTED ABOVE. RESTORATION SHALL BE FROM BACK OF CURB TO RIGHT OF WAY AS DIRECTED BY ENGINEER. RESTORATION OF DISTURBED AREAS OUTSIDE OF THE STREET RIGHT-OF-WAY WILL NOT BE PAID FOR SEPARATELY UNLESS SHOWN ON THE PLANS OR AS DIRECTED BY ENGINEER. SURFACE RESTORATION WILL BE PAID FOR AS SLOPE RESTORATION.

MAINTAINING TRAFFIC

CONTRACTOR SHALL MAINTAIN ACCESS TO LOCAL RESIDENTS AND EMERGENCY VEHICLES DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE TEMPORARY AGGREGATE AT DRIVEWAYS AS NECESSARY TO MAINTAIN ACCESS. TEMPORARY GRAVEL INCLUDED IN ROADWAY GRADING.

WATER SERVICES

CITY OF HILLSDALE BPU OR THEIR CONTRACTOR WILL REPLACE ALL REQUIRED WATER SERVICES IN THE PROJECT AREA DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE CITY OF HILLSDALE.

ADJUSTMENT OF SANITARY SEWER STRUCTURES: IT IS THE CONTRACTOR'S RESPONSIBILITY TO PLACE THE LOCATION AND ELEVATION OF ALL CASTINGS TO BE PROPERLY ALIGNED WITH THE FINISH GRADE. SANITARY CASTING THAT DO NOT PROVIDE AN OPENING OF 24" ARE TO BE REPLACED WITH MDOT COVER "B" AND INCLUDED IN THE COST OF THE ADJUSTMENT. ADJUSTMENT OF CASTINGS ON EXISTING STRUCTURES WILL BE PAID AS SANITARY STRUCTURE COVER, ADJ, CASE 1 OR 2. THESE ITEMS INCLUDE ALL CASTINGS, BLOCK OR ADJUSTING RINGS AS NECESSARY FOR PROPER ADJUSTMENT.

ADJUSTMENT OF GATE BOXES AND WATER SHUTOFF BOXES: IT IS THE CONTRACTOR'S RESPONSIBILITY TO PLACE THE LOCATION AND ELEVATION OF ALL GATE BOXES AND WATER SHUTOFF BOXES TO BE PROPERLY ALIGNED WITH THE FINISH GRADE. ADJUSTMENT OF CASTINGS ON EXISTING GATE BOXES WILL BE PAID AS GATE BOX, ADJ, CASE 1 OR 2. THESE ITEMS INCLUDE ALL ADJUSTING RINGS AS NECESSARY FOR PROPER ADJUSTMENT

PUBLIC UTILITIES: THE EXISTING UTILITIES LISTED BELOW AND SHOWN ON THE PLANS REPRESENT THE BEST INFORMATION AVAILABLE. THIS INFORMATION DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO VERIFY THEIR ACCURACY OR THE RESPONSIBILITY IN CASE UTILITIES HAVE BEEN REMOVED OR CONSTRUCTED.

GAS:

MICHIGAN GAS UTILITY
70 SAUK RIVER DRIVE
COLDWATER, MI 49036
P - 517-781-0511
ATTN: DONALD SEEKMAN
donald.seekman@micgigasutilities.com

CABLE TELEVISION:

COMCAST
5526 TELEGRAPH RD
SOUTHFIELD, MI 48034
P - 734-359-1669
ATTN: JEFF DOBIES

WATER/SEWER:

CITY OF HILLSDALE BPU
45 MONROE STREET
HILLSDALE, MI 49242
P - 517-437-6412
CRAIG WICKHAM
cwickham@cityofhillsdale.com

ELECTRIC:

CITY OF HILLSDALE BPU
45 MONROE STREET
HILLSDALE, MI 49242
P - 517-437-6417
ATTN: DAVID MACKIE

TELEPHONE:

AT&T
1041 HURST ROAD
JACKSON, MI 49201
P - 517-750-0660
ATTN: KAREN TRUDGEN
karen.m.trudgen@att.com

PUBLIC WORKS:

CITY OF HILLSDALE
149 WATER WORKS AVE
HILLSDALE, MI 49242
517-437-6491
ATTN: JASON BLAKE
jblake@cityofhillsdale.org

THE CONTRACTOR SHALL EXPOSE AND VERIFY LOCATION AND DEPTH OF EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. CONFLICTS IN GRADE SHALL BE REPORTED TO THE CITY ENGINEER AND ADJUSTMENTS MADE AT NO ADDITIONAL COST TO THE OWNER.

LEGEND	
	MONUMENT / SECTION CORNER
	FOUND PROPERTY IRON
	SECTION LINE
	EXISTING PROPERTY LINE
	EXISTING RIGHT OF WAY LINE
	EXISTING EASEMENT LINE
	EXISTING CENTERLINE
	EXISTING DITCH CENTERLINE
	EXISTING SWALE CENTERLINE
	EXISTING DECORATIVE FENCE
	EXISTING FENCE LINE/CHAINLINK
	EXISTING CONTOURS
	BOLLARD / POST
	EXISTING SIGN
	UTILITY POWER POLE
	GUY WIRE
	EXISTING LIGHT POLES/STREET LIGHTS
	UNDERGROUND ELECTRIC LINE
	OVERHEAD ELECTRICAL WIRES
	UNDERGROUND GAS LINE
	UNDERGROUND TELEPHONE LINE
	TELEPHONE RISER
	EXISTING DECIDUOUS TREES
	EXISTING CONIFEROUS TREES
	EXISTING SANITARY MANHOLE
	SANITARY CLEAN-OUT
	EXISTING SANITARY SEWER
	EXISTING STORM MANHOLE
	EXISTING CURB CATCHBASIN
	EXISTING MANHOLE/CATCHBASIN
	EXISTING STORM SEWER
	EXISTING HYDRANT
	EXISTING VALVE / CURB STOP
	EXISTING WATERMAIN
	EXISTING CURB & GUTTER
	EXISTING HMA/BIT SURFACE
	EXISTING CONCRETE SURFACE
	EXISTING GRAVEL SURFACE
	EXISTING SIDEWALK
	EXISTING TRAFFIC ARROWS
	SOIL BORING
	FLAGPOLE
	HANDICAP PARKING SYMBOL

LEGEND - PROPOSED FEATURES	
	PROPOSED SANITARY SEWER
	PROPOSED MANHOLE
	SANITARY CLEAN-OUT
	PROPOSED STORM SEWER
	PROPOSED CURB CATCHBASIN
	PROPOSED MANHOLE/CATCHBASIN
	PROPOSED WATERMAIN
	PROPOSED HYDRANT
	PROPOSED VALVE & SHUT OFF
	UNDERGROUND ELECTRIC LINE
	OVERHEAD ELECTRICAL WIRES
	PROPOSED LIGHT POLES
	PROPOSED CURB & GUTTER
	PROPOSED HMA/BIT SURFACE
	EXISTING CONCRETE SURFACE
	EXISTING GRAVEL SURFACE
	EXISTING SIDEWALK
	PROPOSED FLOW ARROW
	PROPOSED CONTOURS
	PROPOSED MODIFIED CURB AND GUTTER



REVISIONS	DATE
DATE OF PLAN	1/6/26

SOUTH STREET
 READING AVE TO BROAD (M-99) ST
 SECTION 26 and 27, T6S-R3W
 CITY OF HILLSDALE
 HILLSDALE COUNTY, MICHIGAN
 NOTE SHEET
 LEGEND

SCALE	NAME	DATE
DESIGNED	RDS	1/6/26
DRAWN	RDS	1/6/26
CHECKED		

DRAWING NO. C11



Know what's below.
Call before you dig.

Engineer's Opinion of Costs

Project Number: South St	Project Engineer: Robert Stiverson, PE
Estimate Number: 1	Date Created: 12/8/2025
Project Type: Miscellaneous	Date Edited: 1/7/2026
Location: Reading Ave to Broad Street	Fed/State #:
Description: Full Depth HMA Pavement Removal and Overlay, with spot repairs to Sidewalks and Curb & Gutter	Fed Item:
	Control Section:

Line	Pay Item	Description	Quantity	Units	Unit Price	Total
Category: 0001 Street						
0001	1027051	_ Above Ground Video	1.000	LSUM	\$6.00	\$6.00
0002	1080010	Utility Relocation Adjustment	1.000	Dlr	\$12,000.00	\$12,000.00
0003	1100001	Mobilization, Max	1.000	LSUM	\$65,598.50	\$65,598.50
0004	2027050	_ Tree, Rem	2.000	Ea	\$2,500.00	\$5,000.00
0005	2040021	Curb, Rem	3,063.000	Ft	\$10.00	\$30,630.00
0006	2040050	Pavt, Rem	374.000	Syd	\$11.00	\$4,114.00
0007	2040055	Sidewalk, Rem	374.000	Syd	\$13.00	\$4,862.00
0008	2040060	Structures, Rem	1.000	LSUM	\$7,500.00	\$7,500.00
0009	2050016	Excavation, Earth	705.000	Cyd	\$14.00	\$9,870.00
0010	2057002	_ Road Grading	18.000	Sta	\$2,200.00	\$39,600.00
0011	2080020	Erosion Control, Inlet Protection, Fabric Drop	20.000	Ea	\$125.00	\$2,500.00
0012	3010002	Subbase, CIP	120.000	Cyd	\$19.00	\$2,280.00
0013	3020008	Aggregate Base, 3 inch	1,124.000	Syd	\$5.00	\$5,620.00
0014	3020010	Aggregate Base, 4 inch	173.000	Syd	\$10.50	\$1,816.50
0015	3020016	Aggregate Base, 6 inch	185.000	Syd	\$15.00	\$2,775.00
0016	4030005	Dr Structure Cover, Adj, Case 1	6.000	Ea	\$700.00	\$4,200.00
0017	5010005	HMA Surface, Rem	5,625.000	Syd	\$10.00	\$56,250.00
0018	5010061	HMA Approach	36.000	Ton	\$150.00	\$5,400.00
0019	5012024	HMA, 4EL	1,191.000	Ton	\$97.00	\$115,527.00
0020	5012036	HMA, 5EL	511.000	Ton	\$115.00	\$58,765.00
0021	8010005	Driveway, Nonreinf Conc, 6 inch	572.000	Syd	\$56.00	\$32,032.00
0022	8020038	Curb and Gutter, Conc, Det F4	3,063.000	Ft	\$28.00	\$85,764.00

Line	Pay Item	Description	Quantity	Units	Unit Price	Total
0023	8030010	Detectable Warning Surface	149.000	Ft	\$65.00	\$9,685.00
0024	8030044	Sidewalk, Conc, 4 inch	808.000	Sft	\$6.00	\$4,848.00
0025	8030046	Sidewalk, Conc, 6 inch	440.000	Sft	\$8.00	\$3,520.00
0026	8032001	Curb Ramp, Conc, 4 inch	1,775.000	Sft	\$8.00	\$14,200.00
0027	8110126	Pavt Mrkg, Regular Dry, 4 inch, Yellow	2,930.000	Ft	\$1.00	\$2,930.00
0028	8110127	Pavt Mrkg, Regular Dry, 6 inch, White	483.000	Ft	\$1.00	\$483.00
0029	8117001	_ Pavt Mrkg, Regular Dry, 24 inch, Stop Bar	132.000	Ft	\$2.00	\$264.00
0030	8117050	_ Pavt Mrkg, Regular Dry, School	2.000	Ea	\$250.00	\$500.00
0031	8120012	Barricade, Type III, High Intensity, Double Sided, Lighted, Furn	20.000	Ea	\$80.00	\$1,600.00
0032	8120013	Barricade, Type III, High Intensity, Double Sided, Lighted, Oper	20.000	Ea	\$10.00	\$200.00
0033	8120026	Pedestrian Type II Barricade, Temp	54.000	Ea	\$80.00	\$4,320.00
0034	8120035	Channelizing Device, 42 inch, Fluorescent, Furn	54.000	Ea	\$15.00	\$810.00
0035	8120036	Channelizing Device, 42 inch, Fluorescent, Oper	54.000	Ea	\$30.00	\$1,620.00
0036	8120170	Minor Traf Devices	1.000	LSUM	\$9,965.00	\$9,965.00
0037	8120350	Sign, Type B, Temp, Prismatic, Furn	560.000	Sft	\$4.50	\$2,520.00
0038	8120351	Sign, Type B, Temp, Prismatic, Oper	560.000	Sft	\$11.50	\$6,440.00
0039	8167011	_ Slope Restoration	2,310.000	Syd	\$13.50	\$31,185.00
0040	8230431	Gate Box, Adj, Case 1	1.000	Ea	\$700.00	\$700.00
0041	8252145	Sanitary Structure Cover, Adj, Case 1	3.000	Ea	\$700.00	\$2,100.00

Category 0001 Total: \$650,000.00

Line	Pay Item	Description	Quantity	Units	Unit Price	Total
Estimate Total: \$650,000.00						



Notice of Public Hearing

Date and Resolution Number Establishing Special Assessment District: January 20, 2026,
Resolution #3666

Project Description: 2026-2 South St milling and resurfacing

Public Hearing #1 Date, Time, and Location: Monday, February 16, 2026 at 7:00 p.m., 3rd Floor
Council Chambers, Hillsdale City Hall, 97 North Broad Street, Hillsdale, Michigan 49242

Notice Mailing Date: On or before February 6, 2026

Hillsdale City Council has made a determination that the above identified public improvements are necessary and proper, and that all or part of the costs thereof should be defrayed by special assessment against certain specially benefitting properties. Therefore, pursuant to Hillsdale City Code Section 2-334, a public hearing has been scheduled to consider any objections to this project. **You are receiving this notice because it has been determined that you are the owner of property specially benefitting from the proposed project.**

Written objections may be mailed or dropped off to:

**Hillsdale City Clerk
97 N Broad St
Hillsdale, MI 49242**

- The plans, specifications and estimates of cost have been placed on file with the City Clerk for review.
- Affected property owners will be given an opportunity during the public hearing to comment, ask questions about the project, and submit written objections to the improvements or the description of the lands and premises to be assessed.
- If more than 50 percent of the number of owners of privately owned real property to be assessed object in writing to the proposed improvement, the improvement shall not be made without the affirmative vote of seven of the members of the council.

After the close of the public hearing, Council may make a motion to vote on a resolution to make the improvement and to defray all or part of the cost by special assessment. This resolution will direct the assessor to prepare the assessment roll and must include the percentage of the cost to be levied by special assessment, the method of allocation, the number of annual installments, the interest rate to be charged upon the deferred balance, and a statement that special assessments may be paid in advance, with interest only to the date of payment. If passed, a second public hearing

will be scheduled and noticed to provide affected property owners and interested parties an opportunity to protest the amount of any assessment.

Michigan Compiled Law (MCL) Section 211.741 Required Statements:

- Appearance and protest at the hearing in the special assessment proceedings is required in order to appeal the amount of the special assessment to the state tax tribunal.
- An owner or party in interest, or his or her agent may appear in person at the hearing to protest the special assessment, or shall be permitted to file his or her appearance or protest by letter and his or her personal appearance shall not be required.

Additional Appeal Information:

- Hillsdale City Charter, Section 11.7. – Contested assessments. “Except and unless notice is given to the Council in writing of an intention to contest or enjoin the collection of any special assessment within thirty days after the date of the meeting of the Council at which the assessment roll is finally confirmed, which notice shall state the grounds on which the proceedings are to be contested, no suit or action of any kind shall be instituted or maintained for the purpose of contesting or enjoining the collection of such special assessment. Further, whether or not any public improvement is completed in any special assessment district, no owner of real property located in such district shall be entitled to commence any suit or action for the purpose of contesting or enjoining the collection of any such special assessment after he has received a benefit from the substantial completion of that portion of such public improvement for which he is assessed.” (emphasis added)
- Michigan Compiled Laws, Section **211.746 Statement of right to file written appeal**. Sec. 6. “If a special assessment is made against property, the notice of the special assessment sent to the property owner or person responsible for payment of the ad valorem property taxes under the general property tax act, Act No. 206 of the Public Acts of 1893, being sections 211.1 to 211.157 of the Michigan Compiled Laws, shall include, in addition to any other requirements by statute or charter, a statement that the owner or any person having an interest in the real property may file a written appeal of the special assessment with the state tax tribunal within 30 days after the confirmation of the special assessment roll if that special assessment was protested at the hearing held for the purpose of confirming the roll.” (emphasis added)
 - Petition forms are available and may be filed online with the Michigan Tax Tribunal at www.michigan.gov/taxtrib.
 - The correct form to use can be found under Small Claims, “Property Tax Appeal Petition Form Special Assessment.” Failure to use the correct form may result in a delay or dismissal of your appeal.

ADAMS, MARK & LISA FAMILY TRUST
ADAMS, MARK D & LISA A, TRUSTEES
1015 E ANGELENO AVE
BURBANK CA 91501

APEL, JONAH WHITLEY & ELYSE SHEA
53 BUDLONG ST
HILLSDALE MI 49242

BARNETT, IDA
44 E SOUTH ST
HILLSDALE MI 49242

BENDER, MEGAN
5389 S HILLSDALE RD
HILLSDALE MI 49242

BLONDE, DUSTIN A & KATHERINE E
82 S HOWELL ST
HILLSDALE MI 49242

BOGANWRIGHT, BEN
POWERS, HAROLD
86 E SOUTH ST
HILLSDALE MI 49242

BOGANWRIGHT, MARY JEAN
86 E SOUTH ST
HILLSDALE MI 49242

BROWN, YVONNE M
BROWN, BLAKE T
3430 N LAKE PLEASANT RD
HILLSDALE MI 49242

BURKEEN, DEBRA
39740 WARREN RD
CANTON MI 48187-4303

COOK, WALTER E
76 E SOUTH ST
HILLSDALE MI 49242-1845

COYKENDALL, ERIC R & WENDY L
74 S BROAD ST
HILLSDALE MI 49242

COZBY, PAUL WOODS & SHERRY MORRIS
82 S BROAD ST
HILLSDALE MI 49242

D&T VENDING, LLC
CLARK, TERRY & DONNA
426 E UNION ST
COLDWATER MI 49036

DEVENPORT, BRET M & LORI L
3120 E BEAR LK RD
OSSEO MI 49266

ELLIOTT, WARD J & JEANETTE L
76 S HOWELL ST
HILLSDALE MI 49242

GOW, SUZETTE K
76 S MANNING ST
HILLSDALE MI 49242

HAMBLETON, DAVID DEAN & CASSIE LYNN
67 S HOWELL ST
HILLSDALE MI 49242

HENES, EVERETT & KIMBERLY
66 E SOUTH ST
HILLSDALE MI 49242

HILLSDALE COMMUNITY SCHOOLS
CARL BAILEY SCHOOL
30 S NORWOOD AVE
HILLSDALE MI 49242

LEWIS, FAYE E
9 E SOUTH ST
HILLSDALE MI 49242

LIBERTYWORKS LLC
YOUTZ, DAVID/YOUTZ, WILMA
P O BOX 10273
HONOLULU HI 96816

LOREN, MICHELLE L
69 E SOUTH ST
HILLSDALE MI 49242

MILLER, JUSTIN H & CRYSTAL L
84 S MANNING ST
HILLSDALE MI 49242

MILLER, ROSE MARIE
27478 COUNTY RD M
WEST UNITY OH 43570

POWERS, MARY J
86 E SOUTH ST
HILLSDALE MI 49242

RAFFIN, MATTHEW R & GRACE
92 E SOUTH ST
HILLSDALE MI 49242

RICHARDSON, RUSSELL THOMAS II
RICHARDSON, CARMEL E
70 E SOUTH ST
HILLSDALE MI 49242

RILEY, DONALD E
5 READING AVE
HILLSDALE MI 49242

SARGENT, JEFFREY & JANET
83 E SOUTH ST
HILLSDALE MI 49242

SHARRAR, DALE & TERESA
85 E SOUTH ST
HILLSDALE MI 49242

HUKILL, ANGELA DAWN
SOWERS, DENNIS TODD
3660 GAY RD
HILLSDALE MI 49242

SOWERS, DENNIS TODD
HUKILL, ANGELA DAWN
90 E SOUTH ST
HILLSDALE MI 49242

STEVENS, LINDA S
81 S HOWELL ST
HILLSDALE MI 49242

STEWART, PAULA L
75 S HOWELL ST
HILLSDALE MI 49242

TAIPALUS PROPERTIES LLC
TAIPALUS, JONATHAN
2441 STEAMBURG RD
HILLSDALE MI 49242-0283

WATSON, JILL M
10634 FRENCH RD
LITCHFIELD MI 49252

WHALEN, PATRICK B & KRISTI R
1651 S BUNN RD
HILLSDALE MI 49242

Parcel Number	Street Address	Owner Name	2025 Class	Current use	Total Acres	Project Street		2025 SEV	Estimated True Cash Value	Per Parcel Cap by Ordinance (HMC Sec 2-235)	Cap Based on Property Class	FF Share with Class Caps	% of Total Cost specially assessed
						Front Feet	Corner Lot?						
006-327-433-14	75 S WEST ST	ADAMS, MARK & LISA FAMILY TRUST	401 RES 1 FAMILY		0.14	111.25	Long	72,700	\$ 145,400	\$ 36,350.00	\$ 5,000.00	\$ 5,000.00	0.65%
006-327-433-15	9 E SOUTH ST	LEWIS, FAYE E	401 RES 1 FAMILY		0.08	62.00	No	54,000	\$ 108,000	\$ 27,000.00	\$ 5,000.00	\$ 5,000.00	0.65%
006-327-433-16	76 S MANNING ST	GOW, SUZETTE K	401 RES 1 FAMILY		0.11	82.50	Long	53,500	\$ 107,000	\$ 26,750.00	\$ 5,000.00	\$ 5,000.00	0.65%
006-327-433-17	11 E SOUTH ST	WHALEN, PATRICK B & KRISTI R	401 RES 1 FAMILY		0.11	90.75	No	47,400	\$ 94,800	\$ 23,700.00	\$ 5,000.00	\$ 5,000.00	0.65%
006-327-434-01	59 S MANNING ST	HILSDALE COMMUNITY SCHOOLS	201 SCHOOL-ELEM PUBLIC		1.57	173.25	Short	-	\$ 390,000	\$ 97,500.00	\$ 10,000.00	\$ 10,000.00	1.29%
006-327-434-10	76 S HOWELL ST	ELLIOTT, WARD J & JEANETTE L	401 RES 1 FAMILY		0.20	173.25	Long	67,500	\$ 135,000	\$ 33,750.00	\$ 5,000.00	\$ 5,000.00	0.65%
006-327-476-01	5 READING AVE	RILEY, DONALD E	401 RES 1 FAMILY		0.39	10.00	Short	137,800	\$ 275,600	\$ 68,900.00	\$ 5,000.00	\$ 1,460.06	0.19%
006-327-477-01	4 E SOUTH ST	LIBERTYWORKS LLC	401 RES DUPLEX		0.14	99.00	Long	79,000	\$ 158,000	\$ 39,500.00	\$ 5,000.00	\$ 5,000.00	0.65%
006-327-477-10	8 E SOUTH ST & 10	D&T VENDING, LLC	401 RES DUPLEX		0.17	74.25	No	84,700	\$ 169,400	\$ 42,350.00	\$ 5,000.00	\$ 5,000.00	0.65%
006-327-477-11	14 E SOUTH ST DUPLEX	BROWN, YVONNE M	401 RES DUPLEX		0.09	49.50	No	66,100	\$ 132,200	\$ 33,050.00	\$ 5,000.00	\$ 5,000.00	0.65%
006-327-477-12	84 S MANNING ST	MILLER, JUSTIN H & CRYSTAL L	401 RES 1 FAMILY		0.15	123.75	Long	61,100	\$ 122,200	\$ 30,550.00	\$ 5,000.00	\$ 5,000.00	0.65%
006-327-478-01	32 E SOUTH ST DUPLEX	TAIPALUS PROPERTIES LLC	401 RES DUPLEX		0.08	65.00	Long	75,300	\$ 150,600	\$ 37,650.00	\$ 5,000.00	\$ 5,000.00	0.65%
006-327-478-02	36 E SOUTH ST	TAIPALUS PROPERTIES LLC	401 RES 1 FAMILY		0.05	38.00	No	46,400	\$ 92,800	\$ 23,200.00	\$ 5,000.00	\$ 5,000.00	0.65%
006-327-478-03	38 E SOUTH ST	BURKEEN, DEBRA	401 RES 1 FAMILY		0.16	70.25	No	56,500	\$ 113,000	\$ 28,250.00	\$ 5,000.00	\$ 5,000.00	0.65%
006-327-478-04	40 E SOUTH ST	WATSON, JILL M	401 RES 1 FAMILY		0.05	40.00	No	60,800	\$ 121,600	\$ 30,400.00	\$ 5,000.00	\$ 5,000.00	0.65%
006-327-478-05	44 E SOUTH ST	BARNETT, IDA	401 RES 1 FAMILY		0.06	51.75	No	59,900	\$ 119,800	\$ 29,950.00	\$ 5,000.00	\$ 5,000.00	0.65%
006-327-478-06	82 S HOWELL ST	BLONDE, DUSTIN A & KATHERINE E	401 RES 1 FAMILY		0.10	84.00	Long	83,000	\$ 166,000	\$ 41,500.00	\$ 5,000.00	\$ 5,000.00	0.65%
006-426-303-07	65 E SOUTH ST	HAMBLETON, DAVID DEAN & CASSIE LYNN	401 RES 1 FAMILY		0.12	51.50	No	74,200	\$ 148,400	\$ 37,100.00	\$ 5,000.00	\$ 5,000.00	0.65%
006-426-303-15	69 E SOUTH ST	LOREN, MICHELLE L	401 RES 1 FAMILY		0.15	66.00	No	60,600	\$ 121,200	\$ 30,300.00	\$ 5,000.00	\$ 5,000.00	0.65%
006-426-303-17	52 BUDLONG ST & 52.5	DEVENPORT, BRET M & LORI L	401 RES DUPLEX		0.12	51.00	Long	57,700	\$ 115,400	\$ 28,850.00	\$ 5,000.00	\$ 4,964.20	0.64%
006-426-305-08	53 BUDLONG ST	APEL, JONAH WHITLEY & ELYSE SHEA	401 RES 1 FAMILY		0.07	65.00	Long	54,100	\$ 108,200	\$ 27,050.00	\$ 5,000.00	\$ 5,000.00	0.65%
006-426-305-09	83 E SOUTH ST	SARGENT, JEFFREY & JANET	401 RES 1 FAMILY		0.04	34.00	No	30,800	\$ 61,600	\$ 15,400.00	\$ 5,000.00	\$ 5,000.00	0.65%
006-426-305-19	74 S BROAD ST	COYKENDALL, ERIC R & WENDY L	401 RES 1 FAMILY		0.50	175.00	Long	239,063	\$ 478,126	\$ 119,531.50	\$ 5,000.00	\$ 5,000.00	0.65%
006-426-305-20	85 E SOUTH ST	SHARRAR, DALE & TERESA	401 RES 1 FAMILY		0.23	66.00	No	59,137	\$ 118,274	\$ 29,568.50	\$ 5,000.00	\$ 5,000.00	0.65%
006-426-351-01	81 S HOWELL ST	STEVENS, LINDA S	401 RES 1 FAMILY		0.17	118.47	Long	74,300	\$ 148,600	\$ 37,150.00	\$ 5,000.00	\$ 5,000.00	0.65%
006-426-351-02	66 E SOUTH ST	HENES, EVERETT & KIMBERLY	401 RES 1 FAMILY		0.08	50.00	No	92,700	\$ 185,400	\$ 46,350.00	\$ 5,000.00	\$ 5,000.00	0.65%
006-426-351-12	70 E SOUTH ST	RICHARDSON, RUSSELL THOMAS II	401 RES 1 FAMILY		0.08	40.00	No	78,900	\$ 157,800	\$ 39,450.00	\$ 5,000.00	\$ 5,000.00	0.65%
006-426-351-13	72 E SOUTH ST	BENDER, MEGAN	401 RES 1 FAMILY		0.14	48.33	No	79,000	\$ 158,000	\$ 39,500.00	\$ 5,000.00	\$ 5,000.00	0.65%
006-426-351-14	74 E SOUTH ST	MILLER, ROSE MARIE	401 RES 1 FAMILY		0.05	26.00	No	57,800	\$ 115,600	\$ 28,900.00	\$ 5,000.00	\$ 5,000.00	0.65%
006-426-351-15	76 E SOUTH ST	COOK, WALTER E	401 RES 1 FAMILY		0.12	58.67	Short	81,000	\$ 162,000	\$ 40,500.00	\$ 5,000.00	\$ 5,000.00	0.65%
006-426-352-02	84 E SOUTH ST	POWERS, MARY J	401 RES DUPLEX		0.16	49.50	No	106,700	\$ 213,400	\$ 53,350.00	\$ 5,000.00	\$ 5,000.00	0.65%
006-426-352-03	86 E SOUTH ST	BOGANWRIGHT, MARY JEAN	401 RES 1 FAMILY		0.23	49.50	No	92,800	\$ 185,600	\$ 46,400.00	\$ 5,000.00	\$ 5,000.00	0.65%
006-426-352-04	90 E SOUTH ST	SOWERS, DENNIS TODD	401 RES 1 FAMILY		0.21	57.75	No	57,500	\$ 115,000	\$ 28,750.00	\$ 5,000.00	\$ 5,000.00	0.65%
006-426-352-05	92 E SOUTH ST	RAFFIN, MATTHEW R & GRACE	401 RES 1 FAMILY		0.20	62.25	No	65,400	\$ 130,800	\$ 32,700.00	\$ 5,000.00	\$ 5,000.00	0.65%
006-426-352-06	82 S BROAD ST	COZBY, PAUL WOODS & SHERRY MORRIS	401 RES 1 FAMILY		0.27	94.50	Long	189,000	\$ 378,000	\$ 94,500.00	\$ 5,000.00	\$ 5,000.00	0.65%
006-426-352-29	80 E SOUTH ST	BOGANWRIGHT, BEN	401 RES 1 FAMILY		0.10	49.50	No	83,700	\$ 167,400	\$ 41,850.00	\$ 5,000.00	\$ 5,000.00	0.65%
006-427-435-04	75 S HOWELL ST	STEWART, PAULA L	401 RES DUPLEX		0.28	121.75	Long	80,000	\$ 160,000	\$ 40,000.00	\$ 5,000.00	\$ 5,000.00	0.65%
Totals:					6.94	2,733.21		2,820,100	\$ 6,030,200	\$ 1,507,550.00		\$ 186,424.26	24.05%

Parcel Count:	37	\$ 10,472.97
% of Total specially assessed per parcel:		2.70%

Calculated from SEV on last tax roll (estimated for exempt)
25%

Total ESTIMATED Project Cost:		\$ 775,000.00
Cost allocation without per parcel caps:		Cost allocation with per parcel cap by ordinance:
City Share	50%	\$ 387,500.00
Property Owner Share	50%	\$ 387,500.00
inferred values - exempt, abated, or easement access		
Split/Combined for next year - new parcel, allocated values		
		Cost allocation with per parcel cap by class (2025 policy):
		0.76 588,575.74
		0.24 186,424.26

Estimated based on current policy

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FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I,

Matthew Raffin

_____, owner of

92 E. South St., Hillsdale, MI,

hereby object to the improvements to South St. proposed on January 20th, 2026, due to the financial hardship of the Special Assessment District.

Signature:

Matthew Raffin

Date:

01/31/2026

RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I, Dale Sharrar,

owner of 85 E South St,

hereby object to the improvements to South St. proposed on January 20th, 2026, due to the financial hardship of the Special Assessment District.

Signature: Dale Sharrar

Date: 1/26/26

RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I,

Wendy Coykendall

_____, owner of

74 S. Broad St., Hillsdale, MI 49242,

hereby object to the improvements to South St. proposed on January 20th, 2026, due to the financial hardship of the Special Assessment District.

Signature:

Wendy Coykendall

Date:

2 - 2 - 2026

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FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I,

Shawn Casey

_____, owner of

82 S. Broad St.,

hereby object to the improvements to South St. proposed on January 20th, 2026, due to the financial hardship of the Special Assessment District.

Signature:

Shawn Casey

Date:

2/2/26

RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I, Paula Stewart,

owner of 75 S. Howell St,

hereby object to the improvements to South St. proposed on January 20th, 2026, due to the financial hardship of the Special Assessment District.

Signature: Paula L. Stewart

Date: 1-31-26

RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I,

Rose Miller

_____, owner of

74 East South Street,

hereby object to the improvements to South St. proposed on January 20th, 2026, due to the financial hardship of the Special Assessment District.

Signature:

Rose Miller

Date:

January 31, 2026

RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE



To the City of Hillsdale:

I, Linda S Stevens,

owner of 81 S Howell St,

hereby object to the improvements to South St. proposed on January 20th, 2026, due to the financial hardship of the Special Assessment District.

Signature: Linda S Stevens

Date: 1/31/2026

RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I, Megan Bender,

owner of 72 E South St,

hereby object to the improvements
to South St. proposed on January
20th, 2026, due to the financial
hardship of the Special Assessment
District.

Signature: Megan Bender

Date: 1/29/2026

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FEB 09 2026

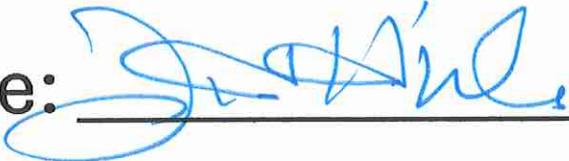
CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I, Justin Miller,

owner of 84 South Manning St,

hereby object to the improvements to South St. proposed on January 20th, 2026, due to the financial hardship of the Special Assessment District.

Signature: 

Date: 1-26-26

RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I, Supette Dow,

owner of 76 S. Manning,

hereby object to the improvements
to South St. proposed on January
20th, 2026, due to the financial
hardship of the Special Assessment
District.

Signature: Supette Dow

Date: Jan 31st

RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I, EVERETT A. HENES,

owner of 660 E. SOUTH ST. (49242),

hereby object to the improvements

to South St. proposed on January

20th, 2026, due to the financial

hardship of the Special Assessment

District.

Signature: 

Date: 1/28/2026

RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I, Patrick Whalen,

owner of 11 E. SOUTH ST. HILLSDALE, MI 49242

hereby object to the improvements to South St. proposed on January 20th, 2026, due to the financial hardship of the Special Assessment District.

Signature: 

Date: 24 JAN 2026

RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I, Mark Adams, owner of 75 South

West St. hereby object to the

improvements to South St.

proposed on January 20th, 2026, due

to the financial hardship of the

Special Assessment District.

Signature: 

Date:

1/23/26

RECEIVED



FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I, Russell Richardson,

owner of 70 E South St.,

hereby object to the improvements to South St. proposed on January 20th, 2026, due to the financial hardship of the Special Assessment District.

Signature: Russell Richardson

Date: 1/26/2026



RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I,

Walter Cook

, owner of

76 E. South St, Hillsdale, MI

hereby object to the improvements to South St. proposed on January 20th, 2026, due to the financial hardship of the Special Assessment District.

Signature:

Walter E Cook

Date:

01/30/2026



RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I, Shay Lewis,

owner of 9 E. South Street,

hereby object to the improvements
to South St. proposed on January
20th, 2026, due to the financial
hardship of the Special Assessment
District.

Signature: Shay E. Lewis

Date: 1/30/2026

RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I,

Jonah Apel

_____, owner of

53 Budlong St., Hillsdale MI 49242,

hereby object to the improvements
to South St. proposed on January
20th, 2026, due to the financial
hardship of the Special
Assessment District.

Signature:

Jonah Apel

Date:

1/23/2026

RECEIVED



FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I,

Jeffery J Sargent JR

_____, owner of

83 E South St Hillsdale MI,

hereby object to the improvements to South St. proposed on January 20th, 2026, due to the financial hardship of the Special Assessment District.

Signature:

Jeffery J Sargent JR

Date:

1-25-2026

RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I,

Bret Davenport

_____, owner of

52 Budlong St,

hereby object to the improvements to South St. proposed on January 20th, 2026, due to the financial hardship of the Special Assessment District.

Signature:

Bret Davenport

Date:

1/26/26

RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I,

John Toupalus, Toupalus Properties, LLC

_____, owner of

32 & 32.5 E South St. Hillsdale, MI,

hereby object to the improvements to South St. proposed on January 20th, 2026, due to the financial hardship of the Special Assessment District.

Signature:

John Toupalus Member

Date:

1/24/26

RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I,

John Taipalus - Taipalus Properties, LLC

_____, owner of

36 E South St. Hillsdale, MI 49242,

hereby object to the improvements to South St. proposed on January 20th, 2026, due to the financial hardship of the Special Assessment District.

Signature:

John Taipalus, Member

Date:

1/29/26

RECEIVED

FEB 09 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

To the City of Hillsdale:

I, Ward White,

owner of _____,

hereby object to the improvements

to South St. proposed on January

20th, 2026, due to the financial

hardship of the Special Assessment

District.

Signature: Ward White

Date: _____

City of Hillsdale

Agenda Item Summary

Meeting Date: February 16, 2026

Agenda Item: Public Hearing

SUBJECT: 2026 Special Assessment District – SAD 2026-3A, Oak Street – Public Hearing and Resolution

BACKGROUND PROVIDED BY STAFF:

At the January 20, 2026 City Council meeting a public hearing date of February 16, 2026 was set to consider any objections to the improvements under consideration for reconstruction of Oak St. The total estimated cost for this project is \$1,287,300. By City policy adopted February 17, 2025, up to 50% of the total project costs may be covered through special assessment to the 62 parcels currently identified in the Oak St. Special Assessment District (SAD 2026-3A) which includes Oak St. from St. Joe River (bike path) to E. College St.

The project cost split is in accordance with the City’s Policy on Special Assessment Districts for Street Projects updated at the February 17, 2025 meeting. It is important to note that the total assessed cost to the affected property owners will not go above the policy maximum assessment limits based on classification or 25% of the property value per Hillsdale Ordinance Chapter 2, Article V, Section 2-335, whichever is the lesser amount. Notice of the meeting was published once each week for two successive weeks in the local newspaper. Affected property owners were mailed information on the proposed district on February 5, 2026.

According to the City Charter, Sec. 2-335 Hearing procedure, “If more than 50% of the number of owners of privately owned real property to be assessed for such improvement shall object in writing to the proposed improvement, the improvement shall not be made without the affirmative vote of seven of the members of the council.”

RECOMMENDATION:

Based on the written objections received, which exceed 50% of the number of owners of privately owned real property proposed to be assessed, staff does not recommend establishment of the Oak Street Special Assessment District (SAD 2025-3A). Pursuant to Sec. 2-335 of the City Charter, the improvement may not proceed absent the affirmative vote of seven members of the Council.

**CITY OF HILLSDALE
RESOLUTION NO. _____**

A RESOLUTION TO APPROVE ESTABLISHMENT OF THE OAK STREET SPECIAL ASSESSMENT DISTRICT (SAD 2026-3A).

Minutes of a regular meeting of the City Council of the City of Hillsdale, Hillsdale County Michigan, held in the City Hall, City Council Chambers, 97 North Broad Street, Hillsdale, Michigan, in said City, on February 16, 2026 at 7:00 p.m.

PRESENT: _____

ABSENT: _____

The following preamble and resolution were offered by Councilperson _____ and supported by Councilperson _____.

WHEREAS, the City Council, by resolution 3667 at its January 20, 2026 regular meeting, deemed it necessary and declared its intention to construct improvements by reconstruction and other appurtenances of Oak Street from St. Joe River (bike path) to East College Street, and did provide for a public hearing to hear any objections to the proposed improvements; and

WHEREAS, a public hearing was held February 16, 2026 for said purpose; and

WHEREAS, the total cost of this project is estimated to be \$1,287,300.

NOW, THEREFORE, BE IT RESOLVED, that said public improvements be made and the City Manager be directed to proceed with the same; and

BE IT FURTHER RESOLVED, that the plans, specifications and detailed estimates relating to said improvements be hereby approved and adopted and the City Manager is directed to take action necessary to accomplish the said improvements; and

BE IT FURTHER RESOLVED, that Council does hereby determine that up to 50% of the costs are to be defrayed by special assessment, allocated as follows, in accordance with the policy and procedure adopted February 17, 2025:

1. The assessments will be individually determined by frontage and lot, and equally distributed thereto.

- a. In no case shall the whole amount to be levied by special assessment upon any lot or premises exceed 25 percent of the value of such lot or land as valued on the most recent assessment roll certified by the Board of Review.
- b. The whole amount to be levied upon any lot or premises is further subject to the following maximum amounts, based on property classification as defined in Michigan’s General Property Tax Act, being Act 206 of 1893 as amended, Section 211.34c, and certified on same assessment roll;
 - i. For property classified as Residential no more than \$5,000
 - ii. For property classified as Commercial no more than \$10,000
 - iii. For all other property \$15,000
- 2. The special assessment may be paid in full without interest on or before August 31, 2026.
- 3. If remaining unpaid, the assessment shall be divided into 15 annual installments with the first installment also to be paid on or before August 31, 2026 without interest.
- 4. Deferred special assessment installments shall be subject to interest to the date of payment up to 6% (to be determined based on today’s 10-year Treasury bond rate plus 1%).
- 5. Unpaid installments as of September 1 each year shall be certified by the City Treasurer and added to the winter tax bill.
- 6. All or a portion of the deferred special assessment balance or installments may be paid in advance at any time with interest only to the date of payment.
- 7. That the premiums upon which special assessments shall be levied, and which shall be hereafter known and designated as Special Assessment District 2026-3A, are described as follows:

Special Assessment Properties
Oak Street – St. Joe River Bike Path to East College Street

BE IT FURTHER RESOLVED, that the Assessor is hereby directed to cause the special assessments to be made, and report same to Council within 90 days, at which time the report shall be placed on file with the City Clerk and a public hearing scheduled to review the special assessment roll.

The foregoing resolution offered by Councilmember _____

And supported by Councilmember _____

The vote in favor of the resolution being as follows:

Roll call: _____

Motion _____, _____ - _____

Resolution declared _____.

Date: February 16, 2026

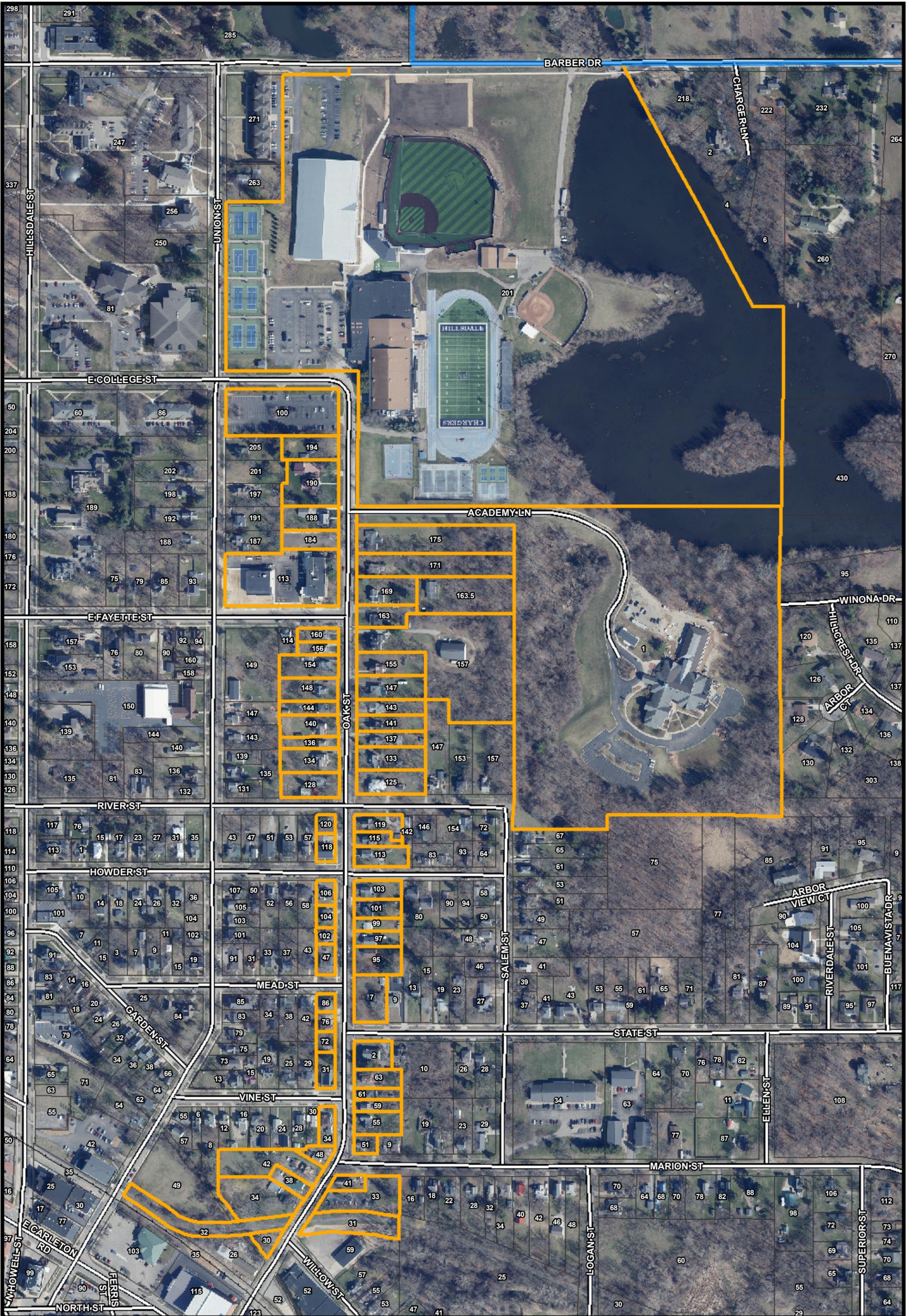
Scott Sessions, Mayor

Katy Price, Clerk

CERTIFICATION

As the Clerk for the City of Hillsdale, Hillsdale County, Michigan, I certify that this is a true and complete copy of a resolution adopted by the Hillsdale City Council, Hillsdale County at its regular meeting, held February 16, 2026.

Katy Price, Clerk



Legend

-  City Boundary
-  Railroad
-  Streets
-  Spec Asmt District 2026-3a (65 Parcels)
-  Parcels

**City of Hillsdale
Special Assessment
District 2026-3a**

**Oak St from
The Bike Path
to College St**

0 125 250 500 Feet





MEMORANDUM

Date: January 13, 2026
To: City Council, City Manager Mackie, DPS Director Blake
From: Robert Stiverson, PE, City Engineer
Subject: Oak Street – Willow Street to Fayette Street

Please find the attach draft Opinion of Probable Costs, bid document, and plans for the subject project.

We are recommending a budget of

Construction	\$800,000
Engineering/Project Management/Special Assessment	\$ 80,000
Contingencies:	\$ 80,000
Total:	\$960,000

Project Management is based on full-time inspection, however, we plan on performing Part Time inspection with the hours based on the quality and performance of the contractor.

As always, Construction costs are based on Historic Bid Tabulations for the City of Hillsdale with a comparison of MDOT Unit Prices. Project Management/Inspection is based on MDOT guideline for installation of Quantities and previous experience.

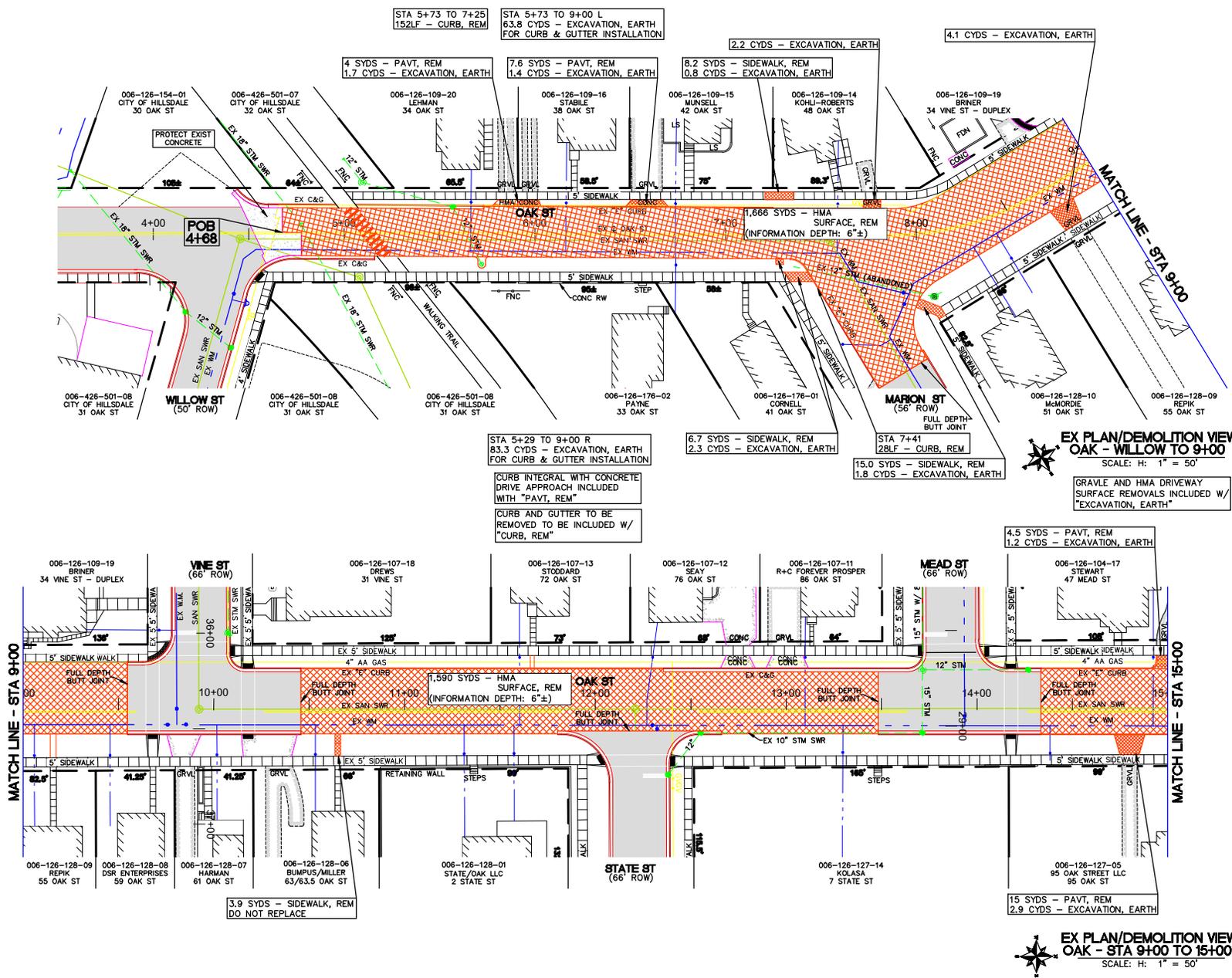
Contingencies are approximately 10%, and are recommended based on there are unknowns in the field that could impact project costs.

REVISIONS	DATE
DATE OF PLAN	1/9/26

**OAK STREET
WILLOW ST TO FAYETTE ST
SECTION 23 and 26, T6S-R3W
CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN
DEMOLITION PLAN
WILLOW ST TO STA 15+00**

SCALE	NAME	DATE
DESIGNED	RDS	1/9/26
DRAWN	RDS	1/9/26
CHECKED		
DRAWING NO.		

C2



**EX PLAN/DEMOLITION VIEW
OAK - WILLOW TO 9+00**
SCALE: H: 1" = 50'

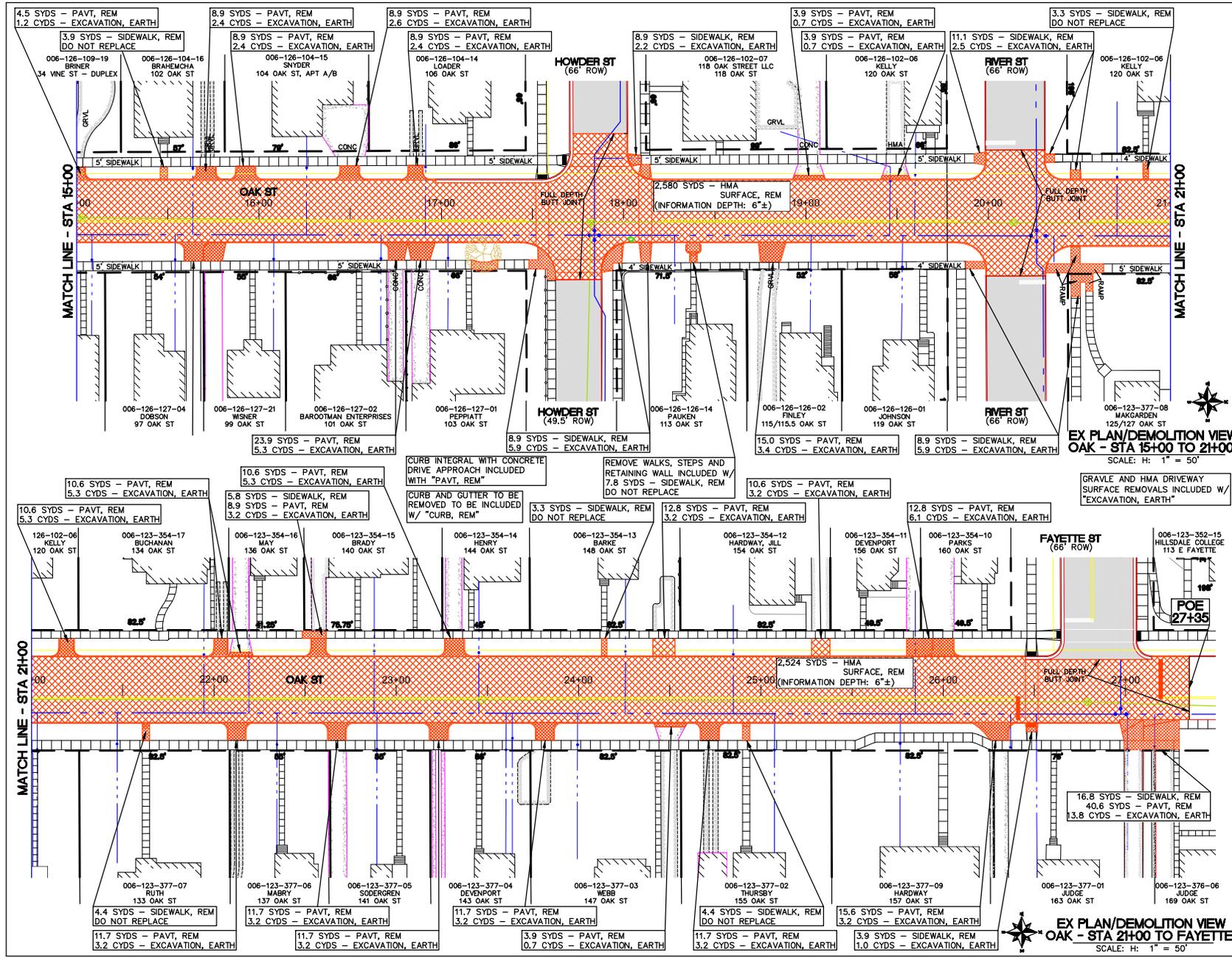
**EX PLAN/DEMOLITION VIEW
OAK - STA 9+00 TO 15+00**
SCALE: H: 1" = 50'

REVISIONS	DATE
DATE OF PLAN	1/9/26

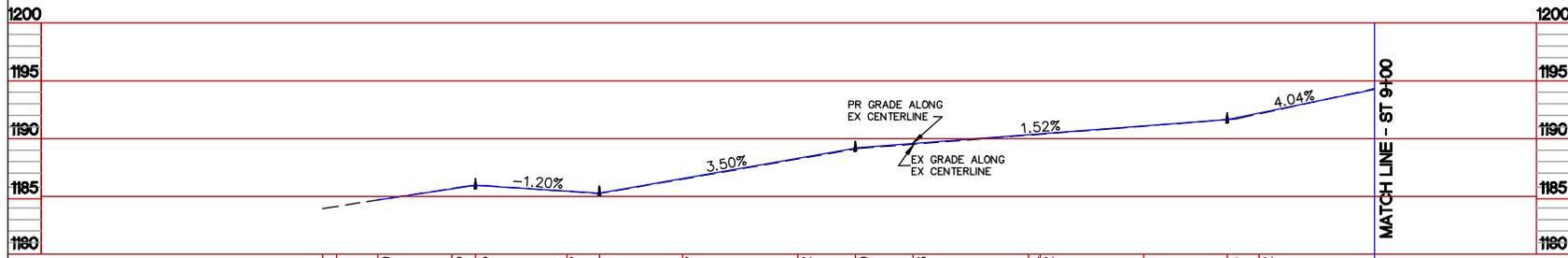
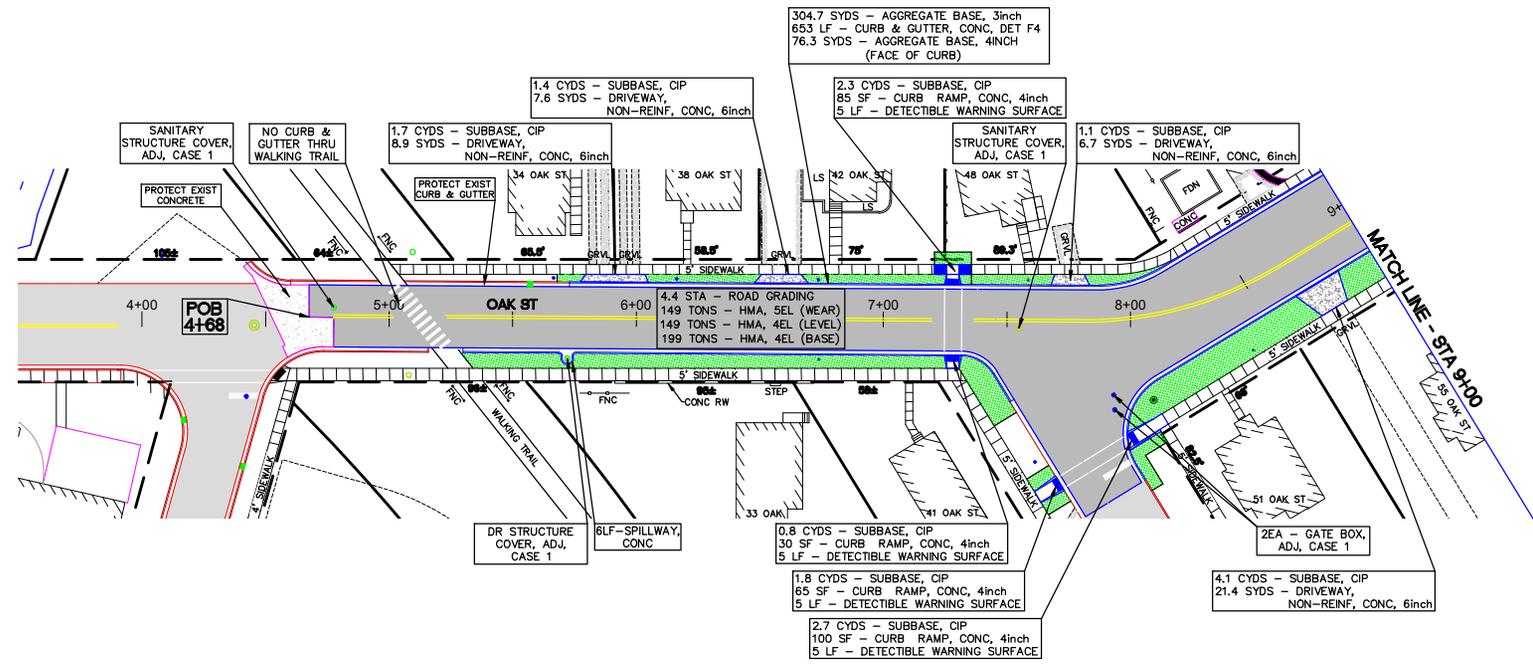
OAK STREET
WILLOW ST TO FAYETTE ST
SECTION 23 and 26, T6S-R3W
CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN
DEMOLITION PLAN
STA 15+00 TO FAYETTE ST

SCALE	NAME	DATE
DESIGNED	RDS	1/9/26
DRAWN	RDS	1/9/26
CHECKED		
DRAWING NO.		

C3



ROAD GRADING, INCLUDES PROVIDING ADDITIONAL AGGREGATE BASE MATERIAL, REMOVAL OF EXCESSIVE BASE MATERIAL AS NEEDED TO PROVIDE FINAL BASE GRADE. 2" OF AGGREGATE BASE BETWEEN THE NEW CURB & GUTTER IS PROVIDED AS AN INFORMATIONAL QUANTITY FOR THE DESIGNED GRADE ADJUSTMENTS - INFO QUANTITY - 84 CYDS - AGGREGATE BASE, CIP



4+44	1183.96	1184.14	WILLOW ST ☿
4+68	1184.69	1184.69	MATCH EXISTING
5+00	1185.67	1185.67	PVI
5+10	1185.95	1185.95	PVI
5+00	1185.95	1185.95	TRAIL ☿
6+00	1186.50	1186.57	
6+75	1189.09	1189.20	PVI
7+00	1189.51	1189.58	
7+55	1190.36	1190.42	MARION ST ☿
8+00	1191.07	1191.10	
8+36	1191.63	1191.65	PVI
8+00	1192.13	1192.22	
9+00	1194.31	1194.31	MATCH LINE - ST 9+00

REVISIONS	DATE
DATE OF PLAN	1/9/26

OAK STREET
WILLOW ST TO FAYETTE ST
 SECTION 23 and 26, T6S-R3W
 CITY OF HILLSDALE
 HILLSDALE COUNTY, MICHIGAN
CONSTRUCTION PLAN
WILLOW ST TO STA 9+00

SCALE	NAME	DATE
DESIGNED	RDS	1/9/26
DRAWN	RDS	1/9/26
CHECKED		

DRAWING NO.
C4

REVISIONS	DATE
DATE OF PLAN	1/9/26

OAK STREET
WILLOW ST TO FAYETTE ST
SECTION 23 and 26, T6S-R3W
CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN
CONSTRUCTION PLAN
STA 19+00 TO STA 15+00

SCALE	NAME	DATE
DESIGNED	RDS	1/9/26
DRAWN	RDS	1/9/26
CHECKED		

DRAWING NO.
C5

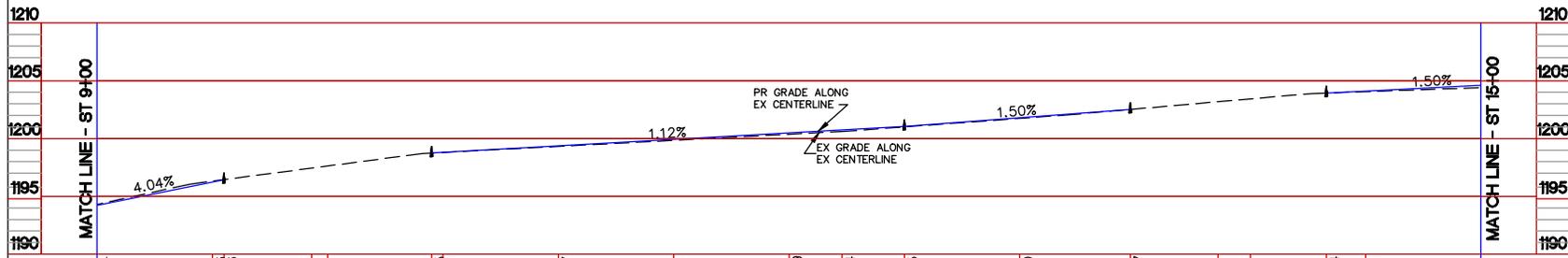
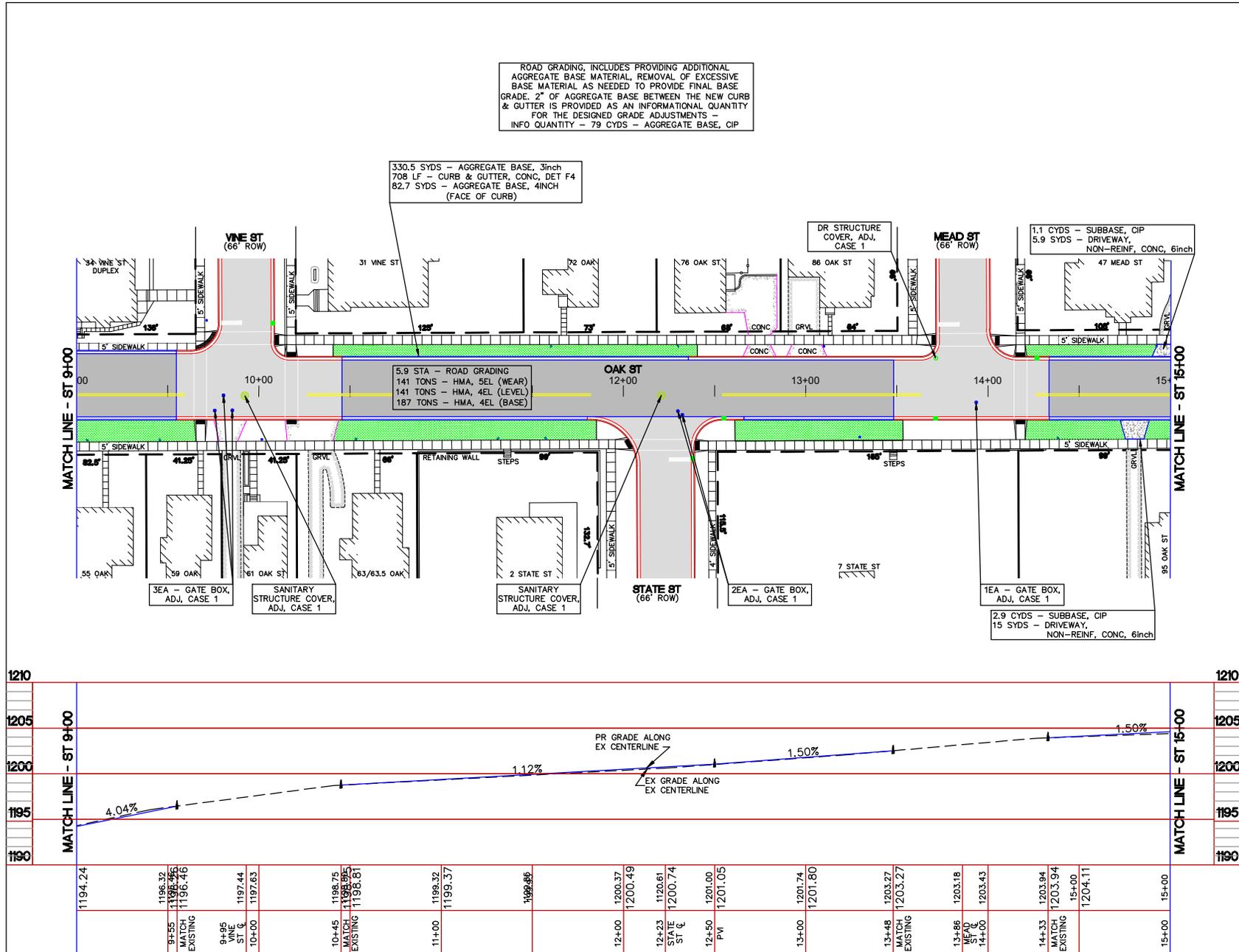
ROAD GRADING, INCLUDES PROVIDING ADDITIONAL AGGREGATE BASE MATERIAL, REMOVAL OF EXCESSIVE BASE MATERIAL AS NEEDED TO PROVIDE FINAL BASE GRADE. 2" OF AGGREGATE BASE BETWEEN THE NEW CURB & GUTTER IS PROVIDED AS AN INFORMATIONAL QUANTITY FOR THE DESIGNED GRADE ADJUSTMENTS.
INFO QUANTITY - 79 CYDS - AGGREGATE BASE, CIP

330.5 SYDS - AGGREGATE BASE, 3inch
708 LF - CURB & GUTTER, CONC, DET F4
82.7 SYDS - AGGREGATE BASE, 4INCH (FACE OF CURB)

5.9 STA - ROAD GRADING
141 TONS - HMA, 5EL (WEAR)
141 TONS - HMA, 4EL (LEVEL)
187 TONS - HMA, 4EL (BASE)

1.1 CYDS - SUBBASE, CIP
5.9 SYDS - DRIVEWAY, NON-REINF, CONC, 6inch

2.9 CYDS - SUBBASE, CIP
15 SYDS - DRIVEWAY, NON-REINF, CONC, 6inch



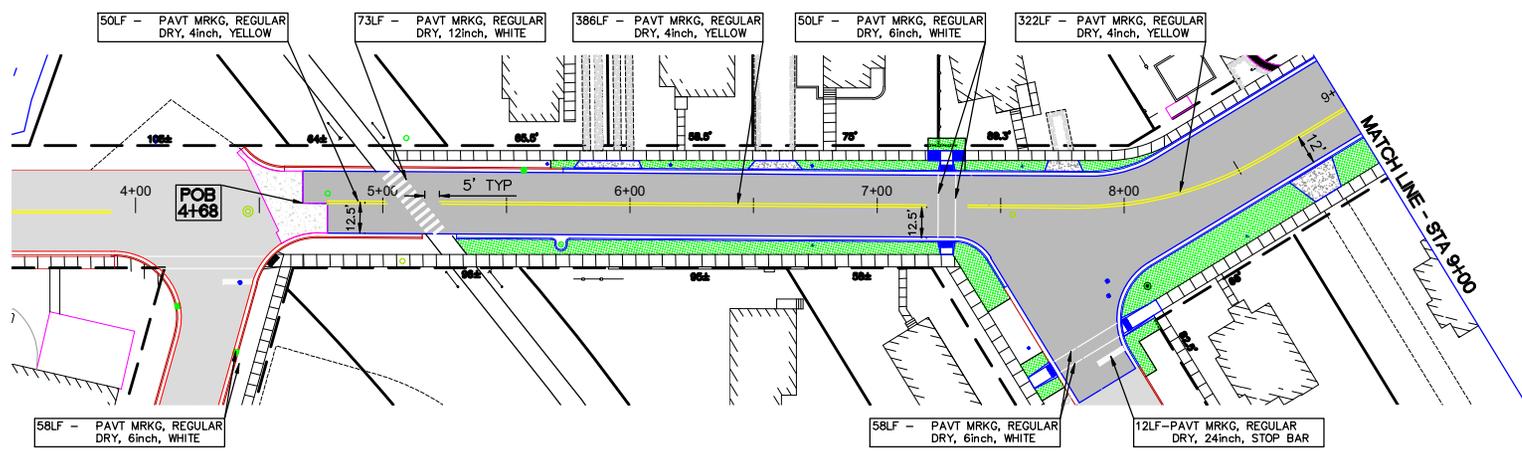
1194.24	1196.32	1198.40	1199.37	1199.85	1200.37	1200.49	1200.61	1200.74	1201.00	1201.05	1201.74	1201.80	1203.27	1203.27	1203.18	1203.43	1203.94	1204.11	15+00
MATCH LINE - ST 9+00	9+55	10+00	10+45	11+00	1199.37	1199.85	12+00	12+23	12+50	PVI	13+00	13+48	MATCH EXISTING	MEAD ST 14+00	14+33	15+00	15+00	15+00	MATCH LINE - ST 15+00
	EXISTING	ST 16	EXISTING				STATE ST 1/4								EXISTING		EXISTING		

REVISIONS	DATE
DATE OF PLAN	1/9/26

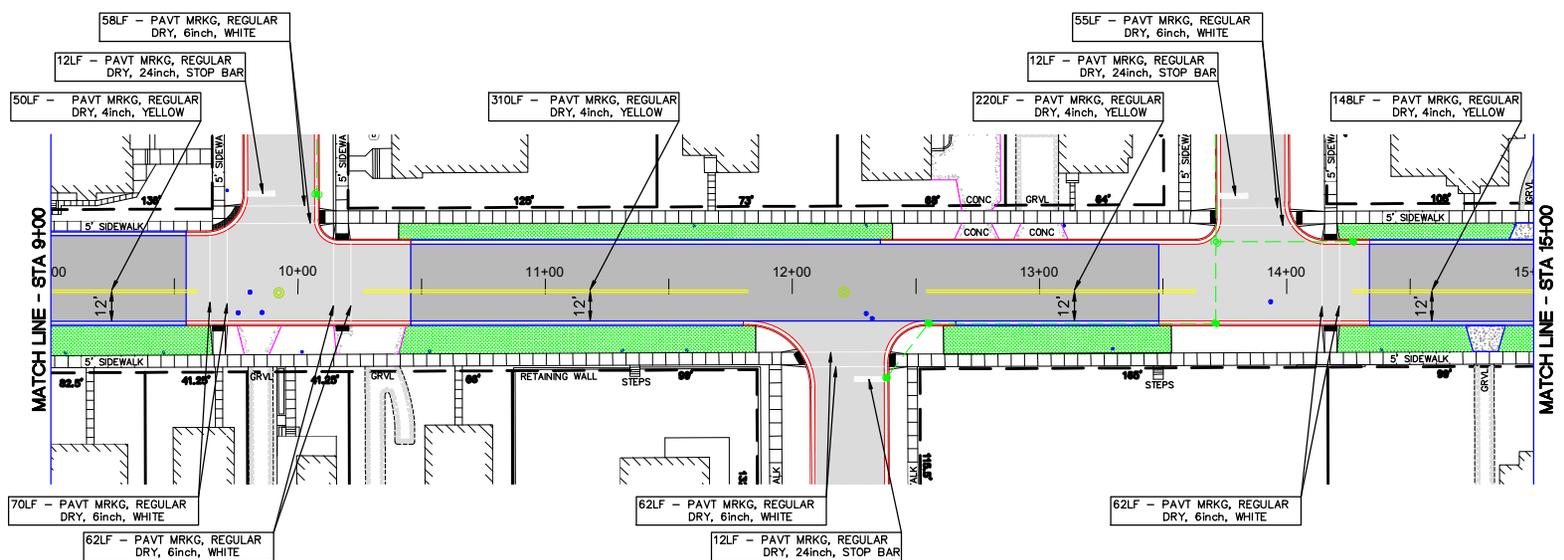
OAK STREET
WILLOW ST TO FAYETTE ST
SECTION 23 and 26, T6S-R3W
CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN
PAVEMENT MARKINGS
WILLOW ST TO STA 15+00

SCALE		
	NAME	DATE
DESIGNED	RDS	1/9/26
DRAWN	RDS	1/9/26
CHECKED		

DRAWING NO. **C8**



PAVEMENT MARKINGS
OAK - WILLOW TO 9+00
SCALE: H: 1" = 50'



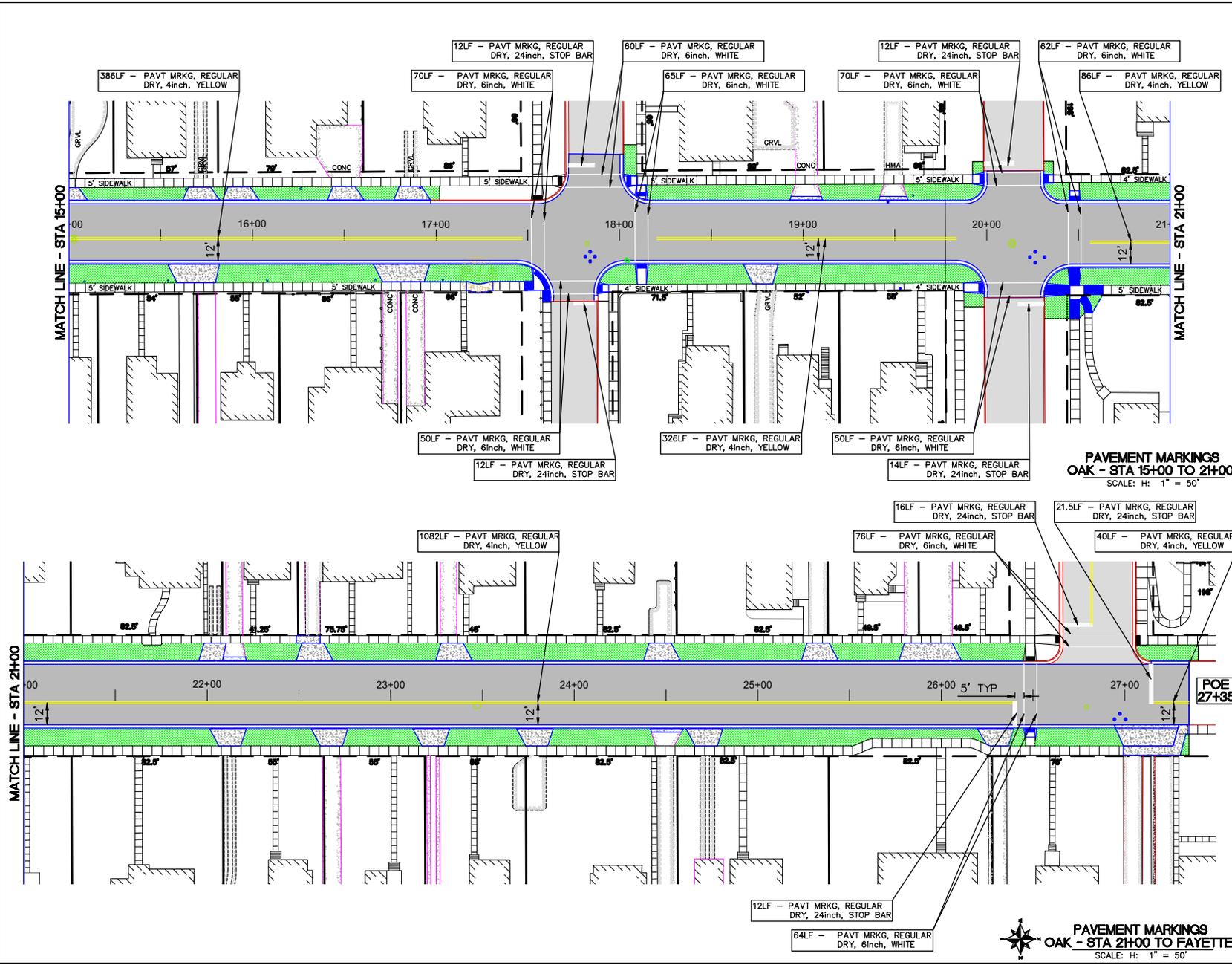
PAVEMENT MARKINGS
OAK - STA 9+00 TO 15+00
SCALE: H: 1" = 50'

REVISIONS	DATE
DATE OF PLAN	1/9/26

OAK STREET
WILLOW ST TO FAYETTE ST
SECTION 23 and 26, T6S-R3W
CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN
PAVEMENT MARKINGS
STA 15+00 TO FAYETTE ST

SCALE		
DESIGNED	RDS	1/9/26
DRAWN	RDS	1/9/26
CHECKED		

DRAWING NO. **C9**



PAVEMENT MARKINGS
OAK - STA 15+00 TO 21+00
SCALE: H: 1" = 50'

PAVEMENT MARKINGS
OAK - STA 21+00 TO FAYETTE
SCALE: H: 1" = 50'

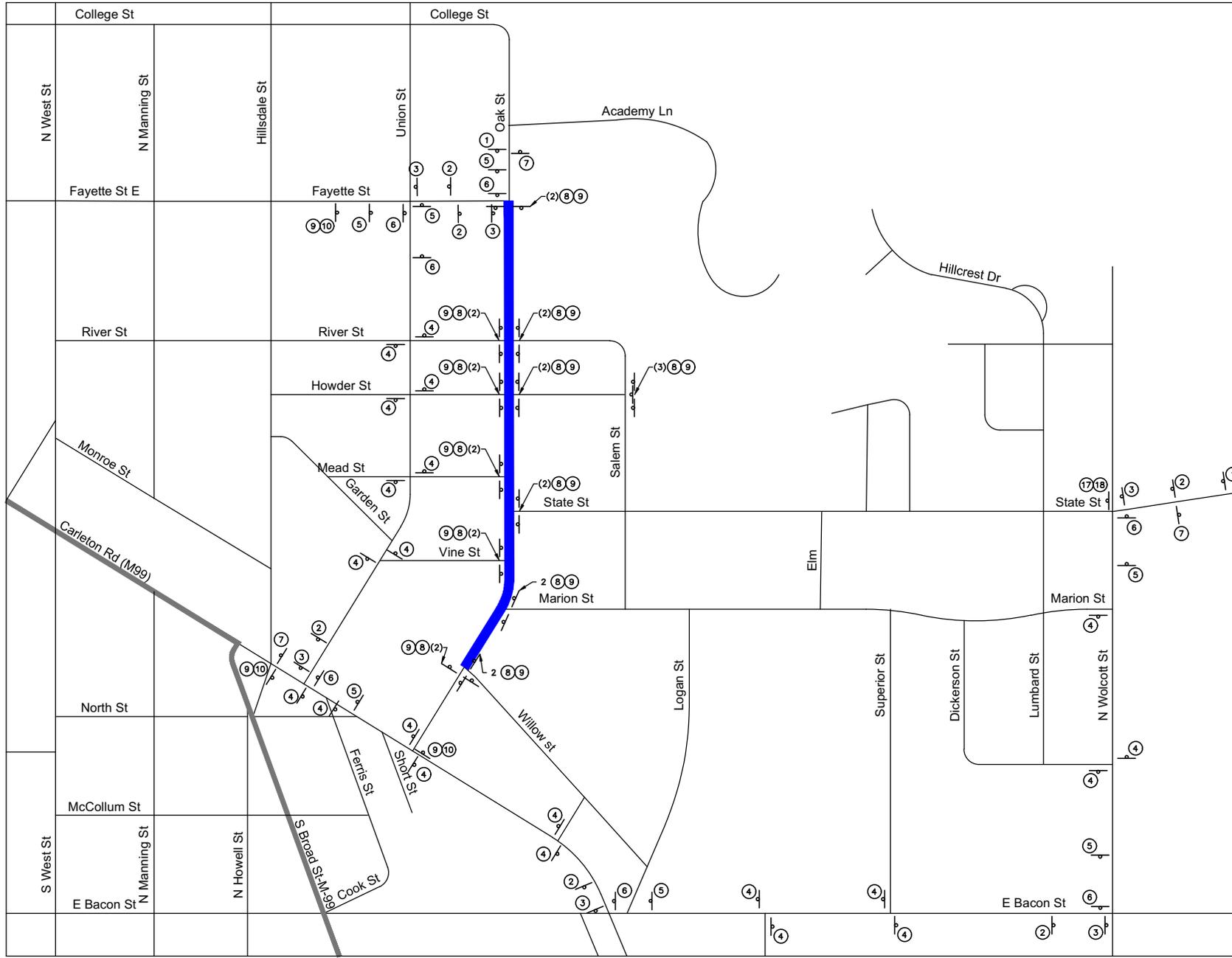


REVISIONS	DATE
DATE OF PLAN	1/9/26

**OAK STREET
 WILLOW ST TO FAYETTE ST
 SECTION 23 and 26, T6S-R3W
 CITY OF HILLSDALE
 HILLSDALE COUNTY, MICHIGAN
 MAINTAINING TRAFFIC
 PLAN VIEW**

SCALE		
DESIGNED	RDS	1/9/26
DRAWN	RDS	1/9/26
CHECKED		

DRAWING NO.
C11



SIGNING REQUIREMENTS - OAK ST

MAP SYMBOL	SIGN	SIGN DESIGNATION	SIGN	QUANTITY
1		D 3-1 W 20-3	36 x 18 36 x 36 (LIGHTED & FLAGGED)	2
2		D 3-1 M 4-9	36 x 18 30 x 24	6
3		D 3-1 M 4-9	36 x 18 30 x 24	6
4		D 3-1 M 4-9	36 x 18 30 x 24	21
5		D 3-1 M 4-9	36 x 18 30 x 24	7
6		D 3-1 M 4-9	36 x 18 30 x 24	7
7		D 3-1 M 4-8a	36 x 18 30 x 24	4
8		R 11-2	48 x 30 (LIGHTED & FLAGGED)	22
9		TYPE III BARRICADE	60 x 48 (LIGHTED) DOUBLE SIDED	26
10		R 11-2	48 x 30 (LIGHTED & FLAGGED)	4

CONTRACTOR TO MAKE THEIR OWN DETERMINATION OFF MINOR TRAF CONTROL DEVICES, TYPE II (CONES) AND PEDESTRAIN BARRIERS. TO BE INCLUDED WITH "MAINTAINING TRAFFIC"
 TEMPORARY SIGNS AND SIGN COVERS ARE TO BE INCLUDED WITH "MAINTAINING TRAFFIC"

MAINTAINING TRAFFIC SCHEDULE

CONTRACTOR IS TO SUBMIT A PROGRESS SCHEDULE PRIOR TO STARTING CONSTRUCTION WITH THE FOLLOWING RESTRICTIONS IN MIND:

HOLIDAYS: CONTRACTOR SHALL OBSERVE THE HOLIDAYS AND HOLIDAY REQUIREMENTS LISTED IN THE MDOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION

WORK SHALL BE DONE IN SUCH A MANNER AS TO LIMIT THE IMPACT TO THE TRAFFIC ALONG READING AVE, MANNING ST, HOWELL ST AND M-99 ONCE THE CONTRACTOR COMMENCES WORK, THEY SHALL NOT LEAVE TO COMPLETE WORK IN OTHER AREAS WITHOUT OPENING WEST ST AND MANNING STREET TO TRAFFIC.

DETOUR ROUTE SHALL FOLLOW THE DETAILS SHOWN ON THIS SHEET AND COMPLY WITH MDOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION, MICHIGAN MANUAL FOR UNIFORM TRAFFIC CONTROL DEVICES, AND MDOT MAINTAINING TRAFFIC TYPICALS (M0020, WZD-125-E, WZD-100-A)

IRWIN STREET TRAFFIC CONTROL TO CONSIST OF BARRICADES AT THE ENDS OF THE CONSTRUCTION ZONE AND SIDE STREET. NO BUSINESS ARE ANTICIPATED TO BE AFFECTED, AS THE STREET IS A RESIDENTIAL ONLY STREET.

CONTRACTOR IS TO PROVIDE 2 WEEKS NOTICEM THE PROJECT ENGINEER WILL ALSO COORDINATE ACTIVITIES WITH THE LOCAL BUSINESS'S, TRUCKING COMPANIES, AND EMERGENCY SERVICES REGARDING STREET CLOSURES AND TRUCKING ROUTES.

SIGN COVERS SHALL BE INSTALLED OVER SIGNS DURING PERIODS WHEN WORK IS NOT BEING COMPLETED BUT THE ROADWAY IS OPEN TO TRAFFIC. THESE TIMES MAY INCLUDE THE PERIOD OF TIME BETWEEN WHEN THE TEMPORARY SIGNS ARE PLACED AND START OF CONSTRUCTION, AND BETWEEN THE END OF CONSTRUCTION AND REMOVAL OF THE TEMPORARY SIGNS. INCLUDED WITH "SIGN COVER"

FURNISHING, INSTALLING, MAINTAINING, RELOCATING, AND REMOVING ALL TRAFFIC CONES AND OTHER TRAFFIC DEVICES NOT IDENTIFIED ON THE PLANS OR IN THE PROPOSAL WILL BE PAID FOR AS "MINOR TRAF DEVICES" AND SHALL BE COMPLETED IN ACCORDANCE WITH SECTION 812.04.F OF THE MDOT 2012 STANDARD SPECIFICATIONS FOR CONSTRUCTION

OAK STREET
WILLOW ST TO FAYETTE ST
 SECTION 23 and 26, T6S-R3W
 CITY OF HILLSDALE
 HILLSDALE COUNTY, MICHIGAN
MAINTAINING TRAFFIC
SIGN INFORMATION

SCALE		
	NAME	DATE
DESIGNED	RDS	1/9/26
DRAWN	RDS	1/9/26
CHECKED		

DRAWING NO.

C12

CONSTRUCTION NOTES (APPLICABLE TO ALL SHEETS, AS NEEDED):

SOIL EROSION CONTROL MEASURES

TO PROTECT SLOPES AND DITCHES, SOO OR SEED/MULCH SHOULD BE PLACED AS SOON AS POSSIBLE AND AS DIRECTED BY THE ENGINEER. TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE UTILIZED DURING CONSTRUCTION IN ACCORDANCE WITH THE PLANS AND SPECIFICATIONS AND AS NECESSARY TO CONTROL SOIL EROSION AND SEDIMENTATION AND AS DIRECTED BY THE ENGINEER.

PLAN ELEVATIONS

ELEVATIONS IN THESE PLANS ARE BASED ON USGS DATUM.

UNDERGROUND UTILITIES

FOR PROTECTION OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL DIAL 1-800-482-7171 A MINIMUM OF THREE WORKING DAYS EXCLUDING SATURDAYS, SUNDAYS & HOLIDAYS PRIOR TO EXCAVATING IN THE VICINITY OF UTILITY LINES. ALL "MISS DIG" PARTICIPATING MEMBERS WILL THIS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING THE UTILITY OWNERS WHO MAY NOT BE PART OF THE "MISS DIG" ALERT SYSTEM.

EXISTING WATER MAINS AND SEWERS

THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO PROPERLY IDENTIFIED EXISTING WATER MAINS AND/OR EXISTING SEWERS DURING THE CONSTRUCTION OF THE PROJECT.

ADJUSTMENT OF CATCH BASINS

IT IS THE CONTRACTOR'S RESPONSIBILITY TO PLACE THE LOCATION AND ELEVATION OF ALL CATCH BASIN CASTINGS PROPERLY ALIGNED WITH THE PROPOSED CURB. ADJUSTMENT OF CASTINGS ON NEW STRUCTURES IS INCLUDED IN PAYMENT FOR THE DRAINAGE STRUCTURE COVER SPECIFIED. ADJUSTMENT OF CASTINGS ON EXISTING STRUCTURES WILL BE PAID AS DR STRUCTURE COVER, ADJ, CASE 1. THESE ITEMS INCLUDE ALL BLOCK OR GRADE RINGS NECESSARY FOR PROPER ADJUSTMENT.

PROPERTY CORNER PRESENTATION

CONTRACTOR SHALL TAKE CARE TO ENSURE THAT PROPERTY CORNERS BEHIND THE SIDEWALKS SCHEDULED FOR REMOVAL AND REPLACEMENT ARE NOT DISTURBED.

SALVAGE

THE CITY RESERVES THE RIGHT TO SALVAGE ALL EXISTING MATERIALS (CASTINGS, HYDRANTS, SIGNS, ETC) MATERIALS DESIRED TO BE SALVAGED SHALL BE STOCKPILED WITHIN THE PROJECT LIMITS FOR THE CITY TO PICK UP. ITEMS THAT THE CITY DECIDES NOT TO SALVAGE BECOME PROPERTY OF THE CONTRACTOR.

CURB DIMENSIONS

ALL CURB DIMENSIONS SHALL BE FROM BACK OF CURB UNLESS OTHERWISE INDICATED

LAWN SPRINKLER SYSTEMS AND LANDSCAPING

OWNERS OF EXISTING LAWN SPRINKLER SYSTEMS AND/OR LANDSCAPING SHALL BE NOTIFIED (IN WRITING WITH A COPY SEND TO THE ENGINEER) BY THE CONTRACTOR TWO WEEKS IN ADVANCE OF ANY WORK TO BE DONE THAT WILL AFFECT THOSE SYSTEMS AND/OR LANDSCAPING. IF THE PROPERTY OWNER FAILS TO RELOCATE THE LAWN SPRINKLER SYSTEM PRIOR TO THE CONTRACTOR BEGINNING WORK, AND IF THE CONTRACTOR CUTS THE SYSTEM DURING THE CONSTRUCTION, THE CONTRACTOR SHALL CAP THE SYSTEM PIPE AND WITNESS THE LOCATION OF THE CAP WITH A WOODEN STAKE FOR THE PROPERTY OWNERS USE. THE CONTRACTOR SHALL PLACE THE SALVAGED SPRINKLER HEADS ON THE PROPERTY OWNERS PROPERTY. IF THE PROPERTY OWNER FAILS TO RELOCATE THE LANDSCAPING PRIOR TO THE CONTRACTOR BEGINNING WORK, THE CONTRACTOR SHALL CAREFULLY SALVAGE THE LANDSCAPING ITEMS AND STOCKPILE THEM ON THE PROPERTY OWNERS PROPERTY FOR THE PROPERTY OWNER. ANY OTHER MODIFICATION TO THE LAWN SPRINKLER SYSTEMS AND/OR LANDSCAPING, IS THE RESPONSIBILITY OF THE OWNER AND IS NOT PART OF THE CONTRACT. THIS WORK IS INCLUDED IN OTHER ITEMS OF THE PROJECT.

CONCRETE WORK

THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF PLANS TO POUR CONCRETE A MINIMUM OF 24 HOURS BEFORE THE POUR. THE CONTRACTOR SHALL PROVIDE A MINIMUM OF TWO HOURS BETWEEN FORMING A SECTION OF FLAT WORK AND POURING THE SECTION TO ALLOW FOR INSPECTION OF THE GRADES, GRADINGS, AND SUB-BASE. FAILURE TO PROVIDE NOTICE AND TIME FOR INSPECTION WILL BE CONSIDERED CAUSE TO REJECT THE PRODUCT OR CAUSE TO REQUIRE RESCHEDULING OF THE WORK, WITH NO ADJUSTMENTS TO THE COMPLETION DATES.

SUBBASE (CIP)

WHEN THE NATURAL MATERIAL MEETING SUBBASE REQUIREMENTS IS LEFT IN PLACE, IT WILL NOT BE PAID FOR. THE GRADING AND COMPACTIVE WORK REQUIRED SHALL BE INCLUDED IN COMPENSATION FOR THE ROADWAY GRADING. EXCAVATION FOR INSTALLATION OF NEW SAND SUBBASE, IF REQUIRED, IS TO BE INCLUDED IN SUBBASE (CIP).

DRIVEWAYS

EXISTING DRIVEWAYS SHALL BE REMOVED WHERE NECESSARY, WHERE SHOWN ON PLANS OR DIRECTED BY ENGINEER, AND SHALL BE PAID FOR AS PAVT, REM. GRADING AND PREPARATION FOR NEW DRIVEWAY SHALL BE INCLUDED IN ROADWAY GRADING. CONTRACTOR SHALL MAINTAIN ACCESS TO DRIVEWAYS DURING CONSTRUCTION INCLUDED IN ROADWAY GRADING.

NOTICE TO RESIDENTS

THE CONTRACTOR SHALL NOTIFY RESIDENTS 24 HOURS IN ADVANCE OF DISRUPTION TO SERVICE, SUCH AS DRIVEWAY CLOSING OR UTILITY SERVICE.

RELOCATION OF GUY ANCHORS

CITY OF HILLSDALE B.P.U. GUY ANCHOR RELOCATIONS WILL BE RELOCATED BY THE UTILITY COMPANY THROUGHOUT THE PROJECT TO A LOCATION DETERMINED IN THE FIELD ALLOWING NEW SEWER CONSTRUCTION. THE CONTRACTOR SHALL COORDINATE THE CONSTRUCTION ACTIVITIES WITH THE GUY ANCHOR RELOCATIONS.

SAW CUTTING

SAW CUTTING OF EXISTING PAVEMENT SHALL BE INCLUDED IN THE UNIT PRICE FOR THE ITEM BEING REMOVED.

SAWCUTTING PAVEMENT

SAWCUTTING EXISTING PAVEMENT AT REMOVAL LIMITS WHERE INDICATED ON THE PLANS AND AS DIRECTED BY THE ENGINEER SHALL BE INCLUDED IN ROADWAY GRADING.

ROADWAY GRADING

ROADWAY GRADING SHALL INCLUDE REMOVAL OF ALL BASE MATERIALS REGARDLESS OF THICKNESS TO A DEPTH SUFFICIENT TO INSTALL THE REQUIRED NEW SUBBASE AND BASE DEPTHS. THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF ONE LANE OF TRAFFIC AT ALL TIMES TO ALLOW EMERGENCY VEHICLE ACCESS AND FOR ACCESS TO LOCAL BUSINESSES AND RESIDENCES.

CURB AND GUTTER

PLACEMENT OF AND PAYMENT FOR CONCRETE CURB AND GUTTER INCLUDES PLACING REBAR DOWELS EPOXY ANCHORED INTO EXISTING CURB AND GUTTER AT POINTS OF CONNECTION IN ACCORDANCE WITH MDOT STANDARD PLAN R-30-G.

SURFACE RESTORATION

AREAS DISTURBED BY CONSTRUCTION, SURFACE SHALL BE GRADED SMOOTH AND RESTORED WITH 4" OF NEW TOPSOIL, HYDROSEED, FERTILIZED, MULCHED, AND ANCHORING MULCHED. SLOPES OF 1:2 OR STEEPER SHALL RECEIVE SLOPE RESTORATION PEGGED IN PLACE. AREAS BETWEEN THE CURB AND SIDEWALK SHALL BE FILLED AND GRADED SMOOTH AND RESTORED AS NOTED ABOVE. RESTORATION SHALL BE FROM BACK OF CURB TO RIGHT OF WAY AS DIRECTED BY ENGINEER. RESTORATION OF DISTURBED AREAS OUTSIDE OF THE STREET RIGHT-OF-WAY WILL NOT BE PAID FOR SEPARATELY UNLESS SHOWN ON THE PLANS OR AS DIRECTED BY ENGINEER. SURFACE RESTORATION WILL BE PAID FOR AS SLOPE RESTORATION.

MAINTAINING TRAFFIC

CONTRACTOR SHALL MAINTAIN ACCESS TO LOCAL RESIDENTS AND EMERGENCY VEHICLES DURING CONSTRUCTION. CONTRACTOR SHALL PROVIDE TEMPORARY AGGREGATE AT DRIVEWAYS AS NECESSARY TO MAINTAIN ACCESS. TEMPORARY GRAVEL INCLUDED IN ROADWAY GRADING.

WATER SERVICES

CITY OF HILLSDALE BPU OR THEIR CONTRACTOR WILL REPLACE ALL REQUIRED WATER SERVICES IN THE PROJECT AREA DURING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH THE CITY OF HILLSDALE.

ADJUSTMENT OF SANITARY SEWER STRUCTURES: IT IS THE CONTRACTOR'S RESPONSIBILITY TO PLACE THE LOCATION AND ELEVATION OF ALL CASTINGS TO BE PROPERLY ALIGNED WITH THE FINISH GRADE. SANITARY CASTING THAT DO NOT PROVIDE AN OPENING OF 24" ARE TO BE REPLACED WITH MDOT COVER "B" AND INCLUDED IN THE COST OF THE ADJUSTMENT. ADJUSTMENT OF CASTINGS ON EXISTING STRUCTURES WILL BE PAID AS SANITARY STRUCTURE COVER, ADJ, CASE 1 OR 2. THESE ITEMS INCLUDE ALL CASTINGS, BLOCK OR ADJUSTING RINGS AS NECESSARY FOR PROPER ADJUSTMENT.

ADJUSTMENT OF GATE BOXES AND WATER SHUTOFF BOXES: IT IS THE CONTRACTOR'S RESPONSIBILITY TO PLACE THE LOCATION AND ELEVATION OF ALL GATE BOXES AND WATER SHUTOFF BOXES TO BE PROPERLY ALIGNED WITH THE FINISH GRADE. ADJUSTMENT OF CASTINGS ON EXISTING GATE BOXES WILL BE PAID AS GATE BOX, ADJ, CASE 1 OR 2. THESE ITEMS INCLUDE ALL ADJUSTING RINGS AS NECESSARY FOR PROPER ADJUSTMENT

PUBLIC UTILITIES: THE EXISTING UTILITIES LISTED BELOW AND SHOWN ON THE PLANS REPRESENT THE BEST INFORMATION AVAILABLE. THIS INFORMATION DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY TO VERIFY THEIR ACCURACY OR THE RESPONSIBILITY IN CASE UTILITIES HAVE BEEN REMOVED OR CONSTRUCTED.

GAS:

MICHIGAN GAS UTILITY
70 SAUK RIVER DRIVE
COLDWATER, MI 49036
P - 517-781-0511
ATTN: DONALD SEEKMAN
donald.seekman@micgigasutilities.com

CABLE TELEVISION:

COMCAST
5526 TELEGRAPH RD
SOUTHFIELD, MI 48034
P - 734-359-1669
ATTN: JEFF DOBIES

WATER/SEWER:

CITY OF HILLSDALE BPU
45 MONROE STREET
HILLSDALE, MI 49242
P - 517-437-6412
ATTN: CRAIG WICKHAM
cwickham@cityofhillsdale.com

ELECTRIC:

CITY OF HILLSDALE BPU
45 MONROE STREET
HILLSDALE, MI 49242
P - 517-437-6417
ATTN: DAVID MACKIE

TELEPHONE:

AT&T
1041 HURST ROAD
JACKSON, MI 49201
P - 517-750-0660
ATTN: KAREN TRUDGEN
karen.m.trudgen@att.com

PUBLIC WORKS:

CITY OF HILLSDALE
149 WATER WORKS AVE
HILLSDALE, MI 49242
517-437-6491
ATTN: JASON BLAKE
jblake@cityofhillsdale.org

THE CONTRACTOR SHALL EXPOSE AND VERIFY LOCATION AND DEPTH OF EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. CONFLICTS IN GRADE SHALL BE REPORTED TO THE CITY ENGINEER AND ADJUSTMENTS MADE AT NO ADDITIONAL COST TO THE OWNER.

LEGEND	
	MONUMENT / SECTION CORNER
	FOUND PROPERTY IRON
	SECTION LINE
	EXISTING PROPERTY LINE
	EXISTING RIGHT OF WAY LINE
	EXISTING EASEMENT LINE
	EXISTING CENTERLINE
	EXISTING DITCH CENTERLINE
	EXISTING SWALE CENTERLINE
	EXISTING DECORATIVE FENCE
	EXISTING FENCE LINE/CHAINLINK
	EXISTING CONTOURS
	BOLLARD / POST
	EXISTING SIGN
	UTILITY POWER POLE
	GUY WIRE
	EXISTING LIGHT POLES/STREET LIGHTS
	UNDERGROUND ELECTRIC LINE
	OVERHEAD ELECTRICAL WIRES
	UNDERGROUND GAS LINE
	UNDERGROUND TELEPHONE LINE
	TELEPHONE RISER
	EXISTING DECIDUOUS TREES
	EXISTING CONIFEROUS TREES
	EXISTING SANITARY MANHOLE
	SANITARY CLEAN-OUT
	EXISTING SANITARY SEWER
	EXISTING STORM MANHOLE
	EXISTING CURB CATCHBASIN
	EXISTING MANHOLE/CATCHBASIN
	EXISTING STORM SEWER
	EXISTING HYDRANT
	EXISTING VALVE / CURB STOP
	EXISTING WATERMAIN
	EXISTING CURB & GUTTER
	EXISTING HMA/BIT SURFACE
	EXISTING CONCRETE SURFACE
	EXISTING GRAVEL SURFACE
	EXISTING SIDEWALK
	EXISTING TRAFFIC ARROWS
	SOIL BORING
	FLAGPOLE
	HANDICAP PARKING SYMBOL

LEGEND - PROPOSED FEATURES	
	PROPOSED SANITARY SEWER
	PROPOSED MANHOLE
	SANITARY CLEAN-OUT
	PROPOSED STORM SEWER
	PROPOSED CURB CATCHBASIN
	PROPOSED MANHOLE/CATCHBASIN
	PROPOSED MANHOLE
	PROPOSED WATERMAIN
	PROPOSED HYDRANT
	PROPOSED VALVE & SHUT OFF
	UNDERGROUND ELECTRIC LINE
	OVERHEAD ELECTRICAL WIRES
	PROPOSED LIGHT POLES
	PROPOSED CURB & GUTTER
	PROPOSED HMA/BIT SURFACE
	EXISTING CONCRETE SURFACE
	EXISTING GRAVEL SURFACE
	EXISTING SIDEWALK
	PROPOSED FLOW ARROW
	PROPOSED CONTOURS
	PROPOSED MODIFIED CURB AND GUTTER



REVISIONS	DATE
DATE OF PLAN	1/9/26

OAK STREET
WILLOW ST TO FAYETTE ST
SECTION 23 and 26, T6S-R3W
CITY OF HILLSDALE
HILLSDALE COUNTY, MICHIGAN

NOTE SHEET
LEGEND

SCALE	NAME	DATE
DESIGNED	RDS	1/9/26
DRAWN	RDS	1/9/26
CHECKED		

DRAWING NO. **C13**



Engineer's Opinion of Costs

Project Number: Oak Street Estimate Number: 1 Project Type: Miscellaneous Location: Willow to Fayette Description:	Project Engineer: Robert Stiverson, PE Date Created: 12/22/2025 Date Edited: 1/13/2026 Fed/State #: Fed Item: Control Section:
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Line	Pay Item	Description	Quantity	Units	Unit Price	Total
Category: 0000						
0001	1027051	_ Above Ground Video	1.000	LSUM	\$6,000.00	\$6,000.00
0002	1100001	Mobilization, Max	1.000	LSUM	\$75,276.30	\$75,276.30
0003	2027050	_ Tree, Rem	1.000	Ea	\$2,500.00	\$2,500.00
0004	2040021	Curb, Rem	2,740.000	Ft	\$10.00	\$27,400.00
0005	2040050	Pavt, Rem	336.700	Syd	\$11.00	\$3,703.70
0006	2040055	Sidewalk, Rem	190.000	Syd	\$13.00	\$2,470.00
0007	2050016	Excavation, Earth	500.000	Cyd	\$14.00	\$7,000.00
0008	2057002	_ Road Grading	23.000	Sta	\$3,300.00	\$75,900.00
0009	2080020	Erosion Control, Inlet Protection, Fabric Drop	9.000	Ea	\$125.00	\$1,125.00
0010	3010002	Subbase, CIP	130.000	Cyd	\$19.00	\$2,470.00
0011	3020008	Aggregate Base, 3 inch	1,695.000	Syd	\$5.00	\$8,475.00
0012	3020010	Aggregate Base, 4 inch	420.000	Syd	\$10.50	\$4,410.00
0013	4030005	Dr Structure Cover, Adj, Case 1	4.000	Ea	\$700.00	\$2,800.00
0014	5010005	HMA Surface, Rem	8,360.000	Syd	\$10.50	\$87,780.00
0015	5012024	HMA, 4EL	1,719.000	Ton	\$97.00	\$166,743.00
0016	5012036	HMA, 5EL	737.000	Ton	\$115.00	\$84,755.00
0017	8010005	Driveway, Nonreinf Conc, 6 inch	465.000	Syd	\$56.00	\$26,040.00
0018	8020038	Curb and Gutter, Conc, Det F4	3,584.000	Ft	\$28.00	\$100,352.00
0019	8020075	Spillway, Conc	5.000	Ft	\$80.00	\$400.00
0020	8030010	Detectable Warning Surface	97.000	Ft	\$65.00	\$6,305.00
0021	8030044	Sidewalk, Conc, 4 inch	75.000	Sft	\$6.00	\$450.00
0022	8030047	Sidewalk, Conc, 7 inch	277.000	Sft	\$8.00	\$2,216.00

Line	Pay Item	Description	Quantity	Units	Unit Price	Total
0023	8032001	Curb Ramp, Conc, 4 inch	1,101.000	Sft	\$8.00	\$8,808.00
0024	8110045	Pavt Mrkg, Ovly Cold Plastic, 24 inch, Stop Bar	145.000	Ft	\$15.00	\$2,175.00
0025	8110127	Pavt Mrkg, Regular Dry, 6 inch, White	1,055.000	Ft	\$1.00	\$1,055.00
0026	8110128	Pavt Mrkg, Regular Dry, 6 inch, Yellow	3,615.000	Ft	\$1.00	\$3,615.00
0027	8110131	Pavt Mrkg, Regular Dry, 12 inch, White	72.500	Ft	\$2.00	\$145.00
0028	8120012	Barricade, Type III, High Intensity, Double Sided, Lighted, Furn	26.000	Ea	\$80.00	\$2,080.00
0029	8120013	Barricade, Type III, High Intensity, Double Sided, Lighted, Oper	26.000	Ea	\$10.00	\$260.00
0030	8120026	Pedestrian Type II Barricade, Temp	40.000	Ea	\$80.00	\$3,200.00
0031	8120035	Channelizing Device, 42 inch, Fluorescent, Furn	100.000	Ea	\$15.00	\$1,500.00
0032	8120036	Channelizing Device, 42 inch, Fluorescent, Oper	100.000	Ea	\$30.00	\$3,000.00
0033	8120170	Minor Traf Devices	1.000	LSUM	\$10,040.00	\$10,040.00
0034	8120350	Sign, Type B, Temp, Prismatic, Furn	831.500	Sft	\$4.50	\$3,741.75
0035	8120351	Sign, Type B, Temp, Prismatic, Oper	831.500	Sft	\$11.50	\$9,562.25
0036	8167011	_ Slope Restoration	2,922.000	Syd	\$13.50	\$39,447.00
0037	8230431	Gate Box, Adj, Case 1	16.000	Ea	\$700.00	\$11,200.00
0038	8252145	Sanitary Structure Cover, Adj, Case 1	8.000	Ea	\$700.00	\$5,600.00

Category 0000 Total: \$800,000.00

Line	Pay Item	Description	Quantity	Units	Unit Price	Total
Estimate Total: \$800,000.00						



Notice of Public Hearing

Date and Resolution Number Establishing Special Assessment District: January 20, 2026,
Resolution #3667

Project Description: 2026-3A Oak Street milling and resurfacing

Public Hearing #1 Date, Time, and Location: Monday, February 16, 2026 at 7:00 p.m., 3rd Floor
Council Chambers, Hillsdale City Hall, 97 North Broad Street, Hillsdale, Michigan 49242

Notice Mailing Date: On or before February 6, 2026

Hillsdale City Council has made a determination that the above identified public improvements are necessary and proper, and that all or part of the costs thereof should be defrayed by special assessment against certain specially benefitting properties. Therefore, pursuant to Hillsdale City Code Section 2-334, a public hearing has been scheduled to consider any objections to this project. **You are receiving this notice because it has been determined that you are the owner of property specially benefitting from the proposed project.**

Written objections may be mailed or dropped off to:

**Hillsdale City Clerk
97 N Broad St
Hillsdale, MI 49242**

- The plans, specifications and estimates of cost have been placed on file with the City Clerk for review.
- Affected property owners will be given an opportunity during the public hearing to comment, ask questions about the project, and submit written objections to the improvements or the description of the lands and premises to be assessed.
- If more than 50 percent of the number of owners of privately owned real property to be assessed object in writing to the proposed improvement, the improvement shall not be made without the affirmative vote of seven of the members of the council.

After the close of the public hearing, Council may make a motion to vote on a resolution to make the improvement and to defray all or part of the cost by special assessment. This resolution will direct the assessor to prepare the assessment roll and must include the percentage of the cost to be levied by special assessment, the method of allocation, the number of annual installments, the interest rate to be charged upon the deferred balance, and a statement that special assessments may be paid in advance, with interest only to the date of payment. If passed, a second public hearing

will be scheduled and noticed to provide affected property owners and interested parties an opportunity to protest the amount of any assessment.

Michigan Compiled Law (MCL) Section 211.741 Required Statements:

- Appearance and protest at the hearing in the special assessment proceedings is required in order to appeal the amount of the special assessment to the state tax tribunal.
- An owner or party in interest, or his or her agent may appear in person at the hearing to protest the special assessment, or shall be permitted to file his or her appearance or protest by letter and his or her personal appearance shall not be required.

Additional Appeal Information:

- Hillsdale City Charter, Section 11.7. – Contested assessments. “Except and unless notice is given to the Council in writing of an intention to contest or enjoin the collection of any special assessment within thirty days after the date of the meeting of the Council at which the assessment roll is finally confirmed, which notice shall state the grounds on which the proceedings are to be contested, no suit or action of any kind shall be instituted or maintained for the purpose of contesting or enjoining the collection of such special assessment. Further, whether or not any public improvement is completed in any special assessment district, no owner of real property located in such district shall be entitled to commence any suit or action for the purpose of contesting or enjoining the collection of any such special assessment after he has received a benefit from the substantial completion of that portion of such public improvement for which he is assessed.” (emphasis added)
- Michigan Compiled Laws, Section **211.746 Statement of right to file written appeal**. Sec. 6. “If a special assessment is made against property, the notice of the special assessment sent to the property owner or person responsible for payment of the ad valorem property taxes under the general property tax act, Act No. 206 of the Public Acts of 1893, being sections 211.1 to 211.157 of the Michigan Compiled Laws, shall include, in addition to any other requirements by statute or charter, a statement that the owner or any person having an interest in the real property may file a written appeal of the special assessment with the state tax tribunal within 30 days after the confirmation of the special assessment roll if that special assessment was protested at the hearing held for the purpose of confirming the roll.” (emphasis added)
 - Petition forms are available and may be filed online with the Michigan Tax Tribunal at www.michigan.gov/taxtrib.
 - The correct form to use can be found under Small Claims, “Property Tax Appeal Petition Form Special Assessment.” Failure to use the correct form may result in a delay or dismissal of your appeal.

118 OAK STREET LLC
KENDZICKY, DANA A, RESIDENT AGENT
2921 CORSTON RD
ANN ARBOR MI 48105

190 OAK LLC
RICHARD BACIGALUPI, PRESIDENT/MGR
6890 E SUNRISE DR STE 120-343
TUCSON AZ 85750

95 OAK STREET LLC
MATT PATILLO
1501 LAKEVIEW DR
HILLSDALE MI 49242

BARKE FAMILY TRUST
BARKE, JEFFREY I & MARILYN R, TTEES
3142 TUCKER LN
LOS ALAMITOS CA 90720

BAROOTMAN ENTERPRISES LLC
ROOTMAN, SHAVIT
62 S NORWOOD AVE
HILLSDALE MI 49242

BIDNY, MARIA A
171 OAK ST
HILLSDALE MI 49242

BRADY, NEAL A & LOIS A K
1260 S SAND LAKE RD
HILLSDALE MI 49242

BRAHEMCHA, KARINA
102 OAK ST
HILLSDALE MI 49242

BRINER, RAYMOND A
4551 KIM DR
HILLSDALE MI 49242

BUCHANAN, CHRISTOPHER TODD & AMY
7104 SANCTUARY HEIGHTS CT
FORT WORTH TX 76132

BUMPUS, ALYSSA & MILLER, HAILEY
63 1/2 OAK ST
HILLSDALE MI 49242

CORNELL, SARA
41 OAK ST
HILLSDALE MI 49242

DELL, REBEKAH
194 OAK ST
HILLSDALE MI 49242

DEVENPORT, BRET M & LORI L
3120 E BEAR LK RD
OSSEO MI 49266

DOBSON, KELSI S
97 OAK ST
HILLSDALE MI 49242

DOHERTY, MICHAEL & JACKIE
266 PETTIS AVENUE NE
ADA MI 49301

DREWS, JAMES L II
2313 FALCON TRACE LN
NOKOMIS FL 34275-5341

DSR ENTERPRISES LLC
62 S NORWOOD AVE
HILLSDALE MI 49242

FINLEY, RANDY ALLAN & DONNA MARIE
264 LAKESIDE DR
QUINCY MI 49082

HARDWAY, JILL
157 OAK ST
HILLSDALE MI 49242

HARDWAY, ROBERT J & JILL D
157 OAK ST
HILLSDALE MI 49242

HARMAN, ERIN L
61 OAK ST
HILLSDALE MI 49242

HENRY, MARK & BETH
6536 SWEET CLOVER HILLS DR
JONESVILLE MI 49250

HILLSDALE COLLEGE
33 E COLLEGE ST
HILLSDALE MI 49242

JOHNSON, LEANNE DAVIS
119 OAK ST
HILLSDALE MI 49242

JUDGE FAMILY TRUST
JUDGE, BENJAMIN W & JEAN M TTEE
163 OAK ST
HILLSDALE MI 49242

JUDGE, CLARK & MARGARET
169 OAK ST
HILLSDALE MI 49242

KELLY, CHRISTOPHER O
4651 SECOND ST
PITTSFORD MI 49271

KOHLI-ROBERTS, JAMES A & DAVID W
48 OAK ST
HILLSDALE MI 49242

KOLASA, KYLE M
7 STATE ST
HILLSDALE MI 49242

LEHMANN, PETER M & MICHELLE
18217 NE 11TH AVE
POULSBO WA 98370

LOADER, CLAIRE E
106 OAK ST
HILLSDALE MI 49242

MABRY, PAUL & JANET E
624 MEADOW RUN DR
FORT COLLINS CO 80525

MAKGARDEN PROPERTIES CORPORATION
82-22 BRITTON AVE
ELMHURST NY 11373

MAY, CATHY LENORA
136 OAK ST
HILLSDALE MI 49242

MCMORDIE, RUSSELL T & DEBORAH E
8359 HORTON BEACH RD
MANITOU BEACH MI 49253

MUNSELL, ROXANNE M
MUNSELL, SCOTT W
42 OAK ST
HILLSDALE MI 49242

O'TOOLE, DANIEL FREDERICK
O'TOOLE, KATHLEEN ISABEL CARUS ARNN
188 OAK ST
HILLSDALE MI 49242

PARKS, JOEL MARK ANTHONY
P O BOX 101
HILLSDALE MI 49242

PAUKEN, EUGENE & GLORIA
113 OAK ST
HILLSDALE MI 49242

PAYNE, MICHAEL & BRENDA
33 OAK ST
HILLSDALE MI 49242

PEPPIATT, DANNY A
1911 S BUNN RD
HILLSDALE MI 49242

R+C FOREVER PROSPER LLC
CAROLYN SCHOLFIELD, RESIDENT AGENT
6286 SWEET CLOVER HILLS DR
JONESVILLE MI 49250

REPIK, JOHN J IV
22 BUDLONG ST APT 1
HILLSDALE MI 49242

RUTH, STEVEN L
133 OAK ST
HILLSDALE MI 49242

SEAY, KIMBERLY
76 OAK ST
HILLSDALE MI 49242

SNYDER, OWEN & EMILY
104 OAK ST A
HILLSDALE MI 49242

SODERGREN, DOUGLAS J & SHARON L
141 OAK ST
HILLSDALE MI 49242

STABILE, RICHARD D & KAREN L MARK
1711 JUANITA DR
HILLSDALE MI 49242

STATE/OAK LLC
8333 DALTON RD
ONSTED MI 49265

STEWART, ROBERT C JR & LINDY J
7028 CONCORD RD
JONESVILLE MI 49250

STODDARD, JONE LESLIE PITTS
STALHOOD, LEROY MELVIN ESTATE
9480 STERLING RD
LITCHFIELD MI 49252

THURSBY, GEORGE E LIVING TRUST
THURSBY, GEORGE E, TRUSTEE
155 OAK ST
HILLSDALE MI 49242

WEBB, HARRY JR & JUDY
147 OAK ST
HILLSDALE MI 49242

WELLS, TIMOTHY S & SUMER A
1661 E MOORE RD
HILLSDALE MI 49242

WISNER, GRACE V
99 OAK ST
HILLSDALE MI 49242

Parcel Number	Street Address	Owner Name	2025 Class	Current use	Total Acres	Project Street		2025 SEV	Estimated True Cash Value	Per Parcel Cap by Ordinance (HMC Sec 2-235)	Cap Based on Property Class	FF Share with Class Caps	% of Total Cost specially assessed
						Front Feet	Corner Lot?						
006-123-302-19	201 OAK ST ETAL	HILLSDALE COLLEGE	201 SCHOOL-COLLEGE PRIVATE		55.32	478.50	Short	-	\$ 1,000,000	\$ 250,000.00	\$ 10,000.00	\$ 10,000.00	0.78%
006-123-352-11	194 OAK ST	DELL, REBEKAH	401 RES 1 FAMILY		0.38	82.50	No	103,300	\$ 206,600	\$ 51,650.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-123-352-12	190 OAK ST	190 OAK LLC	401 RES 1 FAMILY		0.72	165.00	No	176,300	\$ 353,800	\$ 88,450.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-123-352-13	188 OAK ST	O'TOOLE, DANIEL FREDERICK	401 RES 1 FAMILY		0.38	82.50	No	119,700	\$ 239,400	\$ 59,850.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-123-352-14	184 OAK ST	HILLSDALE COLLEGE	202 VACANT PROPERTY		0.30	66.00	No	41,100	\$ 82,200	\$ 20,550.00	\$ 15,000.00	\$ 9,413.79	0.73%
006-123-352-15	113 E FAYETTE ST & 111	HILLSDALE COLLEGE	201 SCHOOL-COLLEGE PRIVATE		1.73	198.00	Short	-	\$ 1,000,000	\$ 250,000.00	\$ 10,000.00	\$ 10,000.00	0.78%
006-123-352-16	100 E COLLEGE ST	HILLSDALE COLLEGE	201 PARKING LOTS		1.50	165.00	Short	35,000	\$ 35,000	\$ 8,750.00	\$ 10,000.00	\$ 8,750.00	0.68%
006-123-354-10	160 OAK ST	PARKS, JOEL MARK ANTHONY	401 RES 1 FAMILY		0.15	49.50	Short	79,800	\$ 159,600	\$ 39,900.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-123-354-11	156 OAK ST	DEVENPORT, BRET M & LORI L	401 RES 1 FAMILY		0.15	49.50	No	61,700	\$ 123,400	\$ 30,850.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-123-354-12	154 OAK ST	HARDWAY, JILL	401 RES 1 FAMILY		0.38	82.50	No	74,800	\$ 149,600	\$ 37,400.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-123-354-13	148 OAK ST	BARKE FAMILY TRUST	401 RES 1 FAMILY		0.38	82.50	No	73,100	\$ 146,200	\$ 36,550.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-123-354-14	144 OAK ST	HENRY, MARK & BETH	401 RES 1 FAMILY		0.22	48.00	No	78,400	\$ 156,800	\$ 39,200.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-123-354-15	140 OAK ST DUPLEX	BRADY, NEAL A & LOIS A K	401 RES DUPLEX		0.34	75.75	No	93,000	\$ 186,000	\$ 46,500.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-123-354-16	136 OAK ST	MAY, CATHY LENORA	401 RES 1 FAMILY		0.19	41.25	No	66,400	\$ 132,800	\$ 33,200.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-123-354-17	134 OAK ST	BUCHANAN, CHRISTOPHER TODD & AMY	401 RES 1 FAMILY		0.38	82.50	No	85,200	\$ 170,400	\$ 42,600.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-123-354-18	128 OAK ST	DOHERTY, MICHAEL & JACKIE	401 RES 1 FAMILY		0.38	82.50	Short	93,400	\$ 186,800	\$ 46,700.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-123-376-04	175 OAK ST	HILLSDALE COLLEGE	401 RES 1 FAMILY		1.26	100.00	No	-	\$ 120,000	\$ 30,000.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-123-376-05	171 OAK ST	BIDNY, MARIA A	401 RES 1 FAMILY		1.04	82.50	No	95,900	\$ 191,800	\$ 47,950.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-123-376-06	169 OAK ST	JUDGE, CLARK & MARGARET	401 RES 1 FAMILY		0.48	99.00	No	109,700	\$ 219,400	\$ 54,850.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-123-376-07	163.5 OAK ST	WELLS, TIMOTHY S & SUMER A	401 RES 1 FAMILY		1.03	13.00	No	103,700	\$ 207,400	\$ 51,850.00	\$ 5,000.00	\$ 1,854.23	0.14%
006-123-377-01	163 OAK ST	JUDGE FAMILY TRUST	401 RES 1 FAMILY		0.33	76.00	No	115,400	\$ 230,800	\$ 57,700.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-123-377-02	155 OAK ST	THURSBY, GEORGE E LIVING TRUST	401 RES 1 FAMILY		0.46	82.50	No	84,000	\$ 168,000	\$ 42,000.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-123-377-03	147 OAK ST	WEBB, HARRY JR & JUDY	401 RES 1 FAMILY		0.46	82.50	No	75,200	\$ 150,400	\$ 37,600.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-123-377-04	143 OAK ST	DEVENPORT, BRET M & LORI L	401 RES 1 FAMILY		0.31	55.00	No	74,100	\$ 148,200	\$ 37,050.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-123-377-05	141 OAK ST	SODERGREN, DOUGLAS J & SHARON L	401 RES 1 FAMILY		0.31	55.00	No	81,000	\$ 162,000	\$ 40,500.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-123-377-06	137 OAK ST	MABRY, PAUL & JANET E	401 RES 1 FAMILY		0.31	55.00	No	85,400	\$ 170,800	\$ 42,700.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-123-377-07	133 OAK ST	RUTH, STEVEN L	401 RES 1 FAMILY		0.46	82.50	No	83,000	\$ 166,000	\$ 41,500.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-123-377-08	125 OAK ST & 127	MAKGARDEN PROPERTIES CORPORATION	401 RES DUPLEX		0.46	82.50	Short	92,200	\$ 184,400	\$ 46,100.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-123-377-09	157 OAK ST	HARDWAY, ROBERT J & JILL D	401 RES 1 FAMILY		3.09	89.00	No	180,300	\$ 360,600	\$ 90,150.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-126-102-06	120 OAK ST	KELLY, CHRISTOPHER O	401 RES 1 FAMILY		0.10	66.00	Short	79,900	\$ 159,800	\$ 39,950.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-126-102-07	118 OAK ST	118 OAK STREET LLC	401 RES 1 FAMILY		0.15	99.00	Long	182,700	\$ 365,400	\$ 91,350.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-126-104-14	106 OAK ST	LOADER, CLAIRE E	401 RES 1 FAMILY		0.13	86.00	Long	67,800	\$ 135,600	\$ 33,900.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-126-104-15	104 OAK ST A & B	SNYDER, OWEN & EMILY	401 RES DUPLEX		0.12	79.00	No	94,500	\$ 189,000	\$ 47,250.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-126-104-16	102 OAK ST	BRAHEMCHA, KARINA	401 RES 1 FAMILY		0.09	57.00	No	96,600	\$ 193,200	\$ 48,300.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-126-104-17	47 MEAD ST	STEWART, ROBERT C JR & LINDY J	401 RES 1 FAMILY		0.16	108.00	Long	74,400	\$ 148,800	\$ 37,200.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-126-107-11	86 OAK ST	R+C FOREVER PROSPER LLC	401 RES 1 FAMILY		0.10	64.00	Short	62,900	\$ 125,800	\$ 31,450.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-126-107-12	76 OAK ST	SEAY, KIMBERLY	401 RES 1 FAMILY		0.10	68.00	No	90,200	\$ 180,400	\$ 45,100.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-126-107-13	72 OAK ST	STODDARD, JONE LESLIE PITTS	401 RES 1 FAMILY		0.11	73.00	No	47,100	\$ 94,200	\$ 23,550.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-126-107-14	31 VINE ST	DREWS, JAMES L II	401 CHURCH		0.19	125.00	Long	66,900	\$ 133,800	\$ 33,450.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-126-109-18	48 OAK ST	KOHLI-ROBERTS, JAMES A & DAVID W	401 RES 1 FAMILY		0.14	89.00	No	75,400	\$ 150,800	\$ 37,700.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-126-109-15	42 OAK ST	MUNSELL, ROXANNE M	401 RES 1 FAMILY		0.70	75.00	No	76,700	\$ 153,400	\$ 38,350.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-126-109-16	38 OAK ST DUPLEX	STABILE, RICHARD D & KAREN L MARK	401 RES DUPLEX		0.19	55.50	No	67,000	\$ 134,000	\$ 33,500.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-126-109-19	34 VINE ST DUPLEX	BRINER, RAYMOND A	401 RES DUPLEX		0.18	136.00	Long	75,600	\$ 151,200	\$ 37,800.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-126-109-20	34 OAK ST	LEHMANN, PETER M & MICHELLE	401 RES 1 FAMILY		0.72	60.00	No	95,100	\$ 190,200	\$ 47,550.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-126-126-01	119 OAK ST	JOHNSON, LEANNE DAVIS	401 RES 1 FAMILY		0.25	58.00	Short	136,400	\$ 272,800	\$ 68,200.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-126-126-02	115 OAK ST DUPLEX	FINLEY, RANDY ALLAN & DONNA MARIE	401 RES DUPLEX		0.17	52.00	No	71,200	\$ 142,400	\$ 35,600.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-126-126-14	113 OAK ST	PAUKEN, EUGENE & GLORIA	401 RES 1 FAMILY		0.31	71.50	Short	75,200	\$ 150,400	\$ 37,600.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-126-127-01	103 OAK ST	PEPPIATT, DANNY A	401 RES 1 FAMILY		0.25	66.00	Short	71,000	\$ 142,000	\$ 35,500.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-126-127-02	101 OAK ST	BAROOTMAN ENTERPRISES LLC	401 RES 1 FAMILY		0.25	66.00	No	94,500	\$ 189,000	\$ 47,250.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-126-127-04	97 OAK ST	DOBSON, KELSI S	401 RES 1 FAMILY		0.21	54.00	No	74,800	\$ 149,600	\$ 37,400.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-126-127-05	95 OAK ST	95 OAK STREET LLC	401 RES 1 FAMILY		0.38	99.00	No	60,000	\$ 120,000	\$ 30,000.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-126-127-14	7 STATE ST	KOLASA, KYLE M	401 RES 1 FAMILY		0.44	165.00	Long	80,200	\$ 160,400	\$ 40,100.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-126-127-21	99 OAK ST	WISNER, GRACE V	401 RES 1 FAMILY		0.17	45.00	No	49,500	\$ 99,000	\$ 24,750.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-126-128-01	2 STATE ST	STATE/OAK LLC	401 MULTIPLE RESIDENCES		0.31	99.00	Short	204,000	\$ 408,000	\$ 102,000.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-126-128-06	63 OAK ST DUPLEX	BUMPUS, ALYSSA & MILLER, HAILEY	401 RES DUPLEX		0.25	66.00	No	85,100	\$ 170,200	\$ 42,550.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-126-128-07	61 OAK ST	HARMAN, ERIN L	401 RES 1 FAMILY		0.16	41.25	No	73,900	\$ 147,800	\$ 36,950.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-126-128-08	59 OAK ST	DSR ENTERPRISES LLC	401 RES 1 FAMILY		0.16	41.25	No	82,800	\$ 165,600	\$ 41,400.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-126-128-09	55 OAK ST	REPIK, JOHN J IV	401 RES 1 FAMILY		0.31	82.50	No	85,900	\$ 171,800	\$ 42,950.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-126-128-10	51 OAK ST	MCMORDIE, RUSSELL T & DEBORAH E	401 RES 1 FAMILY		0.13	66.00	Short	69,900	\$ 139,800	\$ 34,950.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-126-129-30	1 ACADEMY LN	HILLSDALE COLLEGE	201 PRIVATE SCHOOL		25.00	65.00	Short	-	\$ 1,000,000	\$ 250,000.00	\$ 10,000.00	\$ 6,953.37	0.54%
006-126-176-01	41 OAK ST	CORNELL, SARA	401 RES 1 FAMILY		0.15	58.00	Short	53,600	\$ 107,200	\$ 26,800.00	\$ 5,000.00	\$ 5,000.00	0.39%
006-126-176-02	33 OAK ST	PAYNE, MICHAEL & BRENDA	401 RES 1 FAMILY		0.62	90.00	Short	113,100	\$ 226,200	\$ 56,550.00	\$ 5,000.00	\$ 5,000.00	0.39%

Estimated based on current policy

Parcel Number	Street Address	Owner Name	2025 Class	Current use	Total Acres	Project Street Front Feet	Corner Lot?	2025 SEV	Estimated True Cash Value	Per Parcel Cap by Ordinance (HMC Sec 2-235)	Cap Based on Property Class	FF Share with Class Caps	% of Total Cost specially assessed
Totals:					105.51	5,312.00		5,095,600	\$ 13,276,200	\$ 3,319,050.00		\$ 326,971.39	25.40%
	Per Parcel Flat Rate without caps (Property Owner Share/Parcel Count)											Calculated from SEV on last tax roll (estimated for exempt) 25%	
Parcel Count:	62	\$ 10,381.45											
% of Total specially assessed per parcel:	1.61%												

Total ESTIMATED Project Cost: \$ 1,287,300.00

Cost allocation without per parcel caps:		Cost allocation with per parcel cap by ordinance:		Cost allocation with per parcel cap by class (2025 policy):	
City Share	50% \$ 643,650.00	51% \$ 652,550.85	75%	960,328.61	
Property Owner Share	50% \$ 643,650.00	49% \$ 634,749.15	25%	326,971.39	

inferred values - exempt, abated, or easement access

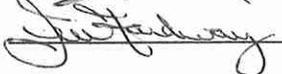
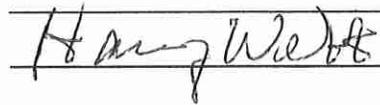
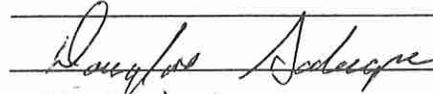
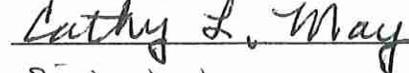
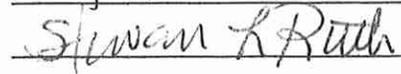
Estimated based on current policy

Section 11.3.

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My signature, as the property owner indicated below, is my written objection to any proposed road improvement being considered, if such improvements might cost me more than **ZERO** dollars. My objection stands until I rescind in writing, or through 2026.

#	Street	Property Owner	Signature	Date	NO!
188	Oak St	<u>Daniel O'Toole</u>	Single sheet		
184	Oak St	<u>College</u>			
175	Oak St	<u>College</u>			
171	Oak St	<u>Maria Bidny</u>			
169	Oak St	<u>Clark Judge</u>	Single sheet		
163	Oak St	<u>Judge Trust</u>	single sheet		
163	Oak St	<u>Timothy Wells</u>	Single sheet		
160	Oak St	<u>Joel Parks</u>			
157	Oak St	<u>Robert Hardway</u>		1-22-26	NO
156	Oak St	<u>Bret Devenport</u>			
155	Oak St	<u>Thursby Trust</u>		1-25-26	No
154	Oak St	<u>Jill Hardway</u>		1-22-26	NO
148	Oak St	<u>Barke Trust</u>			
147	Oak St	<u>Harry Webb</u>		1/26/26	NO
144	Oak St	<u>Mark Henry</u>			
143	Oak St	<u>Bret Devenport</u>			
141	Oak St	<u>Douglas Sodergren</u>		1-22-26	NO
140	Oak St	<u>Neal Brady</u>	single sheet		
137	Oak St	<u>Paul Mabry</u>		1-25-26	No
136	Oak St	<u>Cathy May</u>		1-27-26	No
134	Oak St	<u>Christopher Buchanan</u>	Single sheet		
133	Oak St	<u>Steven Ruth</u>		1-26-26	NO
128	Oak St	<u>Michael Doherty</u>			
125	Oak St	<u>MakGarden Props</u>	single sheet (email)		
120	Oak St	<u>Christopher Kelly</u>			
119	Oak St	<u>LeAnne Johnson</u>	Single sheet		
118	Oak St	<u>Oak Street LLC</u>			
115	Oak St	<u>Randy Finley</u>			
113	Oak St	<u>Eugene Pauken</u>			

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#	Street	Property Owner	Signature	Date	NO!
188	Oak St	<u>Daniel O'Toole</u>	Single sheet		
184	Oak St	<u>College</u>			
175	Oak St	<u>College</u>			
171	Oak St	<u>Maria Bidny</u>			
169	Oak St	<u>Clark Judge</u>	Single sheet		
163	Oak St	<u>Judge Trust</u>	Single sheet		
163	Oak St	<u>Timothy Wells</u>	(Single sheet)		
160	Oak St	<u>Joel Parks</u>	<i>Joel Parks</i>	30 Jan 26	NO
157	Oak St	<u>Robert Hardway</u>	<i>R. Hardway</i>	1-23-26	NO
156	Oak St	<u>Bret Devenport</u>	<i>Bret Devenport</i>	1/23/26	NO
155	Oak St	<u>Thursby Trust</u>			
154	Oak St	<u>Jill Hardway</u>	<i>Jill Hardway</i>		
148	Oak St	<u>Barke Trust</u>			
147	Oak St	<u>Harry Webb</u>			
144	Oak St	<u>Mark Henry</u>	<i>Mark Henry</i>	1-22-26	NO
143	Oak St	<u>Bret Devenport</u>	<i>Bret Devenport</i>	1/23/26	NO
141	Oak St	<u>Douglas Sodergren</u>			
140	Oak St	<u>Neal Brady</u>	Single sheet		
137	Oak St	<u>Paul Mabry</u>			
136	Oak St	<u>Cathy May</u>			
134	Oak St	<u>Christopher Buchanan</u>	(Single sheet)		
133	Oak St	<u>Steven Ruth</u>			
128	Oak St	<u>Michael Doherty</u>			
125	Oak St	<u>MakGarden Props</u>			
120	Oak St	<u>Christopher Kelly</u>	<i>Chris Kelly</i>	1-25-26	NO
119	Oak St	<u>LeAnne Johnson</u>	(Single sheet)		
118	Oak St	<u>Oak Street LLC</u>			
115	Oak St	<u>Randy Finley</u>			
113	Oak St	<u>Eugene Pauken</u>	<i>Eugene Pauken</i>	Alma Cardinal P&A 1-23-26	NO

Section 11.3.

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My signature, as the property owner indicated below, is my written objection to any proposed B road improvement being considered, if such improvements might cost me more than **ZERO dollars**. My objection stands until I rescind in writing, or through 2026.

#	Street	Property Owner	Signature	Date	NO!
106	Oak St	Claire Loader	Claire Loader	1-23-26	✓
104	Oak St	Owen Snyder	Owen Snyder	1-23-26	✓
102	Oak St	Karina Brahemcha	[Signature]	1-31-26	✓
47	Mead St	Robert Stewart	(Single sheet)		
103	Oak St	Danny Peppiatt	Danny Peppiatt	1-24-2026	✓
101	Oak St	Barootman LLC	[Signature]	1-25-2026	
99	Oak St	Grace Wisner			
97	Oak St	Kelsi Dobson	Kelsi Dobson	2-1-26	✓
95	Oak St	95 Oak St LLC	Matt Patillo	1/22/2026	✓
7	State St	Kyle Kolasa			
2	State St	StateOak LLC	Single sheet		
86	Oak St	RCForever LLC	(Single sheet)		
76	Oak St	Kimberly Seay	Kimberly Seay	1/23/26	✓
72	Oak St	Jone Stoddard	Jone Stoddard	1-25-26	✓
63	Oak St	James Drews			
63	Oak St	Alyssa Bumpus			
61	Oak St	Erin Harman	Erin Harman	1/25/26	✓
59	Oak St	DSR LLC	[Signature]	1-25-2026	
55	Oak St	John Repik			
51	Oak St	Russell McMordie	Russell McMordie	1/25/26	
48	Oak St	James Kholhi			
42	Oak St	Roxanne Munsell	Roxanne Munsell	1/25/26	NO
41	Oak St	Sara Cornell	Sara Cornell	1/25/26	
38	Oak St	Richard Stabile	Richard Stabile	1/24/26	✓
34	Oak St	Peter Lehmann	Peter Lehmann	1/25/26	✓
33	Oak St	Michael Payne			
34	Vine St	Raymond Briner			
31	Vine St	James Drews	(Single sheet)		

Section 11.3.

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#	Street	Property Owner	Signature	Date	NO!
100	E College St	College			
194	Oak St	<u>Rebekah Dell</u>			
190	Oak St	<u>190 Oak LLC</u> (single sheet)			
188	Oak St	<u>Daniel O'Toole</u>		1/27/26	NO
184	Oak St	College			
113	E Fayette	College			
201	Oak St	College			
1	Academy Ln	College			
175	Oak St	College			
171	Oak St	<u>Maria Bidny</u>			
169	Oak St	<u>Clark Judge</u>		1-27-26	NO
163	Oak St	<u>Judge FT</u>		1/27/26	No
163.5	Oak St	<u>Timothy Wells</u>			
157	Oak St	<u>Robert Hardway</u>			

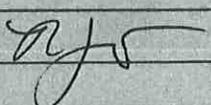
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190	Oak St	190 Oak LLC		1/31/26	NO
188	Oak St	Daniel O'Toole			
184	Oak St	College			
113	E Fayette	College			
201	Oak St	College			
1	Academy Ln	College			
175	Oak St	College			
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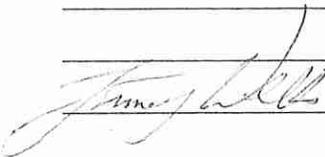
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160	Oak St	<u>Joel Parks</u>	_____	_____	_____
157	Oak St	<u>Robert Hardway</u>	_____	_____	_____
156	Oak St	<u>Bret Devenport</u>	_____	_____	_____
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154	Oak St	<u>Jill Hardway</u>	_____	_____	_____
148	Oak St	<u>Barke Trust</u>	_____	_____	_____
147	Oak St	<u>Harry Webb</u>	_____	_____	_____
144	Oak St	<u>Mark Henry</u>	_____	_____	_____
143	Oak St	<u>Bret Devenport</u>	_____	_____	_____
141	Oak St	<u>Douglas Sodergren</u>	_____	_____	_____
140	Oak St	<u>Neal Brady</u>	_____	_____	_____
137	Oak St	<u>Paul Mabry</u>	_____	_____	_____
136	Oak St	<u>Cathy May</u>	_____	_____	_____
134	Oak St	<u>Christopher Buchanan</u>	_____	_____	_____
133	Oak St	<u>Steven Ruth</u>	_____	_____	_____
128	Oak St	<u>Michael Doherty</u>	_____	_____	_____
125	Oak St	<u>MakGarden Props</u>	<u>Amelia Breamore-Makinano</u>	<u>1/30/26</u>	<input checked="" type="checkbox"/>
120	Oak St	<u>Christopher Kelly</u>	_____	_____	_____
119	Oak St	<u>LeAnne Johnson</u>	_____	_____	_____
118	Oak St	<u>Oak Street LLC</u>	_____	_____	_____
115	Oak St	<u>Randy Finley</u>	_____	_____	_____
113	Oak St	<u>Eugene Pauken</u>	_____	_____	_____

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Objection to improvements.

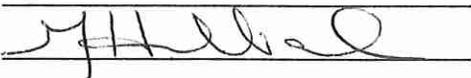
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169	Oak St	<u>Clark Judge</u>	_____	_____	_____
163	Oak St	<u>Judge Trust</u>	_____	_____	_____
163 ^S	Oak St	<u>Timothy Wells</u>		1-23-26	<input checked="" type="checkbox"/>
160	Oak St	<u>Joel Parks</u>	_____	_____	_____
157	Oak St	<u>Robert Hardway</u>	_____	_____	_____
156	Oak St	<u>Bret Devenport</u>	_____	_____	_____
155	Oak St	<u>Thursby Trust</u>	_____	_____	_____
154	Oak St	<u>Jill Hardway</u>	_____	_____	_____
148	Oak St	<u>Barke Trust</u>	_____	_____	_____
147	Oak St	<u>Harry Webb</u>	_____	_____	_____
144	Oak St	<u>Mark Henry</u>	_____	_____	_____
143	Oak St	<u>Bret Devenport</u>	_____	_____	_____
141	Oak St	<u>Douglas Sodergren</u>	_____	_____	_____
140	Oak St	<u>Neal Brady</u>	_____	_____	_____
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133	Oak St	<u>Steven Ruth</u>	_____	_____	_____
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125	Oak St	<u>MakGarden Props</u>	_____	_____	_____
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115	Oak St	<u>Randy Finley</u>	_____	_____	_____
113	Oak St	<u>Eugene Pauken</u>	_____	_____	_____

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7	State St	<u>Kyle Kolasa</u>	_____	_____	_____
2	State St	<u>StateOak LLC</u>		1/26/25	X
86	Oak St	<u>RCForever LLC</u>	_____	_____	_____
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55	Oak St	<u>John Repik</u>	_____	_____	_____
51	Oak St	<u>Russell McMordie</u>	_____	_____	_____
48	Oak St	<u>James Kholhi</u>	_____	_____	_____
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86	Oak St	<u>RCForever LLC</u>	<u>Caroline Scholfield</u>	<u>1-25-26</u>	<u>X</u> <u>RCForever LLC</u>
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137	Oak St	<u>Paul Mabry</u>			
136	Oak St	<u>Cathy May</u>			
134	Oak St	<u>Christopher Buchanan</u>		1/26/26	✓
133	Oak St	<u>Steven Ruth</u>			
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47	Mead St	<u>Robert Stewart</u>	<i>Robert Stewart</i>	1/24/26	✓
103	Oak St	<u>Danny Peppiatt</u>	_____	_____	_____
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63	Oak St	<u>Alyssa Bumpus</u>	_____	_____	_____
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31	Vine St	<u>James Drews</u>	<u>James Drews</u>	<u>01-22-26</u>	<u>NO</u>

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120	Oak St	<u>Christopher Kelly</u>	_____	_____	_____
119	Oak St	<u>LeAnne Johnson</u>	<i>LeAnne Davis Johnson</i>	<i>1.25.26</i>	<i>✓copy</i>
118	Oak St	<u>Oak Street LLC</u>	_____	_____	_____
115	Oak St	<u>Randy Finley</u>	_____	_____	_____
113	Oak St	<u>Eugene Pauken</u>	_____	_____	_____

Name] Christopher Kelly Address] 120 oak st
Hillsdale, MI 49271
Date 2-10-2026

Hillsdale City Council
97 N. Broad Street
Hillsdale, MI 49242

RE: Formal Objection to Citywide Special Assessment
Parcel No: prop# 006-126-102-06
Property Address: 120-Oak-St

RECEIVED**FEB 11 2026****CITY OF HILLSDALE
CITY CLERK'S OFFICE**

To the Members of the Hillsdale City Council:

I am submitting this letter as my formal written objection to the proposed citywide special assessment, which seeks to charge every Hillsdale resident approximately \$5,000. This objection is made pursuant to Michigan law, including but not limited to the requirements of MCL 211.741 and all related statutes governing the creation, justification, and proportionality of special assessments.

I object to this assessment on the following grounds:

1. ****Lack of Proportional Benefit:****

Michigan law requires that a special assessment be directly tied to a **specific, measurable benefit** to the assessed property. A blanket \$5,000 charge applied to every resident—regardless of location, frontage, usage, or actual benefit—fails to meet even the most basic proportionality standards.

2. ****Improper Use of Special Assessment Authority:****

A citywide charge of this magnitude resembles a general tax increase, not a lawful special assessment. If the City intends to raise general revenue, it must follow the proper procedures for taxation—not attempt to bypass voter approval through an improperly structured assessment.

3. ****Failure to Demonstrate Necessity and Reasonableness:****

The City has not provided a transparent, itemized justification for the cost, nor has it demonstrated that the proposed project(s) confer a direct, individualized improvement to each parcel sufficient to justify a \$5,000 burden.

4. ****Disproportionate Financial Impact on Residents:****

A charge of this size imposes a significant financial hardship on homeowners and violates the principle that special assessments must be reasonable, equitable, and tied to actual benefit—not simply used to fill budget gaps.

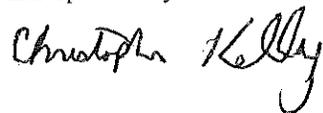
5. ****Insufficient Notice and Inadequate Supporting Documentation:****

The materials provided do not meet the statutory requirements for clarity, transparency, or evidentiary support. Residents cannot meaningfully evaluate or respond to the proposal without complete information.

For these reasons, I request that the City Council reject the proposed assessment in its current form. At minimum, the City must provide a legally compliant justification, a transparent cost breakdown, and a proportional methodology that aligns with Michigan law.

This objection is submitted prior to the public hearing and must be entered into the official record.

Respectfully,
Christopher Kelly



RECEIVED

FEB 10 2026

CITY OF HILLSDALE
CITY CLERK'S OFFICE

February 10, 2026

Karen L. Mark
1711 Juanita Drive
Hillsdale, MI. 49242

Hillsdale City Council
c/o Hillsdale City Clerk
97 N Broad Street
Hillsdale, MI. 49242

Re: 2026-3A – Oak Street milling and resurfacing

Honorable Council Members:

I am an owner of a property located at 38 Oak Street, Hillsdale, MI 49242. I am submitting this letter of objection to the special assessment for milling and resurfacing Oak Street that you propose.

Oak Street is not a private road, it is not part of a "development", and it is not exclusively, or even primarily used by the property owners of the street. Oak Street is a street used by many residents and non-residents of the City of Hillsdale. It is a primary access road to Hillsdale College, to the sports complex of Hillsdale College, and to Hillsdale Academy. Your argument seems to be that the residents are "certain specially benefitting properties". I argue that a public street does not "specially benefit" just the people living on that street - especially if that street is a highly used access to such attractions as the college, the Academy and the sports complex.

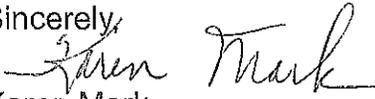
The definition of "specially benefitting" *might* apply if the assessment was made to replace sewer lines or sidewalks, but that certainly is not the case here.

The citizens of Hillsdale might like to see how the taxes they pay are being spent each year before Council levies any "special assessments". And perhaps, instead of money being spent on a Road Diet plan that not everyone is crazy about, that money could be diverted to public streets that need repair?

I didn't write the following paragraph, but copied it from Facebook – it does express my feelings, though:

"Any chance you could fix the road I am already paying taxes to fix, so I'm not causing damage to the car I am taxed to drive every year, which I bought with income that was already taxed, which I parked on the driveway of my property that is also taxed?"

Sincerely,



Karen Mark

Owner, 38 Oak Street

/

City of Hillsdale

Agenda Item Summary

Meeting Date: February 16, 2026

Agenda Item: New Business

SUBJECT: Bid Award – Library Carpet Replacement

BACKGROUND PROVIDED BY: Library Director Rebekah Dobski / Library Board

City staff developed and requested bids for carpet replacement throughout the Hillsdale Community Library. Carpet in the main library area currently shows extensive staining and high traffic use as well as wear and tear that has developed progressively since the original installment over 20 years ago.

We received three bids from companies across Lower Michigan, and one based out of Arizona. \$30,000 was budgeted in the 25/26FY for capital outlay projects. Due to our budget timeline process, that number was forecasted before numbers came in for the first phase of carpet replacement, and explains the difference between bid amounts and budget allotments.

<u>Contractor</u>	<u>Base Bid</u>	<u>Furniture</u>	<u>Total</u>
Frey & Sons Flooring Co	\$56,440.89	X	\$56,440.89
<i>Seelye Group LTD.</i>	<i>\$46,792.00</i>	<i>\$9,500</i>	<i>\$56,292.00</i>
Continental Flooring Co.	\$55,830.00	X	\$55,830.00
<i>Trist Creek Flooring INC.</i>	<i>\$49,400.00</i>	<i>\$8,000</i>	<i>\$57,400</i>

The Director put a request for bids beginning in January, and was modified to include an additional request for furniture movement. Each company was offered this information, additionally communicated if site measurements occurred. Only two companies offered an additional quote to include this service.

RECOMMENDATION:

The Director, with the Board's discretion, suggests for City Council to award the Library Carpet Bid replacement within the main library area to Seelye Group LTD, at the price of \$46,792.00 to remove, replace, and reinstall carpet and vinyl cove, as well as \$9,500 to move and/or lift furniture and shelving as part of their carpet work. This allows library staff to focus on preparing the facility for closing and opening, which helps mitigate total closure time. This also allows the contracted company to phase their work and provide us an easy timeline.

RECEIVED



CITY OF HILLSDALE

FEB 09 2026
CITY OF HILLSDALE
CITY CLERK'S OFFICE

97 NORTH BROAD STREET
HILLSDALE, MICHIGAN 49242-1695
(517) 437-6441 FAX: (517) 437-6448
cityofhillsdale.org

What Board/Commission would you like to serve? BOARD OF REVIEW

Name: ANTHONY A. VEAR

Address: [REDACTED] HILLSDALE 49242
Street City Zip

Phone: Home [REDACTED] Work

E-Mail [REDACTED]

Residency is required for most Boards & Commissions.
Are you a resident of City of Hillsdale? Yes [X] No If so, for how long? 36+ YEARS

Occupation: (if retired, former occupation) RETIRED SALES / MAINS IMPORTING

Please check the expertise and skills you can contribute:

- Accounting, Fund Raising, Marketing, Advocacy, Human Resources, Planning, Computers, Knowledge of the Cause, Public Relations, Legal, Community Relations, Public Speaking, Finance, Management, Other

Brief Educational Background: 1982 HILLSDALE COLLEGE GRADUATE BUSINESS ADMINISTRATION

What charitable or community activities have you actively participated in? Please describe any leadership role(s) you have (had) in the organization(s):
HILLSDALE HIGH BOOSIER CLUB PRESIDENT.
HILLSDALE RIGHT TO LIFE
RIGHT TO LIFE OF MICHIGAN.
KNIGHTS OF COLUMBUS.

On what other volunteer boards/committees have you served?
HILLSDALE CITY BOARD OF REVIEW

Describe any previous activities related to government: _____

HILLSDALE CITY COUNCIL
FINANCE COMMITTEE.
COMMUNITY DEVELOPMENT.

Please explain why you would be interested in serving on the council or committee: _____

TO HELP THE CITY.

Please explain your understanding of the City of Hillsdale:

Additional comments: _____

Please send your completed application to City of Hillsdale, City Manager at 97 North Broad Street, Hillsdale, MI 49242.

Anthony A. Vuar
Applicant Signature

2-09-2026
Date