



Planning Commission  
97 North Broad Street  
Hillsdale, Michigan 49242-1695  
(517) 437-6440 Fax: (517) 437-6450

**Planning Commission Agenda**  
**January 17, 2024**

- I. Call to Order 5:30 pm**
  - A. Pledge of Allegiance
  - B. Roll Call
  
- II. Public Comment**
  - Any agenda item – 3 min. limit
  
- III. Consent Items**
  - A. Approval of agenda
  - B. Approval of Planning Commission 12/20/2023 minutes
  
- IV. Old Business**
  - A. Airport Terminal site plan approval
  - B. Sec. 36-431 & 36-432
  
- V. New Business**
  - A. No new business
  
- VI. Zoning Administrator Report**
  
- VII. Commissioners' Comments**
  
- VIII. Public Comment**
  - Any Commission related item – 3 min. limit
  
- IX. Adjournment**
  - Next meeting: **Wednesday, February 21, 2024 at 5:30 pm**

**Planning Commission Meeting Minutes**  
**Hillsdale City Hall**  
**Council Chambers**  
**December 20, 2023**  
**5:30 pm**

**I. Call to Order**

Meeting opened at 5:30 pm followed by the Pledge of Allegiance, and Roll Call.

**II. Members Present**

- A. Members Present: Commissioner Roma Rogers, Vice Chair Kerry Laycock, Commissioner William Morrissey, Commissioner Matt Kniffen, Commissioner Jacob Bruns
- B. Public Present: Zoning Administrator Alan Beeker, Jack McLain
- C. Members Absent: Chairman Eric Moore, Secretary Elias McConnell

**III. Public Comment**

No public comment.

**IV. Consent Agenda and Minutes**

Motion to approve the Consent agenda as presented made by Commissioner Morrissey, seconded by Commissioner Bruns, motion approved unanimously. Commissioner Morrissey moved to approve the minutes as amended, his name is misspelled under item IV(A) and the word under item V(B) ‘miccion’ should be replaced with ‘omission’, Commissioner Bruns seconded. Motion approved.

**V. New Member Welcome**

The Planning Commissioners and Zoning Administrator welcomed the newest members to the Commission, Jacob Bruns and Matt Kniffen.

**VI. Officer Elections**

- A. Nominations for Chair, Vice Chair and Secretary
  - a. Kerry nominated Eric Moore as Chair, Will seconded.
  - b. Will nominated Kerry Laycock as Vice Chair, Roma seconded, he accepted.
  - c. Kerry nominated Roma as Secretary, Will seconded, Roma declined.
  - d. Kerry nominated Jacob as Secretary, Roma seconded, he accepted.

Motion for new officers passed unanimously.

**VII. Old Business**

- A. Sec. 36-431 & 36-432 Revisions.
  - a. Council Directives - The recent Planning Commission amendments were presented to Council for adoption during the December 4<sup>th</sup> regular council meeting. During review of the proposed ordinance, Council disagreed with the

overall allowable maximum height of ground mounted solar energy systems.

They also disagreed with the prohibition of wind energy systems. Council requested that the Planning Commission review and make the requested revisions prior to returning to Council to adopt.

- b. The Zoning Administrator updates the Commission on some additional directives from Council members.
- c. There is discussion regarding limiting ground solar energy systems to larger lots. Wind should be considered but possibly restrict size of towers by lot size as well.
- d. After discussion, the Commission asked the Zoning Administrator to look at these options and present ideas at a future meeting.

### **VIII. New Business**

#### **A. Land Division – 115 Reading St.**

- a. The owner of the parcel located at 115 Reading St. would like to divide the existing lot. The City ordinance requires that platted lots may only be divided after review and permission has been granted by the Assessor, Zoning Administrator, Planning Commission and City Council. Parcel B does not meet lot size requirements as a standalone lot. The intent is to combine Parcel B with Parcel A (as referenced in the included survey). The combination will be required in order to meet zoning requirements.
- b. The Commission asked some questions to clarify their understanding.

Kerry Laycock moved to recommend to Council for approval the land division as shown in the application, creating Parcel B and C with the requirement that Parcel B be combined with Parcel A. Jacob Bruns supported the motion. The motion passed unanimously.

### **IX. Zoning Administrator Report**

- Gave a brief overview regarding the Meijer project
- Gave a brief overview and discussion of the Keefer House Hotel project.
- Updated the Commission on other projects around town and the road diet plans

### **X. Commissioners' Comments**

No Commissioners' comment.

### **XI. Public Comment**

No public comment.

### **XII. Adjournment**

Commissioner Morrissey moved to adjourn the meeting, Commissioner Rogers seconded. Motion passed unanimously. Meeting adjourned at 6:25 pm.

### **XIII. Next meeting: January 17, 2024 at 5:30 pm.**



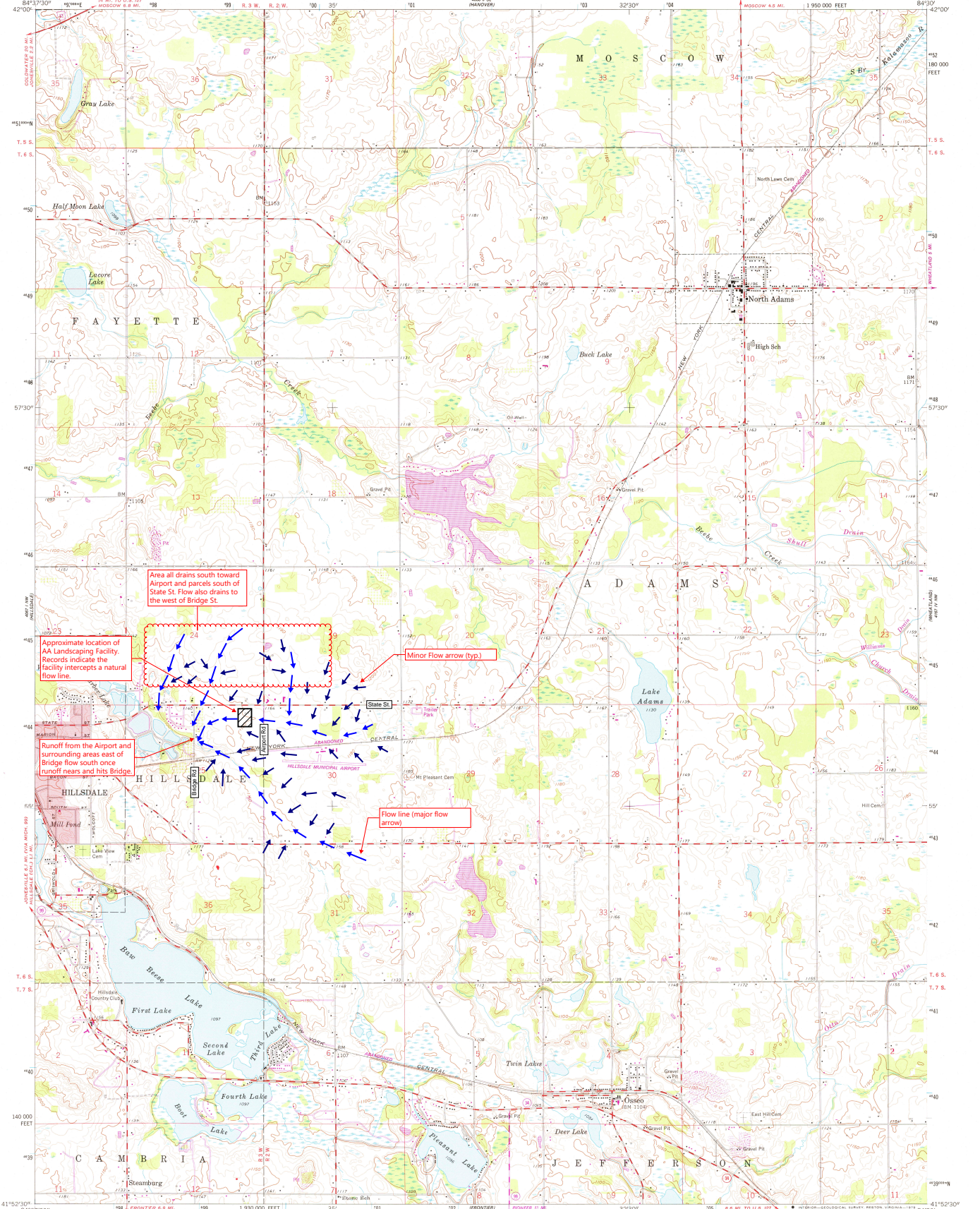
**TO: Planning Commission**

**FROM: Zoning Administrator**

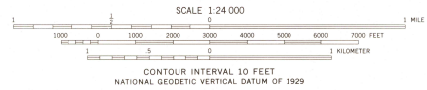
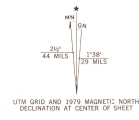
**DATE: January 17, 2024**

**RE: New Airport Terminal**

**Background:** The New City Airport Terminal building was presented for capital approval during the regular October meeting. Due to questions raised by the public during discussion, the project's approval was suspended until the project engineer could address the storm water management of the site. The project engineer will be available for questions and will present some preventative measures that may be implemented upon approval of the project. The Zoning Administrator is requesting the Planning Commission approve the Terminal project.



Mapped, edited, and published by the Geological Survey  
Control by USGS and USCGS  
Topography from aerial photographs by photogrammetric methods  
Aerial photographs taken 1958. Field checked 1959  
Polyconic projection. 1927 North American datum  
10,000-foot grid based on Michigan coordinate system, south zone  
To place on the predicted North American Datum 1983  
move the projection lines 0 meters north and  
3 meters west as shown by dashed corner ticks  
1000-meter Universal Transverse Mercator grid ticks.  
Line 16, shown in blue  
Red tint indicates areas in which only  
landmark buildings are shown  
Revisions shown in purple compiled from aerial photographs taken  
1977. Map dated 1979. This information not field checked



CONTOUR INTERVAL 10 FEET  
NATIONAL GEODETIC VERTICAL DATUM OF 1929  
THIS MAP COMPLIES WITH NATIONAL MAP ACCURACY STANDARDS  
FOR SALE BY U. S. GEOLOGICAL SURVEY RESTON, VIRGINIA 22092  
AND BY THE GEOLOGICAL SURVEY DIVISION  
MICHIGAN DEPARTMENT OF NATURAL RESOURCES, LANSING, MICHIGAN 48909  
A FOLDER DESCRIBING TOPOGRAPHIC MAPS AND SYMBOLS IS AVAILABLE ON REQUEST

ROAD CLASSIFICATION

Primary highway, hard surface	Light-duty road, hard or improved surface
Secondary highway, hard surface	Unimproved road
Interstate Route	U. S. Route
	State Route



USGS  
Historical File  
Topographic Division  
NORTH ADAMS, MICH.  
1959  
PHOTOREVISED 1979  
DMA 4001 1 THE-SERIES 1962

SEP 20 1979

1100

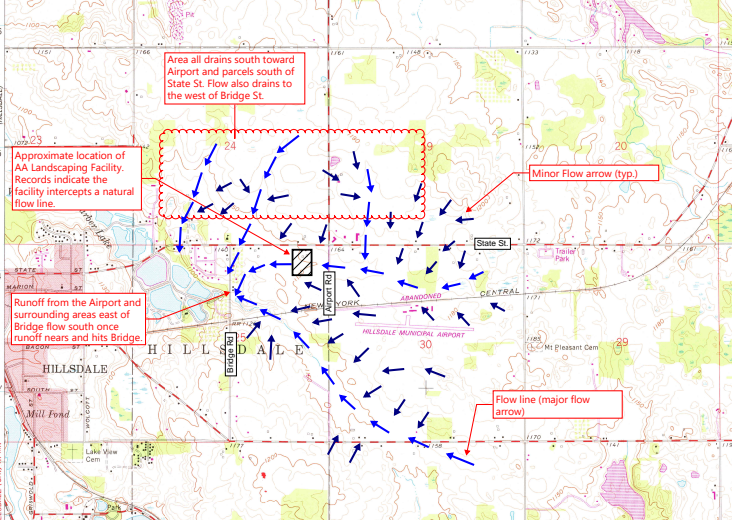
Area all drains south toward Airport and parcels south of State St. Flow also drains to the west of Bridge St.

Approximate location of AA Landscaping Facility. Records indicate the facility intercepts a natural flow line.

Runoff from the Airport and surrounding areas east of Bridge flow south once runoff nears and hits Bridge.

Minor Flow arrow (typ.)

Flow line (major flow arrow)



3-26-SBGP-1XX-2023

# CITY OF HILLSDALE CONSTRUCT TERMINAL BUILDING

1727 AIRPORT RD.  
HILLSDALE, MI 49242

## BID PACK 1, ADDENDUM 1

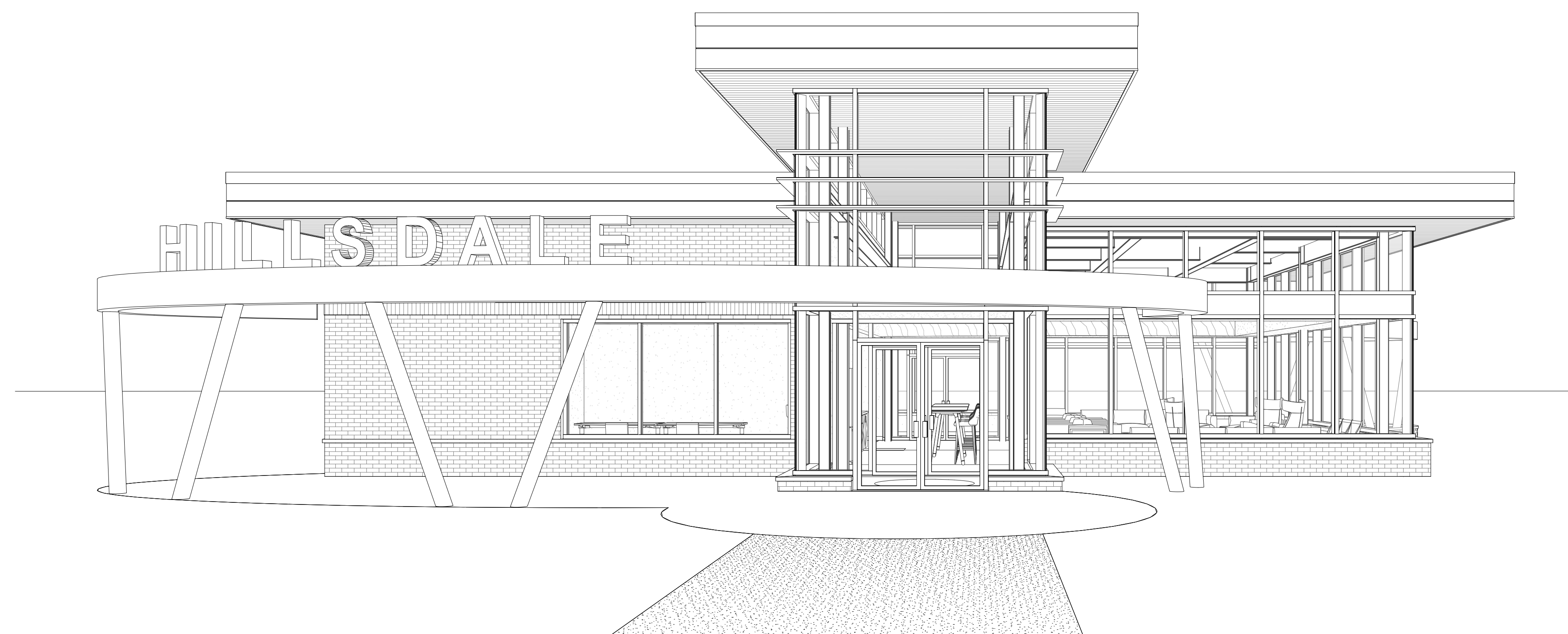
### 06/21/2023

AEC PROJECT NUMBER  
2010-0080-000

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436 S. Main St.  
Plymouth, MI 48170  
734-456-7060  
www.rsandh.com



**NOT ISSUED FOR  
CONSTRUCTION**

BUILDING ID: BLDG. ID

6/21/2023 8:57:26 AM C:\Users\User\Documents\100\_ARCH\_BASE\_RSH22-076\_Hillsdale Airport\_chelsea\RHUX.vt

### SHEET INDEX

SHEET NUMBER	SHEET NAME
00 GENERAL	
G001	COVER SHEET
G002	SHEET INDEX, GENERAL NOTES, ABBREVIATIONS AND SYMBOLS
G003	GENERAL NOTES
G004	CODE INFORMATION / REQUIREMENTS
G005	CONTRACT LAYOUT PLAN
G006	OVERALL SAFETY AND PHASING PLAN
G007	SAFETY AND SECURITY NOTES AND DETAILS
G008	SOIL BORING AND SURVEY CONTROL LAYOUT PLAN
G101	GROSS AREA PLAN
G102	LIFE SAFETY PLAN
G501	PARTITION TYPES
04 CIVIL	
C201	SITE PLAN
C210	CIVIL DETAILS
C350	SOIL EROSION AND SEDIMENTATION CONTROL PLAN
C401	GRADING PLAN
C500	UTILITY PLAN
C510	UTILITY DETAILS
05 LANDSCAPE	
L201	SOIL EROSION LANDSCAPING PLAN
L210	SOIL EROSION LANDSCAPING NOTES AND DETAILS
06 STRUCTURAL	
S000	STRUCTURAL GENERAL NOTES
S001	STRUCTURAL GENERAL NOTES
S002	STRUCTURAL GENERAL NOTES
S003	SPECIAL INSPECTIONS
S004	SPECIAL INSPECTIONS
S005	STRUCTURAL LOADING MAPS
S100	FOUNDATION PLAN
S120	FRAMING PLAN
S501	FOUNDATION DETAILS
S502	FOUNDATION DETAILS
S505	STEEL DETAILS
S506	STEEL DETAILS
07 ARCHITECTURAL	
A101	OVERALL FLOOR PLAN
A111	OVERALL REFLECTED CEILING PLAN
A121	OVERALL ROOF PLAN
A201	BUILDING ELEVATIONS
A202	BUILDING ELEVATIONS
A301	BUILDING SECTIONS
A302	BUILDING SECTIONS
A311	WALL SECTIONS
A312	WALL SECTIONS
A313	WALL SECTION DETAILS
A314	WALL SECTION DETAILS
A401	ENLARGED PLANS AND ACCESSORY SCHEDULE
A402	ENLARGED PLANS - VESTIBULES
A403	ENLARGED PLANS - LOW ROOF OVERHANG
A421	ACCESSIBILITY STANDARDS
A422	ACCESSIBILITY STANDARDS
A501	CURTAINWALL DETAILS AND NOTES
A502	STOREFRONT TYPES AND NOTES
A503	CEILING DETAILS
A504	METAL PANEL DETAILS
A505	METAL PANEL DETAILS
A601	DOOR SCHEDULE, TYPES, AND NOTES
A621	FINISH SCHEDULE, LEGEND AND NOTES
A631	SIGNAGE SCHEDULE, ELEVATIONS AND NOTES
A701	INTERIOR ELEVATIONS
A702	INTERIOR ELEVATIONS
A703	INTERIOR ELEVATIONS
A704	INTERIOR ELEVATIONS
A710	MILLWORK ELEVATIONS, SECTIONS AND DETAILS
A801	INTERIOR FINISH FLOOR PLAN
A802	INTERIOR FINISH CEILING PLAN
A803	INTERIOR FINISH CEILING PLAN - AT LOBBY AND CLEARSTORY
A901	EXTERIOR ARCHITECTURAL GRAPHICS
A902	EXTERIOR ARCHITECTURAL GRAPHICS
AS101	EXTERIOR CURVED TIMBER AND ASSOCIATED ELEMENTS - SECTION AND ROOF PLAN
AS102	EXTERIOR CURVED TIMBER AND ASSOCIATED ELEMENTS - PERSPECTIVE VIEWS
AS104	EXTERIOR CURVED TIMBER AND ASSOCIATED ELEMENTS - ELEVATIONS
AS105	EXTERIOR CURVED TIMBER AND ASSOCIATED ELEMENTS - ELEVATIONS
11 PLUMBING	
P101	FIRST FLOOR PLUMBING PLAN
13 MECHANICAL	
M000	MECHANICAL SYMBOLS LIST, INDEX AND NOTES
M101	FIRST FLOOR HVAC PLAN
M201	MECHANICAL ROOF PLAN
M301	MECHANICAL SCHEDULES
M401	MECHANICAL DETAILS
M501	MECHANICAL COMCHECK
M502	MECHANICAL COMCHECK
14 ELECTRICAL	
E000	ELECTRICAL LEGEND, SHEET INDEX, TABLES AND GENERAL NOTES
E010	ELECTRICAL RISER DIAGRAM
E020	WIRE AND LIGHTING FIXTURE SCHEDULES AND CONTROL MATRIX
E030	ELECTRICAL PANEL SCHEDULES
E200	1ST FLOOR PLAN - LIGHTING
E300	1ST FLOOR PLAN - POWER
E501	ELECTRICAL DETAILS

### ARCHITECTURAL ABBREVIATIONS

&	AND	MSC.	MISCELLANEOUS
@	AT	MTL	METAL
A.B.	ANCHOR BOLT	MUFID	MULTIUSER FLIGHT INFORMATION DISPLAY
A.F.S.	ABOVE FLOOR SLAB	N.I.C.	NOT IN CONTRACT
A.W.I.	ARCHITECTURAL WOODWORK INSTITUTE	N.T.S.	NOT TO SCALE
A/C	AIR CONDITIONER	N/A	NOT APPLICABLE
ACT	ACOUSTICAL CEILING TILE	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION
ADJ	ADJUSTABLE	NO.	NUMBER
AFF	ABOVE FINISHED FLOOR	O.C.	ON CENTER
ALH	AIR HANDLING UNIT	O.D.	OUTSIDE DIAMETER
ALUM	ALUMINUM	OFCI	OWNER FURNISHED CONTRACTOR INSTALLED
ANOD	ANODIZED	OPG	OPENING
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	OPP	OPPOSITE
APPROX.	APPROXIMATE OR APPROXIMATELY	OSHA	OCCUPATIONAL SAFETY AND HEALTH ACT
ARCH	ARCHITECTURE, ARCHITECTURAL	OVHD	OVERHEAD
AVG	AVERAGE	P.LAM.	PLASTIC LAMINATE
B.H.M.I.	BUILDER'S HARDWARE MANUFACTURER'S ASSOCIATION, INC.	PBB	PASSENGER BOARDING BRIDGE
B.O.	BOTTOM OF	PBB	PASSENGER BOARDING BRIDGE
B.U.R.	BUILT-UP ROOFING	POU	POWER DISTRIBUTION UNIT
BID	BAGGAGE INFORMATION DISPLAY	PLYWD.	PLYWOOD
BIM	BUILDING INFORMATION MODELING	PNL	PANEL
BLDG.	BUILDING	PR	PAIR
BM.	BEAM	PRE-FAB	PRE-FABRICATED
C.J.	CONTROL JOINT	PSF	POUNDS PER SQUARE FOOT
CFMF	COLD FORMED METAL FRAMING	PSI	POUNDS PER SQUARE INCH
CL	CENTERLINE	PT	POINT, PRESSURE TREATED
CL O.T.S.	CENTERLINE OF TENANT SEPARATION	PVC	POLYVINYL CHLORIDE
CLG	CEILING	Q.T.	QUARRY TILE
CLO	CLOSET	R	RADIUS
CLR	CLEAR	R.A.F.	RAISED ACCESS FLOOR
CMU	CONCRETE MASONRY UNIT	R.A.G.	RETURN AIR GRILLE
COL	COLUMN	R.D.	ROOF DRAIN
COLS.	COLUMNS	R.O.	ROUGH OPENING
CONC.	CONCRETE	RB	RUBBER BASE
CONT.	CONTINUOUS	RECP.	RECEPTION, RECEPTIONIST
D.S.	DOWNSPOUT	REF.	REINFORCING, REINFORCEMENT
DIA.	DIAMETER	REQD.	REQUIRED
DOOR	DOOR	REV.	REVISED, REVISION
DTL. OR DET.	DETAIL	S.F.	SQUARE FEET
DWG.	DRAWING	S.G.P.	SEMI-GLOSS PAINT
E.F.S.	EXTERIOR FACE OF SHEATHING	S.S.	SERVICE SINK
E.J.	EXPANSION JOINT	SC	SEALED CONCRETE
E.O.S.	EDGE OF SLAB	SCHED.	SCHEDULE
E.P.	ELECTRICAL PANEL	SCW.	SOLID CORE WOOD
E.R.D.	EMERGENCY ROOF DRAIN	SECT.	SECTION
E.T.D.	ESTIMATED TRAVEL DISTANCE	SFRM	SPRAYED FIRE RESISTIVE MATERIAL
E.W.C.	ELECTRIC WATER COOLER	SHT.	SHEET
EA	EACH	SHTS.	SHEETS
ELEC.	ELECTRIC, ELECTRICAL	SM.	SIMILAR
ELEV.	ELEVATION	SPECS.	SPECIFICATIONS
ENG.	ENGINEER, ENGINEERING	SQ.	SQUARE
EPDM	ethylene propylene diene monomer	SQ. IN.	SQUARE INCHES
EQ	EQUAL	ST	SOUND TRANSMISSION CLASS
EQUIP	EQUIPMENT	STD	STANDARD
EXIST.	EXISTING	STL.	STEEL
EXP.	EXPANSION, EXPOSED	STOR.	STORAGE
EXT.	EXTERIOR	STRUCT.	STRUCTURAL, STRUCTURE
F.D.	FIRE DAMPER, FLOOR DRAIN	SUSP.	SUSPENDED
F.F.	FINISHED FLOOR	T&G	TONGUE & GROOVE
F.F.E.	FINISHED FLOOR ELEVATION	T.O. STL.	TOP OF STEEL
F.O.B.	FACE OF BRICK	T.O.B.	TOP OF BRICK, TOP OF BEAM
F.O.P.	FACE OF POST	T.O.S.	TOP OF STEEL, TOP OF SLAB
F.P.B.	FACE OF POST	T.O.S.H.	TOP OF SHEATHING
F.V.	FIELD VERIFY	T.O.W.	TOP OF WALL
A701	INTERIOR ELEVATIONS	TEL.	TELEPHONE
A702	INTERIOR ELEVATIONS	TG	TEMPERED GLASS
A703	INTERIOR ELEVATIONS	TYP.	TYPICAL
A704	INTERIOR ELEVATIONS	U.L.	UNDERWRITERS LABORATORIES
A710	MILLWORK ELEVATIONS, SECTIONS AND DETAILS	U.O.N.	UNLESS OTHERWISE NOTED
A801	INTERIOR FINISH FLOOR PLAN	VB	VAPOR BARRIER
A802	INTERIOR FINISH CEILING PLAN	VCT OR VT	VINYL COMPOSITION TILE
A803	INTERIOR FINISH CEILING PLAN - AT LOBBY AND CLEARSTORY	VDC	VIRTUAL DESIGN & CONSTRUCTION
A901	EXTERIOR ARCHITECTURAL GRAPHICS	VERT.	VERTICAL
A902	EXTERIOR ARCHITECTURAL GRAPHICS	VRT.	VIRTUAL REALITY
AS101	EXTERIOR CURVED TIMBER AND ASSOCIATED ELEMENTS	W.C.	WATER CLOSET
AS102	EXTERIOR CURVED TIMBER AND ASSOCIATED ELEMENTS	W/	WITH
AS103	EXTERIOR CURVED TIMBER AND ASSOCIATED ELEMENTS	WCO	WALL CLEANOUT
AS104	EXTERIOR CURVED TIMBER AND ASSOCIATED ELEMENTS	WD	WOOD
AS105	EXTERIOR CURVED TIMBER AND ASSOCIATED ELEMENTS	WMP	WIRE MESH PARTITION
11 PLUMBING		WWF	WELDED WIRE FABRIC
P101	FIRST FLOOR PLUMBING PLAN	YD.	YARD
13 MECHANICAL		Ø	DIAMETER
M000	MECHANICAL SYMBOLS LIST, INDEX AND NOTES		
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### PLAN SYMBOLS

BUILDING SECTION	LEVEL HEAD
MATERIAL SYMBOLS	

### PROJECT REQUIREMENTS

- ALL DIMENSIONS ARE IN FEET / INCHES UNLESS NOTED OTHERWISE.
- THESE GENERAL NOTES ARE NOT INTENDED TO REPLACE SPECIFICATIONS - REFER TO WRITTEN SPECIFICATIONS FOR REQUIREMENTS IN ADDITION TO GENERAL NOTES.
- DRAWING NOTES AND SPECIFICATIONS TO THE CONTRACTOR AND APPLY TO ALL THE WORK UNLESS MORE SPECIFIC INFORMATION IS SHOWN ELSEWHERE ON THE DRAWINGS OR WRITTEN IN THE SPECIFICATIONS.
- IN THE EVENT OF CONFLICTING INSTRUCTIONS, THE ARCHITECT MUST DETERMINE WHAT CONTROLS THE CONTRACT DOCUMENTS ARE COMPLEMENTARY AND WHAT IS REQUIRED BY ONE MUST BE REQUIRED BY ALL.
- ROOM AREAS AND PERIMETERS ARE APPROXIMATE AND FOR REFERENCE ONLY. VERIFY QUANTITIES AND DIMENSIONS IN FIELD.
- NO DEVIATIONS FROM THESE CONTRACT DOCUMENTS MUST BE MADE WITHOUT THE PRIOR WRITTEN APPROVAL OF THE ARCHITECT.
- DO NOT SCALE DIMENSIONS FROM DRAWINGS - THE CONTRACTOR MUST REQUEST NECESSARY DIMENSIONS NOT SHOWN ON THE DRAWINGS FROM THE ARCHITECT.
- ALL DIMENSIONS ORIGINATE FROM FACE OF WALLS OR CENTER TO CENTER OF FRAMING AT ALL NEW WORK UNLESS NOTED OTHERWISE.
- ALL NON-DIMENSIONED DOOR LOCATIONS MUST BE OFFSET 4" FROM THE ADJACENT WALL TO THE HINGE SIDE OF THE DOOR OPENING.
- ALL DOORS MUST BE INSTALLED TO MEET ALL APPLICABLE CODES AND REQUIREMENTS, INCLUDING ADA COMPLIANCE.
- DETAILS SHOWN ON DRAWINGS ARE TYPICAL FOR ALL SIMILAR CONDITIONS.
- PRINCIPAL OPENINGS IN THE STRUCTURE ARE SHOWN ON THESE DRAWINGS.
- GENERAL CONTRACTOR MUST VERIFY SIZE AND LOCATION OF ALL ASSOCIATED OPENINGS WITH ALL SUB-CONTRACTORS PRIOR TO CONSTRUCTION.
- THE GENERAL CONTRACTOR MUST FULLY REVIEW THE ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING ENGINEERING PACKAGES FOR REQUIRED RELATED WORK SCOPE. THESE DOCUMENTS DO NOT INDICATE THE METHOD OR MEANS OF CONSTRUCTION.
- ARCHITECTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE BASIS OF DESIGN / DESIGN INTENT OF THE PROJECT AND DO NOT INDICATE THE MEANS OR METHODS OF CONSTRUCTION.
- THE CONTRACTOR MUST SUPERVISE CONSTRUCTION MEANS, METHODS, PROCEDURES, TECHNIQUES, SEQUENCE, AND APPLICABLE SAFETY REGULATIONS TO BE FOLLOWED.
- STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE AND, EXCEPT WHERE SPECIFICALLY SHOWN, DO NOT INDICATE THE MEANS OR METHODS OF CONSTRUCTION.
- THE CONTRACTOR MUST SUPERVISE CONSTRUCTION MEANS, METHODS, PROCEDURES, TECHNIQUES, SEQUENCE, AND APPLICABLE SAFETY REGULATIONS TO BE FOLLOWED.
- MECHANICAL PLUMBING RELATED TO INSTALLATION OF COMPONENTS MUST COMPLY WITH ALL APPLICABLE CODES AND REQUIREMENTS, INCLUDING ADA COMPLIANCE.
- CONTRACTOR RESPONSIBLE FOR SCHEDULING AND COORDINATING THE WORK OF THE SUB-CONTRACTORS.
- CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
- ALL MATERIALS, FABRICATION AND INSTALLATION MUST COMPLY WITH THE APPLICABLE REQUIREMENTS AND SPECIFICATIONS FOR EACH DIVISION OF WORK.
- CONSTRUCTION MUST COMPLY WITH ALL APPLICABLE BUILDING CODES, REGULATIONS, ORDINANCES, LAWS, AND SAFETY ORDERS AS REQUIRED BY ANY JURISDICTION HAVING JURISDICTION OVER THE PROJECT.
- CONTRACTOR MUST BE RESPONSIBLE FOR THE TIMELY ORDERING OF MATERIALS INCLUDED IN THESE CONTRACT DOCUMENTS.
- SPECIFIC ITEMS IN THESE DOCUMENTS MAY REQUIRE LONG LEAD TIMES OR SPECIAL COORDINATION IN ORDERING.
- SUBSTITUTIONS WILL NOT BE ALLOWED FOR MATERIAL NOT ORDERED IN A TIMELY FASHION.
- CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS PRIOR TO ORDERING MATERIALS OR PROCEEDING WITH ANY PHASE OF THE WORK AS A REQUIREMENT OF THIS PROJECT.
- CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION.
- ALL DISCREPANCIES MUST BE NOTED AND SENT TO THE ARCHITECT WITH ADEQUATE TIME TO REVIEW PRIOR TO STARTING THE PORTION OF THE WORK IN ORDER TO AVOID PROJECT DELAYS.
- CONTRACTOR MUST PREPARE ALL WALLS AND PARTITIONS AS REQUIRED BY THE RESPECTIVE FINISH SUPPLIER/MANUFACTURER TO RECEIVE THE FINISHES SPECIFIED ON THE DOCUMENTS.
- CONTRACTOR MUST PROVIDE ADDITIONAL FURRING (THE ENTIRE LENGTH OF THE WALL) TO FULLY CONCEAL ALL MECHANICAL, ELECTRICAL, PLUMBING AND STRUCTURAL ELEMENTS THAT PROJECT FROM THE FACE OF THE SCHEDULED WALL OR PARTITION AND ARE NOT SPECIFICALLY NOTED TO BE SURFACE MOUNTED.
- CONTRACTOR TO PROVIDE PORTABLE FIRE EXTINGUISHERS IN ACCORDANCE WITH LOCAL JURISDICTION AND NFPA 10.
- MAXIMUM TRAVEL DISTANCE TO NEAREST FIRE EXTINGUISHER FROM ANY POINT IN THE BUILDING MUST NOT EXCEED 75 FEET (UNLESS NOTED OTHERWISE).
- FIRE EXTINGUISHERS MUST BE SIZED FOR NO LESS THAN ORDINARY HAZARD.
- ALL REQUESTS FOR INFORMATION PROMPTED BY THE BUILDING OFFICIALS MUST INCLUDE A COPY OF THE BUILDING OFFICIALS' COMMENTS AND INSPECTORS FIELD REPORT TO ENSURE AN ACCURATE AND TIMELY RESPONSE.
- CONTRACTOR AND SUBCONTRACTOR(S) MUST BE LICENSED TO PERFORM THEIR REQUESTED DUTIES AND SCOPE OF WORK AS REQUIRED IN ACCORDANCE WITH LOCAL STANDARDS AND REQUIREMENTS.
- CONTRACTOR MUST COMPLY WITH ALL STRUCTURAL SECTIONS WITH ARCHITECTURAL SECTIONS AND REPORT ANY DISCREPANCY TO THE ARCHITECT PRIOR TO FABRICATION OR INSTALLATION OF STRUCTURAL MEMBERS.
- THE CONTRACTOR MUST COORDINATE ALL REMOVALS (DEMOLITION) AND NEW WORK ACTIVITIES WITH THE AIRPORT AUTHORITY REPRESENTATIVES PRIOR TO PROCEEDINGS.
- MOCK-UPS (AS REQUIRED BY CONTRACT) MUST BE CONSTRUCTED BY THE CONTRACTOR PRIOR TO BEGINNING DEMOLITION WORK.
- CONFIRM UNDERSLAB FLOOR OUTLET LOCATION(S) WITH ARCHITECT AND OWNER PRIOR TO CORE DRILLING OR FINISHING OF CONDUITS AND PRIOR TO POURING OF SLAB.
- WHERE MATERIALS ARE APPLIED TO OR ARE IN DIRECT CONTACT WITH WORK INSTALLED BY ANOTHER SUBCONTRACTOR, COMMENCEMENT OF WORK IMPLIES ACCEPTANCE OF THE SUBSTRATE AS SUITABLE FOR THE APPLICATION INTENDED.
- ISOLATE DISSIMILAR METALS TO PREVENT GALVANIC CORROSION.
- IF CONDITION OCCURS - OPENINGS IN RATED CONSTRUCTION MUST BE SEALED WITH PENETRATION SEALANT SYSTEMS MEETING OR EXCEEDING THE REQUIRED FIRE RESISTIVE RATINGS OR AS NOTED IN SPECIFICATIONS.
- IF CONDITION OCCURS - MAINTAIN THE FIRE RATING OF CONSTRUCTION AROUND ANY ELEMENT LOCATED IN RATED ASSEMBLIES.
- FIELD MEASURE AND CONFIRM DIMENSIONS FOR OWNER PROVIDED EQUIPMENT AND FURNISHINGS PRIOR TO ESTABLISHING OPENINGS OR SERVICES.
- PROVIDE STIFFENERS, BRACING, BACKING PLATES AND BLOCKING REQUIRED FOR SECURE INSTALLATION OF TOILET PARTITIONS, ACCESSORIES, DOORS, AND DOOR HARDWARE INCLUDING WALL-MOUNTED DOORSTOPPS, HANDRAILS, WALL-MOUNTED SHELVES, OPERABLE PARTITIONS, MISCELLANEOUS EQUIPMENT, AND SUSPENDED MECHANICAL AND ELECTRICAL EQUIPMENT.
- COORDINATE ALL BASE AND HOUSEKEEPING PADS WITH MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT.
- LOCATE ACCESS PANELS AS INDICATED ON DRAWINGS. FOR ACCESS PANELS NOT SHOWN ON DOCUMENTS BUT REQUIRED BY THE CONDITIONS OF THE CONTRACT DOCUMENT OR MAINTENANCE PURPOSES, CONTRACTOR TO SUBMIT LOCATION OF REQUIRED PANELS FOR REVIEW OF THE ARCHITECT AND OWNER PRIOR TO INSTALLATION.
- ALL NON-GALVANIZED EXTERIOR EXPOSED STEEL TO RECEIVE HIGH PERFORMANCE COATING.
- DURING ALL PHASES OF WORK, DO NOT OBSTRUCT ACCESS TO ANY REQUIRED EXIT OR REDUCE THE WIDTH OF ANY REQUIRED EXIT / ACCESS CORRIDOR.
- PROVIDE FULL CHALK LINE LAYOUT OF WALLS AND OPENINGS PRIOR TO START OF PARTITION CONSTRUCTION.
- VERIFY THAT DIMENSIONS ARE CONSISTENT WITH REQUIREMENTS INDICATED IN THE DOCUMENTS.
- REFER ANY DIMENSIONAL INCONSISTENCIES TO THE ARCHITECT FOR RESOLUTION PRIOR TO THE START OF PARTITION CONSTRUCTION.
- FINISH FLOOR ELEVATIONS ARE TO TOP OF CONCRETE UNLESS OTHERWISE NOTED.
- LEVEL FLOORS THAT EXCEED 1/4" VARIANCE IN A 10'-0" RADIUS.
- COORDINATE INSTALLATION OF DIFFUSERS, SPEAKERS, AND ACCESS PANELS WITH LIGHTING LAYOUT.
- REPORT ANY CONFLICTS TO THE ARCHITECT PRIOR TO INSTALLATION.
- EXIT SIGNS AND SMOKE DETECTORS LOCATED IN HARD CEILINGS MUST BE POSITIONED AS REQUIRED BY THE AUTHORITY HAVING JURISDICTION AND MUST BE CENTERED IN CORRIDORS AND LOCATED A DISTANCE OF 1'-0" FROM THE WALL TO THE CENTER OF THE FIXTURE UNLESS OTHERWISE NOTED.
- ALL LOCATIONS IN PUBLIC / OPEN AREAS MUST GAIN THE VISUAL APPROVAL OF THE ARCHITECT PRIOR TO INSTALL.
- GANG MULTIPLE SWITCHES TOGETHER INTO ONE BOX WITH A SINGLE COVER PLATE WHENEVER POSSIBLE.
- MULTIPLE SWITCHES WHICH CANNOT BE GANGED TOGETHER IN THE SAME BOX MUST BE LOCATED 5' CLOSE TOGETHER AS POSSIBLE AND MOUNTED AT THE SAME HEIGHT.
- PROVIDE CUSTOM COVER PLATE IF REQUIRED BY ARCHITECT.
- WALL OUTLETS MUST BE INSTALLED AT 18" AFF UNLESS OTHERWISE NOTED.
- INSTALL SWITCH PLATES AT 42" AFF UNLESS OTHERWISE NOTED.
- DO NOT INSTALL OUTLET OR J-BOXES BACK-TO-BACK ON OPPOSITE SIDES OF THE WALL.
- BOXES MUST BE SEPARATED BY A SLID.
- ALL ROOF PENETRATIONS REQUIRED FOR INSTALLATION OF MECHANICAL UNITS, EQUIPMENT CURBS, VENTS, ETC. MUST BE DONE PER MANUFACTURER'S RECOMMENDATIONS TO ENSURE ALL WARRANTIES ARE MAINTAINED.
- PROVIDE FLASHING, CORNER FLASHING, SEALANT, ETC. AS REQUIRED TO PROVIDE WATERPROOF CONDITION, TYPICAL AT ALL ROOF PENETRATIONS.



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PROJECT TITLE:  
CONSTRUCT TERMINAL BUILDING

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### REVISIONS

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SEAL:

SHEET TITLE:  
SHEET INDEX,  
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ABBREVIATIONS AND  
SYMBOLS

SHEET ID:

G002

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## PROJECT REQUIREMENTS

### SUBMITTAL INDEX / REQUIREMENTS

- ITEMS LISTED ARE SHOWN REQUIRED SUBMISSION FOR ARCHITECTS REVIEW AND RECORD PRIOR TO COMMENCEMENT OF CONSTRUCTION. ADDITIONAL SUBMITTALS MAY BE SUBMITTED BY CONTRACTOR.
- GENERAL CONTRACTOR MUST SUBMIT SUBMITTAL SCHEDULE FOR ARCHITECTS APPROVAL (WITH TIMING NOTED ON THE CONSTRUCTION SCHEDULE) OF ALL SUBMITTALS NEEDED FOR THE WORK.
- SUBMITTAL SCHEDULE IS A PRE-CONDITION FOR ACCEPTING OF FIRST PAY APPLICATION TO ARCHITECT FROM GENERAL CONTRACTOR.
- THE ARCHITECT'S ACTION WILL BE TAKEN IN ACCORDANCE WITH THE SUBMITTAL SCHEDULE AS REVIEWED AND APPROVED BY THE ARCHITECT OR, IN THE ABSENCE OF AN APPROVED SUBMITTAL SCHEDULE, WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME IN THE ARCHITECTS PROFESSIONAL JUDGEMENT TO PERMIT ADEQUATE REVIEWS.
- ARCHITECTS REVIEW OF CONTRACTORS SUBMITTALS CANNOT CHANGE ANY REQUIREMENT OF THE CONTRACT DOCUMENTS AND CANNOT RELIEVE CONTRACTOR OF ANY OBLIGATIONS UNDER THE CONTRACT FOR CONSTRUCTION.
- ARCHITECTS REVIEW SHALL NOT CONSTITUTE APPROVAL OF CONTRACTORS SAFETY PRECAUTIONS OR OF ANY CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES.
- ALL SUBMITTALS MUST BE INCLUDED IN CONTRACTOR/PROJECT CLOSE-OUT PACKAGE.

SUBMITTALS SHALL INCLUDE ALL APPLICABLE TESTING RESULTS, MANUFACTURERS DATA, AND SEAL OF A PROFESSIONAL ENGINEER WHERE REQUIRED BY THE REQUIREMENTS OF THIS PROJECT.

- A. GENERAL CONSTRUCTION (CORE 1 SHELL):**
- CONCRETE MIX AND TESTING RESULTS
  - FOUNDATION PLAN/IR-STEEL - SHOP DRAWINGS
  - CONCRETE REINFORCEMENT/STEEL - LAYOUT, PRODUCT DATA
  - STRUCTURAL STEEL - SHOP DRAWINGS, ENGINEERING PKGS. AS REQUIRED
  - WALING/FRAMING - SAMPLES, PRODUCT DATA
  - MASONRY - BRICK/MORTAR, FLASHING, CAULKING, ACCESSORIES - SAMPLES
- A.6.1.** MIN. 4" X 4" FULL MOCK-UP REQUIRED
- A.7.** GLAZING SYSTEM - SAMPLES, PRODUCT CUT SHEETS, MISC. DATA
- A.8.** DOORS/FRAMES/HARDWARE - SCHEDULES, DOOR FINISH SAMPLES, HARDWARE SPECIFICATIONS
- A.9.** MISC. FLASHING - PRODUCT DATA, SAMPLES
- A.10.** SEALANT - PRODUCT DATA, COLOR CHART

- B. INTERIOR CONSTRUCTION:**
- ACOUSTIC CEILING TILES/GRID - SAMPLES, PRODUCT CUT SHEETS (FOR RECORD PURPOSES ONLY)
  - ABOVE CEILING INSULATION - PRODUCT DATA (FOR RECORD PURPOSES ONLY)
  - DRY-WALL SYSTEM/ACCESSORIES - SAMPLES, PRODUCT CUT SHEETS (FOR RECORD PURPOSES ONLY)
  - IN-WALL INSULATION - PRODUCT DATA (FOR RECORD PURPOSES ONLY)
  - SEALANT - PRODUCT DATA, COLOR CHART
  - DOORS/FRAMES/HARDWARE - SCHEDULES, DOOR FINISH SAMPLES, HARDWARE SPECIFICATIONS

- C. FINISHES:**
- WALL/FLOOR FINISHES - SAMPLES, GROUT COLOR CHART, PRODUCT DATA (MIN. 2 SAMPLES PER FINISH)
  - PAINT - SAMPLES (MIN. 2 SAMPLES PER FINISH)
  - PUMBLING/TILE/KITCHENETTE ACCESSORIES - PRODUCT CUT SHEETS, SCHEDULES
  - CUSTOM FABRICATIONS, MILLWORK, ACCESSORIES - SHOP DRAWINGS/SAMPLES

- D. MECHANICAL | ELECTRICAL | LIFE SAFETY**
- PLUMBING DESIGN - 'AS-BUILTS' (FOR RECORD PURPOSES ONLY)
  - PLUMBING FIXTURES - PRODUCT CUT SHEETS, SCHEDULES (COMPLETELY FILED OUT)
  - ELECTRICAL LIGHTING - 'AS-BUILTS' (FOR RECORD PURPOSES ONLY)
  - LIGHT FIXTURES - PRODUCT CUT SHEETS, SCHEDULES (COMPLETELY FILED OUT)
  - ELECTRICAL DEVICES - PRODUCT CUT SHEETS
  - HVAC DESIGN - 'AS-BUILTS' (FOR RECORD PURPOSES ONLY)
  - HVAC - GRILLES, REGISTERS, DIFFUSERS, DEVICES, CUT SHEETS, PRODUCT DATA
  - FINAL BALANCE REPORT - CERTIFIED BALANCING REPORT (FOR RECORD PURPOSES ONLY)
  - FIRE ALARM | LIFE SAFETY - ENGINEERING PACKAGE AND 'AS-BUILTS' (FOR RECORD PURPOSES ONLY)

### DEFERRED SUBMITTALS - CHAPTER 1, SECTION 107.2.4.1

#### SECTION 107.3.4.2 DEFERRED SUBMITTALS

DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE REGISTERED DESIGN PROFESSIONAL IN RESPONSIBLE CHARGE FOR RECORD IN COMPLIANCE WITH THE DESIGN INTENT OF THE PROJECT. DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE APPLICABLE AUTHORITIES HAVING JURISDICTION OVER EACH SCHEDULED WORK.

#### DEFERRED SUBMITTALS MAY INCLUDE:

- FIRE ALARM | COMMUNICATION SYSTEM - TIED DIRECTLY INTO BASE BUILDING SYSTEM (NO REMOTE PANELS)
- LISTED COMPONENTS (CONTRACTOR TO SUBMIT TO A.H.J. FOR APPROVALS PRIOR TO INSTALLATION)
- INTERIOR FLAME/SPREAD DOCUMENTATION FROM MANUFACTURER (AS REQUIRED BY A.H.J.) FOR REVIEWS AND APPROVALS
- SNAGGE SUBMITTAL (AS REQUIRED BY A.H.J. / OWNER)

#### STATEMENT OF SPECIAL INSPECTIONS AND TESTS - CHAPTER 17

##### SPECIAL INSPECTIONS AND TESTS (PER CHAPTER 17)

IF REQUIRED BY AUTHORITIES HAVING JURISDICTION OVER PROJECT, GENERAL CONTRACTOR SHALL PAY FOR THEIR CONTRACT AND COORDINATE OWNERS SELECTED APPROVED AGENCY FOR THE MATERIALS, SYSTEMS, COMPONENTS AND WORK REQUIRED TO HAVE SPECIAL INSPECTIONS OR TESTS REQUIRED BY THE BUILDING OFFICIAL OF THE REGISTERED DESIGN PROFESSIONAL RESPONSIBLE FOR EACH PORTION OF WORK.

#### EXIT SIGNAGE REQUIREMENTS:

##### MBC SECTION 1011 EXIT SIGNS

##### MBC SECTION 1011.1 WHERE REQUIRED

READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL. THE PATH OF EGRESS TRAVEL TO EXITS AND WITHIN EXITS SHALL BE MARKED BY READILY VISIBLE EXIT SIGNS TO CLEARLY INDICATE THE DIRECTION OF EGRESS TRAVEL IN CASE WHERE THE EXIT OR THE PATH OF EGRESS TRAVEL IS NOT IMMEDIATELY VISIBLE TO THE OCCUPANTS.

##### SECTION 1011.3 ILLUMINATION

EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED [EXCEPTION: TACTILE SIGNS REQUIRED BY SECTION 1011.4 NEED NOT BE PROVIDED WITH ILLUMINATION].

##### SECTION 1011.4 RAISED CHARACTER AND BRAILLE EXIT SIGNS (TACTILE EXIT SIGNS)

A SIGN STATING 'EXIT' IN RAISED CHARACTERS AND BRAILLE, AND COMPLYING WITH ICC A117.1 SHALL BE PROVIDED ADJACENT TO EACH DOOR TO AN AREA OF REFUGE, AN EXTERIOR AREA FOR ASSISTED RESCUE, AN EXIT STAIRWAY, AN EXIT RAMP, AN EXIT PASSAGEWAY AND THE EXIT DISCHARGE.

#### MEANS OF EGRESS | LIFE SAFETY GENERAL NOTES:

- REFER TO SHEET G-03 FOR REQUIREMENTS OF THIS PROJECT.
- ANY PENETRATIONS IN RATED COMPONENTS OR ASSEMBLIES ARE TO BE FIRE STOPPED TO EQUAL CODE RELATED / APPROVED PRODUCT MATERIALS. **PRODUCT SUBMITTALS ARE REQUIRED FOR WCAA / TENANT REVIEW AND APPROVAL PRIOR TO INSTALLATION.**
- ANY FIREPROOFING MATERIAL THAT IS DAMAGED OR PENETRATED DURING THE COURSE OF THE PROJECT CONSTRUCTION PROCESS MUST BE REPAIRED OR REPLACED WITH EQUAL CODE RELATED / APPROVED MATERIAL. **PRODUCT SUBMITTALS ARE REQUIRED FOR WCAA / TENANT REVIEW AND APPROVAL PRIOR TO INSTALLATION.**
- LIFE SAFETY CONTRACTOR TO VERIFY LOCATIONS OF ALL EXISTING DEVICES FOR COMPLIANCE WITH FEDERAL, STATE, AND LOCAL BUILDING CODES AND REQUIREMENTS. WORK SHALL BE ENGINEERED BY LICENSED CONTRACTOR AND SUBMITTED TO A.H.J. FOR REVIEWS AND APPROVALS. MODIFICATIONS REQUIRED TO CARRY OUT THE DESIGN INTENT OF THE PROJECT SCOPE OF WORK SHALL BE INCLUDED IN GENERAL CONTRACTORS PACKAGE AND LIFE SAFETY SPRINKLER CONTRACTOR) BASED ON REMOVALS AND NEW WORK LAYOUTS.

### SNAGGE

PROJECT SIGNAGE IS REQUIRED BY SCOPE OF THIS PROJECT. ROOM NAMES / NUMBERS AS WELL AS SPECIFIC DOOR EXIT SIGNAGE SHALL BE INCLUDED IN PROJECT SCOPE.

- REFER TO SHEET A-02 FOR SIGNAGE / ACCESSIBILITY PLACEMENT.
- REFER TO SHEET A-03 FOR SIGNAGE PLACEMENT PLAN AND SIGNAGE FUNCTION DESCRIPTION.

SNAGGE MUST MEET THE CURRENT STANDARDS/REQUIREMENTS OF THE ICC A117.1 LATEST EDITION, CHAPTER 7, COMMUNICATION ELEMENTS AND FEATURES. THE BELOW PARTIAL REPRESENTATIVE TEXT REPRESENTS ONLY A PORTION OF THE REQUIREMENTS FOR SIGNAGE. UNDER NO CONDITIONS SHALL THE CONTRACTOR/SNAGGE CONTRACTOR CONTRIBUTE THIS WRITING AS THE COMPLETE REQUIREMENTS FOR SIGNAGE. IT IS THE SNAGGE CONTRACTOR AND THE GENERAL CONTRACTORS RESPONSIBILITY TO COMPLY WITH ALL REQUIREMENTS FOR SIGNAGE AS IT PERTAINS TO THIS PROJECT.

- ACCESSIBLE SIGNS SHALL COMPLY WITH SECTION 703 OF THE ICC A117.1-2009. TACTILE SIGNS SHALL CONTAIN BOTH RAISED CHARACTERS AND BRAILLE. WHERE SIGNS WITH BOTH VISUAL AND RAISED CHARACTERS ARE REQUIRED, EITHER ONE SIGN WITH BOTH VISUAL AND RAISED CHARACTERS, OR TWO SEPARATE SIGNS, ONE WITH VISUAL, AND ONE WITH RAISED CHARACTERS, SHALL BE PROVIDED.

- LOCATION REQUIREMENTS:
  - SINGLE LEAF DOORS: SIGNS WITH RAISED CHARACTERS AND BRAILLE SHALL BE LOCATED ALONGSIDE THE DOOR AT THE LATCH SIDE.
  - WHERE THERE IS NO WALL SPACE ON THE LATCH SIDE OF A SINGLE DOOR, OR NO RIGHT SIDE OF DOUBLE DOORS, SIGNS SHALL BE ON THE NEAREST ADJACENT WALL.
  - SIGNS SHALL BE LOCATED SO THAT A CLEAR FLOOR AREA OF 18" BY 18" MINIMUM, CENTERED ON THE RAISED CHARACTERS IS PROVIDED BEYOND THE ARC OF ANY DOOR SWING IN THE CLOSED POSITION, AND THE 45-DEGREE OPEN POSITION.

- INTERIOR AND EXTERIOR SIGNS IDENTIFYING PERMANENT ROOMS AND SPACES SHALL COMPLY WITH THE REQUIREMENTS OF SIGNAGE - VISUAL CHARACTERS AND RAISED CHARACTERS.
- DIRECTIONAL AND INFORMATIONAL SIGNS - SIGNS THAT PROVIDE DIRECTION TO OR INFORMATION ABOUT INTERIOR SPACES AND FACILITIES OF THE SITE SHALL COMPLY WITH THE REQUIREMENTS OF VISUAL CHARACTERS

- VISUAL CHARACTERS
  - UPPERCASE, LOWERCASE, OR BOTH.
  - CONVENTIONAL IN FORM (NOT ITALIC, OBLIQUE, SCRIPT, HIGHLY DECORATIVE OR OF OTHER UNUSUAL FORMS).
  - THE UPPERCASE LETTER 'T' SHALL BE USED TO DETERMINE ALLOWABLE HEIGHT OF ALL CHARACTERS OF A FONT.

HEIGHT ABOVE FLOOR TO BASELINE OF CHARACTER	HORIZONTAL VIEWING DISTANCE	MINIMUM CHARACTER HEIGHT
40 INCHES TO LESS THAN OR EQUAL TO 70 INCHES	LESS THAN 4 FEET 6 FEET AND GREATER	5/8 INCH 5/8 INCH PLUS 1/8 INCH PER FOOT OF VIEWING DISTANCE ABOVE 6 FEET
GREATER THAN 70 INCHES TO LESS THAN 120 INCHES A.F.F.	LESS THAN 15 FEET 15 FEET AND GREATER	2 INCHES 2 INCHES PLUS 1/8 INCH PER FOOT OF VIEWING DISTANCE ABOVE 15 FEET
GREATER THAN 120 INCHES	LESS THAN 21 FEET 21 FEET AND GREATER	3 INCHES 3 INCHES PLUS 1/8 INCH PER FOOT OF VIEWING DISTANCE ABOVE 21 FEET

- VISUAL CHARACTERS SHALL BE 40 INCHES MINIMUM ABOVE THE FLOOR OF THE VIEWING POSITION MEASURED TO THE BASELINE OF THE CHARACTER.
- CHARACTERS AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH AND CONTRAST WITH ONE ANOTHER.
- RAISED CHARACTERS
  - SHALL BE RAISED 1/32 INCH MINIMUM ABOVE THEIR BACKGROUND.
  - UPPER CASE.
  - DURING THE COURSE OF THE PROJECT CONSTRUCTION PROCESS MUST BE REPAIRED OR REPLACED WITH EQUAL CODE RELATED / APPROVED MATERIAL.
- THE UPPERCASE LETTER 'T' SHALL BE USED TO DETERMINE ALLOWABLE HEIGHT OF ALL CHARACTERS OF A FONT, MEASURED VERTICALLY FROM THE BASELINE OF THE CHARACTER. SHALL BE 5/8 INCH MINIMUM AND 2 INCHES MAXIMUM.
- RAISED CHARACTERS SHALL BE 48" MINIMUM ABOVE THE FLOOR, MEASURED TO THE BASELINE OF THE LOWEST RAISED CHARACTER AND 40 INCHES MAXIMUM ABOVE THE FLOOR, MEASURED TO THE TOP OF THE HIGHEST RAISED CHARACTER.
- LOCATION - WHERE PROVIDED AT A DOOR, THE SIGN SHALL BE ALONGSIDE THE DOOR AT THE LATCH SIDE, WHERE A SIGN CONTAINING RAISED CHARACTERS AND BRAILLE IS PROVIDED AT DOUBLE DOORS WITH ONE ACTIVE LEAF, THE SIGN SHALL BE LOCATED ON THE INACTIVE LEAF.

- BRAILLE
  - GRADE 2 BRAILLE
  - BRAILLE SHALL BE BELOW THE CORRESPONDING TEXT.
  - IN MULTI LINE TEXT, BRAILLE SHALL BE PLACED BELOW ENTIRE TEXT.
  - BRAILLE SHALL BE 48 INCHES MINIMUM AND 40 INCHES MAXIMUM ABOVE THE FLOOR, MEASURED TO THE BASELINE OF THE BRAILLE CELLS.
- PICTOGRAMS
  - FIELD OF 6 INCHES MINIMUM IN HEIGHT. CHARACTERS OR BRAILLE SHALL NOT BE LOCATED IN THE PICTOGRAM FIELD.
  - PICTOGRAMS AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH AND CONTRAST WITH ONE ANOTHER.

### SECTION 403 COMBUSTIBLE MATERIAL IN TYPES I AND II CONSTRUCTION

#### INTERIOR FINISHES (PER CHAPTER 8)

##### WALL AND CEILING FINISHES (PER SECTION 803) | INTERIOR FLOOR FINISHES (PER SECTION 804)

- REFER TO GENERAL CONDITIONS, SPECIFICATIONS, DRAWINGS AND SCHEDULES FOR WORK.
- REFER TO ELEVATIONS, SECTIONS AND DETAILS FOR SPECIFIC INFORMATION PERTAINING TO INDIVIDUAL COMPONENTS AND FINISHES.
- LEVEL ALL EXISTING CONCRETE FLOOR SURFACES AS NECESSARY TO PROVIDE LEVEL SURFACE VARYING NO MORE THAN 1/4" WITHIN 10' OF DISTANCE.
- SECTION 803.1.1 INTERIOR WALL AND CEILING FINISH MATERIALS.
  - INTERIOR WALL AND CEILING FINISHES SHALL BE CLASSIFIED IN ACCORDANCE WITH ASTM E 84 OR UL 723. SUCH INTERIOR FINISH MATERIALS SHALL BE GROUPED IN THE FOLLOWING CLASSES IN ACCORDANCE WITH THEIR FLAME SPREAD AND SMOKE DEVELOPED INDEXES:
    - CLASS A: FLAME SPREAD 0 - 25; SMOKE DEVELOPED 0 - 450
    - CLASS B: FLAME SPREAD 26 - 75; SMOKE DEVELOPED 0 - 450
    - CLASS C: FLAME SPREAD 76 - 200; SMOKE DEVELOPED 0 - 450

USE GROUPS	INTERIOR PASSAGEWAYS	CORRIDORS
A-3	NON SPRINK.	NON SPRINK.
B	A	B

- SECTION 804 INTERIOR FLOOR FINISH EXCEPTION: FLOOR FINISHES AND COVERINGS OF A TRADITIONAL TYPE SUCH AS WOOD, VINYL, LINOLEUM, TERRAZO.
- AND RESILIENT FLOOR COVERING MATERIALS THAT ARE NOT COMPRISED OF FIBERS.
  - SECTION 804.2 - INTERIOR FLOOR FINISH AND FLOOR COVERINGS MATERIALS SHALL BE OF CLASS 1 OR 2 MATERIALS IN ACCORDANCE WITH NFPA 253.
    - CLASS 1: 0.45 WATTS/CM2 OR GREATER
    - CLASS 2: 0.22 WATTS/CM2 OR GREATER.
  - SECTION 804.4.1 TEST REQUIREMENT, IN ALL OCCUPANCIES, INTERIOR FLOOR COVERING MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF DOC FF-1 "PILL TEST".
  - SECTION 804.4.2 MINIMUM CRITICAL RADIANT FLUX. IN ALL OCCUPANCIES, INTERIOR FLOOR FINISH AND FLOOR COVERING MATERIALS ENCLOSURES FOR STAIRWAYS AND RAMPS, EXIT PASSAGEWAYS, CORRIDORS AND ROOMS OR SPACES NOT SEPARATED FROM CORRIDORS BY PARTITIONS EXTENDING FROM THE FLOOR TO UNDERSIDE OF CEILING, SHALL WITHSTAND A MINIMUM CRITICAL RADIANT FLUX. MINIMUM CRITICAL RADIANT FLUX SHALL NOT BE LESS THAN CLASS II GROUPS I-1, I-2 AND I-3 AND NOT LESS THAN CLASS III IN GROUPS A, B, E, H, I, 4, M, R-1, R-2 AND S.
  - EXCEPTION: WHEN BUILDING IS EQUIPPED THROUGHOUT WITH AN AUTOMATIC SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION 903.8.1.1 OR 903.8.1.2, CLASS II MATERIALS ARE PERMITTED ANY AREA WHERE CLASS I MATERIALS ARE REQUIRED, AND MATERIALS COMPLYING WITH DOC FF-1 "PILL TEST" ARE PERMITTED IN ANY AREA WHERE CLASS II MATERIALS ARE REQUIRED.
  - SECTION 804.6 - INTERIOR FLOOR WALL BASE. INTERIOR FLOOR WALL BASE THAT IS 6 INCHES OR LESS IN HEIGHT SHALL NOT BE LESS THAN CLASS II (UNLESS FLOOR FINISH IS REQUIRED TO BE CLASS I).
  - WALKING SURFACES OF THE MEANS OF EGRESS SHALL HAVE A SLIP RESISTANT SURFACE AND BE SECURELY ATTACHED PER THE 2015 MICHIGAN BUILDING CODE, SECTION 1003.4.
  - SECTION 1210 - TOILET AND BATHROOM REQUIREMENTS.
    - SECTION 1210.2.1 FLOORS AND WALL BASES. TOILET AND SHOWER ROOM FLOOR FINISH MATERIALS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE. THE INTERSECTIONS OF SUCH FLOORS WITH WALLS SHALL HAVE A SMOOTH, HARD, NONABSORBENT VERTICAL BASE THAT EXTENDS UPWARD ONTO THE WALLS NO LESS THAN 4 INCHES.
    - SECTION 1210.2.2 WALLS AND PARTITIONS. WALLS AND PARTITIONS WITHIN 2 FEET OF SERVICE SINKS, URINALS AND WATER CLOSETS SHALL HAVE A SMOOTH, HARD, NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 4 FEET ABOVE THE FLOOR. MATERIAL USED SHALL BE OF A TYPE THAT IS NOT ADVERSELY AFFECTED BY MOISTURE.
    - EXCEPTION: TOILET ROOMS THAT ARE NOT ACCESSIBLE TO THE PUBLIC AND WHICH HAVE NOT MORE THAN ONE WATER CLOSET.

#### SAFETY GLAZING GENERAL NOTES:

- GLAZING SHALL MEET THE REQUIREMENTS OF CHAPTER 24 OF THE **MBC 2015** AND BE IDENTIFIED AS NOTED IN SECTION 2403.1 AND 2406.3.
- SAFETY GLAZING SHALL BE PROVIDED IN (BUT NOT NECESSARILY LIMITED TO) THE FOLLOWING HAZARDOUS LOCATIONS:
  - GLAZING IN DOORS. GLAZING IN ALL FIXED AND OPERABLE PANELS OF SWINGING, SLIDING AND BI-FOLD DOORS SHALL BE CONSIDERED A HAZARDOUS LOCATION.
  - GLAZING ADJACENT TO A DOOR. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE OF THE GLAZING IS WITHIN A 24-INCH ARC OF EITHER VERTICAL EDGE OF THE DOOR IN A CLOSED POSITION AND WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60" ABOVE THE WALKING SURFACE SHALL BE CONSIDERED A HAZARDOUS LOCATION.
  - GLAZING IN WINDOWS. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL THAT MEETS THE ALL OF THE FOLLOWING CONDITIONS SHALL BE CONSIDERED A HAZARDOUS LOCATION:
    - THE EXPOSED AREA OF AN INDIVIDUAL PANEL IS GREATER THAN 9 SQUARE FEET.
    - THE BOTTOM EDGE OF THE GLAZING IS LESS THAN 18 INCHES ABOVE FINISH FLOOR.
    - THE TOP EDGE OF THE GLAZING IS GREATER THAN 36 INCHES ABOVE FINISH FLOOR.
    - PICTOGRAMS AND THEIR BACKGROUND SHALL HAVE A NON-GLARE FINISH AND CONTRAST WITH ONE A STRAIGHT LINE. OF THE PLANE OF THE GLAZING.

#### FIRE MARSHAL REQUIREMENTS (AS APPLICABLE TO PROJECT SCOPE):

- ANY OPERATION THAT MAY BE CLASSIFIED AS A 'SOURCE OF IGNITION' FACTOR (I.E. BURNING, CUTTING, WELDING, ETC.) SHALL REQUIRE A SITE INSPECTION.
- RUBBISH AND TRASH SHALL NOT BE ALLOWED TO ACCUMULATE ON THE SITE. THE ENTIRE PREMISES AND AREA ADJOINING AND AROUND THE OPERATION SHALL BE KEPT IN A SAFE AND SANITARY CONDITION.
- EXIT SIGNAGE SHALL COMPLY WITH SECTION 1011.3 OF THE **MBC 2015** AND CHAPTER 7 OF THE ICC/ANSI A117.1 LATEST EDITION.
  - CONTRACTOR SHALL NOTE THAT THE LOCATION OF ALL PROJECT SCOPE EXIT SIGNS SHALL BE REVIEWED AND APPROVED BY A.H.J. DURING THE INSPECTION PROCESS. ANY RELOCATION OF SUCH SIGNAGE IS THE RESPONSIBILITY OF THE CONTRACTOR.
- THE FIRE ALARM SHALL TIE INTO THE BASE BUILDING ALARM SYSTEM AND SHALL COMPLY WITH SECTION 702 OF THE ICC/ANSI A117.1 LATEST EDITION.
- ALL FIRE ALARM AND LIFE SAFETY SYSTEMS, AND THEIR COMPONENTS, SHALL COMPLY WITH NFPA 72. IN ADDITION, ANY DETECTOR DETECTION INSTALLATION SHALL COMPLY WITH THE 2015 MICHIGAN MECHANICAL CODE, AND SHALL REPORT AS A SUPERVISORY SIGNAL.
- A KNOX BOX MAY BE REQUIRED ADJACENT TO STORE FRONT AS PART OF THIS PROJECT. A KEY SHALL BE PROVIDED TO THE FIRE DEPARTMENT. CONTACT THE FIRE PREVENTION OFFICE FOR ORDERING INFORMATION AND WHEN A KEY IS AVAILABLE.
- FIRE EXTINGUISHERS / FIRE EXTINGUISHER CABINETS, IF REQUIRED AS PART OF PROJECT SCOPE, SHALL BE PROVIDED AND LOCATED PER NFPA 10.
- TESTING AND INSTALLATION OF THE FIRE ALARM SYSTEM IN THE PREMISES SHALL BE BY THE OWNER. THE FIRE ALARM SYSTEM SHALL BECOME PART OF THE BUILDING SYSTEM.
- PLANS MAY SHOW THE LOCATION OF LIFE SAFETY DEVICES (I.E. HORNS/STROBES, PULLS, ETC.) (TO THE EXTENT POSSIBLE WITH AVAILABLE VISUAL ACCESS). CONTRACTOR RESPONSIBLE FOR EXECUTING A CONTRACT WITH LICENSED ENGINEERING CONTRACTOR FOR SUPPLY OF THIS SCOPE OF SERVICE AND FOR OBTAINING APPROVALS FROM A.H.J.'S. ENGINEERING CONTRACTOR RESPONSIBLE FOR VERIFICATION OF ANY EXISTING LIFE-SAFETY ELEMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- ALL NEW STROBES, OR STROBE CIRCUITS SHALL ACTIVATE IN ACCORDANCE WITH THE SEQUENCE OF EVENTS APPROVALS FROM A.H.J.'S. ENGINEERING CONTRACTOR RESPONSIBLE FOR VERIFICATION OF ANY EXISTING LIFE-SAFETY ELEMENTS PRIOR TO COMMENCEMENT OF CONSTRUCTION.

#### MEANS OF EGRESS ILLUMINATION

- PER MBC 2015 SECTION 1008 MEANS OF EGRESS ILLUMINATION**
  - MEANS OF EGRESS ILLUMINATION LEVEL SHALL NOT BE LESS THAN 1 FOOT-CANDLE (1 LUX) AT THE WALKING SURFACE (WITH EXCEPTIONS).
  - SECTION 1008.3 ILLUMINATION EMERGENCY POWER.
    - THE POWER SUPPLY FOR MEANS OF EGRESS ILLUMINATION SHALL NORMALLY BE PROVIDED BY THE PREMISES ELECTRICAL SUPPLY. IN THE EVENT OF POWER SUPPLY FAILURE IN A ROOMS AND SPACE REQUIRING ONE MEANS OF EGRESS, AN EMERGENCY ELECTRICAL SYSTEM SHALL AUTOMATICALLY ILLUMINATE AISLES, CORRIDORS, EXIT ACCESS STAIRWAYS AND RAMPS.
    - IN ROOMS AND SPACES WHICH REQUIRE TWO OR MORE MEANS OF EGRESS, THE EMERGENCY POWER SYSTEM SHALL AUTOMATICALLY ILLUMINATE INTERIOR EXIT ACCESS STAIRWAYS AND RAMPS, INTERIOR AND EXTERIOR EXIST STAIRWAYS AND RAMPS, EXIT PASSAGEWAYS, VESTIBULES, EXTERIOR LANDINGS.
    - PROVIDE POWER FOR A DURATION OF NOT LESS THAN 90 MINUTES AND SHALL CONSIST OF STORAGE BATTERIES, UNIT EQUIPMENT OR AN ON-SITE GENERATOR.
- PER SECTION 1013 EXIT SIGNS**
  - SECTION 1013.1 WHERE REQUIRED, EXIST AND EXIT ACCESS DOORS SHALL BE MARKED WITH APPROVED EXIT SIGN READILY VISIBLE FROM ANY DIRECTION OF EGRESS TRAVEL. EXIT SIGNS PLACEMENT SHALL BE NO MORE THAN ONE HUNDRED FEET OR MAXIMUM VIEWING DISTANCE FROM EACH READER VISIBLE EXIT SIGN.
    - EXCEPTIONS (EXIT SIGNS REQUIRED):
      - ROOMS OR AREAS THAT ARE REQUIRED TO ONLY HAVE ONE EXIT | EXIT ACCESS
      - MAIN EXTERIOR DOORS THAT ARE OBVIOUS AND CLEARLY IDENTIFIABLE AS EXITS
      - SECTION 1013.3 ILLUMINATION. EXIT SIGNS SHALL BE INTERNALLY OR EXTERNALLY ILLUMINATED.
      - SECTION 1013.5 INTERNALLY ILLUMINATED EXIT SIGNS, SELF-LUMINOUS AND PHOTOLUMINESCENT EXIT SIGNS MUST BE UL924 AND MEET CHAPTER 27 REQUIREMENTS. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES.
    - SECTION 1013.6.2 EXIT SIGN ILLUMINATION. THE FACE OF THE EXIT SIGN (EXTERNAL SOURCE) SHALL HAVE AN INTENSITY OF NOT LESS THAN 5 FOOT-CANDLES.
    - SECTION 1013.6.3 POWER SOURCE. EXIT SIGNS SHALL BE ILLUMINATED AT ALL TIMES. PROVIDE CONTINUED ILLUMINATION FOR A DURATION OF NOT LESS THAN 90 MINUTES IN CASE OF PRIMARY POWER LOSS.
  - SECTION 1203 LIGHTING
    - SECTION 1203.2 NATURAL LIGHT. THE MINIMUM NET GLAZED AREA SHALL BE NOT LESS THAN 8-PERCENT OF THE FLOOR AREA OF THE ROOM SERVED.
    - SECTION 1203.3 ARTIFICIAL LIGHT. LIGHTING SHALL PROVIDE AN AVERAGE ILLUMINATION OF AT LEAST 10 FOOT-CANDLES OVER THE AREA OF ROOMS AND SPACES AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL.

#### LIFE SAFETY RELATED:

- LIFE ALARM SYSTEM(S):**
  - MUST BE PREPARED UNDER DIRECT CONTRACT WITH GENERAL CONTRACTOR. SCOPE OF WORK MUST INCLUDE ALL DESIGN AND ENGINEERING NECESSARY FOR APPLICABLE PLAN REVIEWS AND PERMITS FOR A COMPLETED PROJECT. CONTRACTOR MUST OBTAIN ALL APPROVALS BY A.H.J. PRIOR TO COMMENCEMENT OF WORK
  - SECURITY HARDWARE AND SERVICES SHALL BE PROVIDED BY THE CONTRACTOR.
    - TO BE RESPONSIBILITY OF CONTRACTOR.

## PROJECT GENERAL NOTES

B

### GENERAL REQUIREMENTS:

- ALL WORK TO BE PERFORMED IN COMPLIANCE WITH ALL APPLICABLE CODES, LAWS AND REGULATIONS INCLUDING OWNER REQUIREMENTS.
- PROTECT THE COMMENCEMENT OF WORK. INSPECT ALL AREAS IN WHICH WORK IS TO BE PERFORMED.
- PROTECT ADJACENT AREAS FROM DUST, EXCESSIVE NOISE AND/OR DISRUPTION OF OPERATIONS. ANY WORK WHICH INTERFERES WITH THE OWNERS OPERATION OF THE SURROUNDING AREAS AND ANY INTERRUPTION OF SERVICES INCLUDING THE SHUTDOWN OF UTILITIES SHALL BE PERFORMED AT A TIME APPROVED BY THE REPRESENTATIVE OF SAME.
- PROTECT EXISTING AREAS, STRUCTURES, FINISHES, UTILITIES & OTHER ITEMS ADJACENT TO WORK AREA SCHEDULED TO REMAIN 'AS-IS'.
  - PRIOR TO COMMENCEMENT, DOCUMENT SURROUNDING PROPERTIES WHICH COULD BE MISCONSTRUED AS DAMAGE RESULTING FROM SCHEDULED WORK SCOPE, AND FILE WITH PROJECT REPRESENTATIVE.
- AREAS THAT ARE DAMAGED BY SELECTIVE DEMOLITION, AND NOT AS A RESULT OF DIRECT PROJECT SCOPE, SHALL BE PATCHED, REPAIRED & FINISHED OR REPLACED TO MATCH EXISTING ADJACENT SURFACES AT NO EXPENSE TO THE OWNER.
- PROVIDE TEMPORARY BARRICADES, BARRIERS, PARTITIONS, AND/OR OTHER PROTECTIVE MEASURES TO PROTECT THE OCCUPANTS, PERSONNEL & GENERAL PUBLIC FROM INJURY DUE TO DEMOLITION WORK.
- PROVIDE A PROPER MEANS OF EGRESS AS REQUIRED FOR OCCUPIED AREAS FOR WHICH CONSTRUCTION, EGRESS MUST ALSO BE MAINTAINED WITHIN THE CONSTRUCTION AREA.
- IF HAZARDOUS MATERIALS ARE ENCOUNTERED DURING DEMOLITION OPERATIONS, THE CONTRACTOR IS TO STOP WORK IMMEDIATELY AND INFORM THE PROJECT REPRESENTATIVE AND CONSTRUCTION MANAGER FOR FURTHER DIRECTION.

### ARCHITECTURAL / NEW WORK RELATED:

- CONTRACTOR TO CONSTRUCT NEW INTERIOR PARTITIONS AS NOTED ON SPECIFIC PLANS.
- CONTRACTOR TO PREPARE ALL SURFACES FOR NEW FINISH AS DESIGNATED IN FINISH SCHEDULE OR FINISH PLAN.
- SPECIFICATION OF FIRE EXTINGUISHER CABINETS TO BE APPROVED BY AHJ / FIRE MARSHAL AND REVIEWED WITH ARCHITECT PRIOR TO COMMENCEMENT OF INSTALLATION. FINAL LOCATION OF ALL EXTINGUISHERS AND/OR CABINETS MUST BE APPROVED BY AHJ AND CONFIRMED WITH ARCHITECT PRIOR TO INSTALLATION.
  - FINISH SHALL BE BRUSHED STAINLESS STEEL UNLESS NOTED OTHERWISE.
- GENERAL CONTRACTOR RESPONSIBLE FOR PULLING OF DATA, TELEPHONE UNITS & CABLING IN ALL NEW PARTITIONS WHERE SHOWN.
- ALL WALLS TO HAVE PRIME AND PAINTED FINISH UNLESS NOTED OTHERWISE. WALLS TO RECEIVE ONE (1) COAT OF PRIMER AND TWO (2) COATS OF PAINT.

### HARDWARE REQUIREMENTS:

- ALL DOORS AND HARDWARE TO COMPLY WITH ICC/ANSI A117.1-2009 (SECTION 404).
- PER MBC 2015** (SECTION 1010.1.9.1) AND ICC/ANSI A117.1-2009 (SECTION 404.2.4) HARDWARE: DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES ON DOORS REQUIRED TO BE ACCESSIBLE BY CHAPTER 11 SHALL NOT REQUIRE TIGHT GRASPING, TIGHT PINGING OR TWISTING OF THE WRIST TO OPERATE.
- PER MBC 2015** (SECTION 1010.1.9.2) HARDWARE HEIGHT: DOOR HANDLES, PULLS, LATCHES, LOCKS AND OTHER OPERATING DEVICES SHALL BE INSTALLED 34 INCHES MINIMUM AND 48 INCHES MAXIMUM ABOVE THE FINISHED FLOOR.
  - EXCEPTION: LOCKS USED ONLY FOR SECURITY PURPOSES AND NOT USED FOR NORMAL OPERATION ARE PERMITTED AT ANY HEIGHT.
- PER MBC 2015** (SECTION 1010.1.7) THRESHOLDS: THRESHOLDS AT DOORWAYS SHALL NOT EXCEED 1/2" IN HEIGHT ABOVE THE FINISHED FLOOR OR LANDING. PROVIDE A.D.A. APPROVED LOW PROFILE THRESHOLD (ALUMINUM) AT ALL EXTERIOR DOORS.
- ALL HARDWARE TO BE RATED FOR A MINIMUM MEDIUM DUTY COMMERCIAL GRADE UNLESS SPECIFIED OTHERWISE.
- HARDWARE PRIOR TO BE AS SPECIFIED. IN THE EVENT OF OMITTED FINISH, CONTRACTOR TO PRICE ANTIQUE BRASS US FINISH.
- WHERE 1/4" (MINIMUM) FULLY-TEMPERED GLASS IS IN DOOR VISION PANELS AS SHOWN, WALL STOPS CANNOT BE USED. CONTRACTOR TO PROVIDE FLOOR STOP IN FINISH USE.
- OBTAIN ARCHITECTS APPROVAL ON FLOOR STOP LOCATION PRIOR TO INSTALLATION.
- ALL HINGES TO BE FULLY MORTISED.
- ALL DOORS TO BE FINISHED AS NOTED IN FINISH DIRECTIVES. CONTRACTOR TO SUBMIT SAMPLES AND RECEIVE ARCHITECT APPROVAL ON FINISH / COLOR PRIOR TO PURCHASE.

### MILLWORK RELATED:

- IN-WALL BLOCKING:
  - PROVIDE CONTINUOUS NON-COMBUSTIBLE BLOCKING FOR CEILING SHELVING OR OTHER WALL MOUNTED ELEMENTS AT LOCATIONS DESIGNATED OR SHOWN. BLOCKING TO EXTEND ENTIRE WIDTH OF WALL WHERE SHOWN PROVIDED. BLOCKING TO BE CENTERED WHERE SHOWN ON WALL SURFACE.
  - AT ALL MILLWORK LOCATIONS, PROVIDE 6" HIGH OF IN-WALL BLOCKING DIRECTLY AT MOUNTING LOCATIONS OF INDIVIDUAL TELEPHONE UNITS.
  - AT LAVATORY MILLWORK LOCATIONS, PROVIDE IN-WALL BLOCKING AT BACK AND SIDE WALL OF COUNTER IN EACH TOILET ROOM. BLOCKING TO BRACE NEW SIDE PANEL TO SUPPORT LAV FOR AT LEAST

### 300 POUNDS.

- CONTRACTOR TO PROVIDE SEALANT AT ALL SEAMS, JUNCTURES, AND AREAS NOT EASILY ACCESSIBLE FOR CLEANING. SEALANT TO BE PAINTED TO MATCH ADJACENT SURFACES OR TRANSLUCENT IF SPECIFIED AS SUCH.
  - FLOORING CONTRACTOR RESPONSIBLE FOR DETERMINING ACCEPTABILITY OF FLOOR FINISH AND LEVEL PRIOR TO INSTALLATION OF MATERIALS AND FINISHES.
  - FLOORING CONTRACTOR RESPONSIBLE FOR DETERMINING ACCEPTABILITY OF FLOOR FINISH PER MANUFACTURER'S REQUIREMENTS AND RECOMMENDATIONS PRIOR TO INSTALLATION OF MATERIALS.
  - FLOORING CONTRACTOR TO CONFIRM COORDINATION OF CONCRETE SAW CUTS AND GROUT LINES WITH ARCHITECT PRIOR TO INSTALLATION OF FLOOR MATERIALS AND FINISHES OR FLOOR POLISHING.
  - AFTER COMPLETION OF FLOORING SURFACE AND/OR ANY CONSTRUCTION ACTIVITY, CLEAN ALL FLOOR FINISHES USING MATERIALS AND PROCEDURES OUTLINED BY EACH SPECIFIC MANUFACTURER.
  - FLOOR TRANSITIONS SHALL NOT EXCEED 2% IN SLOPE.
- STANDARD FLOOR TRANSITION REQUIREMENTS\***
- ALL FLOOR TRANSITIONS MUST COMPLY WITH:
    - ANSI 303.3 VERTICAL** CHANGES IN LEVEL OF 1/4 INCH (6 MM) HIGH MAXIMUM SHALL BE PERMITTED VERTICALLY
    - CHANGES BETWEEN 1/4 INCH (6 MM) HIGH MINIMUM SHALL BE PERMITTED HORIZONTALLY
    - CHANGES BETWEEN 1/2 INCH (13 MM) HIGH MAXIMUM SHALL BE PERMITTED WITH A SLOPE NOT STEEPER THAN 1:2.
  - SUBMITTALS TO PROVIDE ARCHITECT AND CONTRACTOR WITH TRANSITION STRIP FOR REVIEW AND APPROVALS PRIOR TO CONSTRUCTION COMMENCEMENT.

### GENERAL FINISH REQUIREMENTS:

- CONTRACTOR MUST SUBMIT 3 SAMPLES OF ALL FINISHES, CUSTOM FABRICATIONS, MATERIALS, ETC. TO ARCHITECT FOR CONFIRMATION OF COMPLIANCE WITH DESIGN INTENT OF THE DOCUMENTS, PRIOR TO FABRICATION (NO EXCEPTIONS).
- CONTRACTOR TO PREPARE ALL SURFACES FOR NEW FINISH AS DESIGNATED IN FINISH SCHEDULE, PLANS, OR ELEVATIONS. CONTRACTOR IS RESPONSIBLE FOR DETERMINATION OF PROPER METHOD OF CLEANING AND PREP TO ACHIEVE DESIRED END FINISH ON EACH MATERIAL.
- ALL HORIZONTAL SEAMS ARE TO BE CALKED/SEALED (i.e. COUNTERTOPS, SINKS, VANITIES, CAP, ETC.) WITH TRANSLUCENT OR PAINTABLE SEALANT. IF NO SPECIFIC PRODUCT IS SPECIFIED, PROVIDE ARCHITECT WITH SELECTIONS PRIOR TO COMMENCEMENT.
- SEALANTS TO BE CLEAR SILICONE IN FINISH APPLICATIONS, U.N.O.
- CAULK / ALL CONTROL JOINTS OR USE PRE-MANUFACTURED CONTROL JOINT SYSTEM / MATERIAL PER DETAILS.

### WALLS AND MISC. FINISHES:

- WALL FINISH CONTRACTOR TO CONFIRM CONDITION OF WALL CONSTRUCTION AND LEVEL OF FINISH PRIOR TO INSTALLATION OF WALL FINISHES.
  - WALL FINISH CONTRACTOR RESPONSIBLE FOR DETERMINING ACCEPTABILITY OF WALL FINISH AND TAPING PRIOR TO INSTALLATION OF MATERIALS AND FINISHES.
  - GENERAL CONTRACTOR, TOGETHER WITH WALL FINISH CONTRACTOR, RESPONSIBLE FOR DETERMINING INTERIOR ENVIRONMENTAL CONDITIONS AND ADEQUATE PREPARATION OF WALL SURFACES PRIOR TO DELIVERY OF MATERIALS. REFER TO G-07 FOR WOODWORK REQUIREMENTS.
- REFER TO INTERIOR ELEVATIONS / DETAILS FOR ADDITIONAL FINISH INFORMATION.

#### HARD TILE RELATED:

- TYPICAL BASE INSTALLATION - COMPLY WITH INTERIOR ELEVATIONS FOR

- JOINT ALIGNMENT DIAGRAMS OR ALIGN JOINTS IN BASE WITH JOINTS IN FLOOR TILE PATTERN WHEREVER POSSIBLE. CONSULT WITH ARCHITECT IF JOINTS CANNOT MATCH.
- NO ACID TO BE USED FOR CLEANING FLOORS AFTER INSTALLATION AND DURING CONSTRUCTION TURNOVER. USE SOAP AND WATER OF CLEANING AGENT APPROVED BY EACH INDIVIDUAL FLOORING MANUFACTURER.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF THE TILE/GROUT IN ALL AREAS DURING CONSTRUCTION.
  - TAPE DOWN AND STAGGER SEAMS BY HALF THE WIDTH ON SECOND LAYER.

#### ELECTRICAL RELATED:

- CONTRACTOR TO COMPLY WITH THE REQUIREMENTS SET FORTH IN THE ELECTRICAL ENGINEERING DRAWINGS HEREIN.
- ELECTRICAL CONTRACTOR RESPONSIBLE FOR OBTAINING ELECTRICAL REVIEWS AND PERMITS FROM A.H.J.
  - SCOPE OF WORK INCLUDES SAME FOR INSTALLATION OF ELECTRICAL ELEMENTS WITHIN ELECTRIFIED SYSTEMS FURNITURE.
- APPLIANCE/EQUIPMENT:** ELECTRICAL CONTRACTOR RESPONSIBLE FOR ALL POWER TO ANY NEW APPLIANCES AND/OR EQUIPMENT AS SHOWN, REGARDLESS OF WHO FURNISHES ITEM.
  - IF NOT SPECIFICALLY LOCATED ON DRAWINGS, CONTRACTOR TO VERIFY ALL NEW ELECTRICAL DEVICE LOCATIONS WITH PROJECT REPRESENTATIVE PRIOR TO INSTALLATION.
  - CONTRACTOR RESPONSIBLE FOR WIRING OF ALL DATA.
  - CONTRACTOR MUST ADD IN ORDER TO COMPLY WITH THE BALANCING REQUIREMENTS.



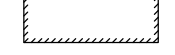

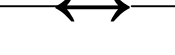

#### HVAC RELATED:

- CONTRACTOR TO COMPLY WITH THE REQUIREMENTS SET FORTH IN THE MECHANICAL ENGINEERING DRAWINGS HEREIN.
- ALL HVAC WITHIN PROJECT WORK AREAS AND NEW WORK AREAS SHALL COMPLY WITH THE SPECIFIED USAGE / FUNCTION OF EACH SPACE OR ENCLOSED AREA.
  - SUPPLY AND RETURNS MUST BE BALANCED FOR EACH SPACE/ROOM; IF INADEQUATE GRILLS / DIFFUSERS ARE PRESENT, CONTRACTOR MUST ADD IN ORDER TO COMPLY WITH THE BALANCING REQUIREMENTS.
  - HVAC CONTRACTOR SHALL PROVIDE PROOF OF BALANCING VIA CERTIFIED REPORT BY CERTIFIED BALANCING ENTITY.



CONTRACT LAYOUT PLAN LEGEND AND SHEET NOTES

CONTRACT LAYOUT PLAN LEGEND

-  PROJECT LIMITS - BID PACKAGE 1 (SEE NOTE 8)
-  CONTRACTOR STAGING AND PARKING AREA - BID PACKAGE 1
-  PROPOSED TERMINAL FACILITY
-  PROPOSED CONCRETE SIDEWALK
-  CONSTRUCTION HAUL ROUTE
-  EXISTING FENCE

GENERAL SHEET NOTES

GENERAL:

1. **HAUL ROUTES:** LOCATION OF HAUL ROUTES ON THE AIRPORT SITE SHALL BE AS SPECIFIED ON THE PLANS OR AS APPROVED BY THE RPR. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE OFF-SITE HAUL ROUTES (STATE HIGHWAYS, COUNTY ROADS OR CITY STREETS) WITH THE APPROPRIATE OWNER WHO HAS JURISDICTION OVER THE AFFECTED ROUTE. THE CONDITION OF THE CONSTRUCTION HAUL ROUTE WILL BE JOINTLY INSPECTED BY THE AIRPORT AND RPR IMMEDIATELY FOLLOWING INSTALLATION AND BEFORE BEING USED AS A HAUL ROUTE. FOLLOWING CONSTRUCTION, THE HAUL ROUTE'S CONDITION WILL BE INSPECTED AGAIN AND COMPARED TO THAT BEFORE CONSTRUCTION. ALL COSTS RELATED TO THE MAINTENANCE, EROSION CONTROL AND RESTORATION OF HAUL ROUTE SHALL BE INCIDENTAL TO THE MOBILIZATION PAY ITEM, UNLESS OTHERWISE NOTED.  
  
CONTRACTOR SHALL USE THE EXISTING RAILROAD BASE AS A HAUL ROUTE. ALL AREAS USED AS A HAUL ROUTE WILL REQUIRE RESTORATION TO EXISTING CONDITIONS. CONTRACTOR TO DISCUSS EXACT HAUL ROUTE LOCATION AND LIMITS OF REQUIRED RESTORATION WITH AIRPORT AND RPR PRIOR TO CONSTRUCTION.
2. **WASTE DISPOSAL AND BORROW AREAS:** RUBBLE, EXCAVATION WASTE MATERIAL AND DEBRIS REMOVED FROM THE CONSTRUCTION AREAS SHALL BE DISPOSED OFF OF THE AIRPORT PROPERTY. NO MATERIAL SHALL BE WASTED ON THE AIRPORT SITE UNLESS APPROVED BY THE RPR. WASTE AND DISPOSAL AREAS SHALL BE SEEDED AND RESTORED IN A SMOOTH, GRADED, AND DRAINABLE CONDITION. BORROW AREAS, IF REQUIRED, SHALL BE LOCATED AS SHOWN ON THE PLANS AND SHALL ALSO BE RESTORED IN A SMOOTH, GRADED AND DRAINABLE CONDITION.
3. **CONTRACTOR UTILITIES:** STAGING AREAS DO NOT HAVE UTILITIES. ANY UTILITIES REQUIRED BY THE CONTRACTOR SHALL BE COORDINATED WITH THE RESPECTIVE UTILITY COMPANIES AND SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.  
  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR TEMPORARY RESTROOM FACILITIES FOR ALL CONTRACTOR, SUBCONTRACTOR AND INSPECTION PERSONNEL. AT NO TIME WILL THE CONTRACTOR BE ALLOWED TO USE AIRPORT OR TENANT RESTROOM FACILITIES. TEMPORARY RESTROOM FACILITIES SHALL BE LOCATED IN THE CONTRACTOR STAGING AREA OR IN A LOCATION AS APPROVED BY THE RPR.
4. **PROTECTION AND REPAIR OF DAMAGE TO EXISTING UTILITIES:** LOCATION OF EXISTING AIRFIELD UTILITIES SHALL BE FLAGGED BY THE CONTRACTOR THROUGH COORDINATION WITH THE RPR. THE FLAGS SHALL BE PROTECTED AND MAINTAINED BY THE CONTRACTOR AT ALL TIMES. IF FLAGS ARE LOST OR REMOVED BY THE CONTRACTOR, THEY SHALL BE RE-FLAGGED AT THE CONTRACTOR'S EXPENSE. ALL UNDERGROUND CABLES SHALL BE PROTECTED AND DAMAGES REPAIRED EXPEDITIOUSLY AT THE CONTRACTOR'S EXPENSE WITH NO ADDITIONAL COST TO THE OWNER.
5. **CONSTRUCTION LIMITS:** ALL CONTRACTOR VEHICLES AND TRAFFIC SHALL REMAIN WITHIN THE CONFINES OF THE DESIGNATED CONSTRUCTION LIMITS. ABSOLUTELY NO CONTRACTOR VEHICLES NOR CONSTRUCTION EQUIPMENT WILL BE ALLOWED ON ANY ACTIVE AIRFIELD OPERATIONS AREA.
6. **PERMITS:** IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PREPARE, OBTAIN, AND PAY FOR ALL APPLICABLE PERMITS FOR CONSTRUCTION AND EQUIPMENT. THIS SHALL INCLUDE ALL COSTS RELATED TO PERMITS REQUIRED FOR SOIL EROSION AND SEDIMENTATION CONTROL, NPDES, DEMOLITION, ETC. ALL PERMITTING FEES SHALL BE INCLUDED IN THE PERMITTING FEE ITEM.
7. **COORDINATION OF CONSTRUCTION ACTIVITIES:** THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING CONSTANT COORDINATION BETWEEN THE CONTRACTOR, SUBCONTRACTORS, AIRPORT MANAGEMENT AND RPR. ALL CONSTRUCTION ACTIVITIES PLANNED BY THE CONTRACTOR SHALL BE REVIEWED BY THE AIRPORT AND RPR.
8. **INTER-PROJECT COORDINATION:** CONSTRUCTION OF THE NEW TERMINAL FACILITY (BID PACKAGE 1) WILL BEGIN IN THE FALL OF YEAR 2023. CONSTRUCTION OF THE ASSOCIATED PARKING LOT (BID PACKAGE 2) WILL BEGIN IN THE SPRING OF 2024. IT IS EXPECTED THAT BOTH PROJECTS WILL BE COMPLETED AT APPROXIMATELY THE SAME TIME.  
  
THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH OTHER SUBCONTRACTORS PERFORMING WORK ON AIRPORT PROPERTY AND ACCOMMODATING ACCESS TO ALL OTHER PROJECTS FOR THE DURATION OF THE PROJECT.
9. **CONTRACTOR STAGING/PARKING AREA:** THE STAGING AND PARKING AREA IS A LOCATION THAT HAS BEEN PROVIDED BY THE AIRPORT FOR THE PURPOSE OF MATERIAL STORAGE AND CONTRACTOR PARKING. THE STAGING AREA IS CURRENTLY A GRASSY AREA THAT MAY NOT SUPPORT HEAVY EQUIPMENT OR MATERIALS. IF THE CONTRACTOR ELECTS TO IMPROVE THE STAGING AREA, (E.G. STRIPPING THE TOPSOIL AND REPLACING WITH A SUITABLE AGGREGATE BASE) THE CONTRACTOR MUST RESTORE THE AREA TO ITS ORIGINAL CONDITION AT THE END OF THE PROJECT AT NO ADDITIONAL COST TO THE OWNER. DEBRIS, MUD, AND OTHER FOD MAY NOT BE TRACKED FROM THE STAGING AREA AROUND THE PROJECT SITE. THE CONTRACTOR MUST ALSO PROVIDE DRAINAGE IMPROVEMENTS (CULVERTS OR OTHERWISE) TO MAINTAIN DRAINAGE OF THE AREA DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE OWNER.



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**PROJECT TITLE:**  
CONSTRUCT TERMINAL BUILDING

**PROJECT ADDRESS:**  
1727 AIRPORT ROAD  
HILLSDALE, MI 49242

REVISIONS

NO.	DESCRIPTION	DATE
4	Bid Pack 1, Addendum 1	June 21, 2023
3	BidPak1	June 1, 2023
2	MDOT 90% Review	May 30, 2023
1	50% Design Documents	April 25, 2023

DATE ISSUED: 06/21/2023

REVIEWED BY:

DRAWN BY:

DESIGNED BY:

RS&H PROJECT NO.: 2010-0080-000

AIP GRANT NO.: 3-26-SBGP-1xx-2023

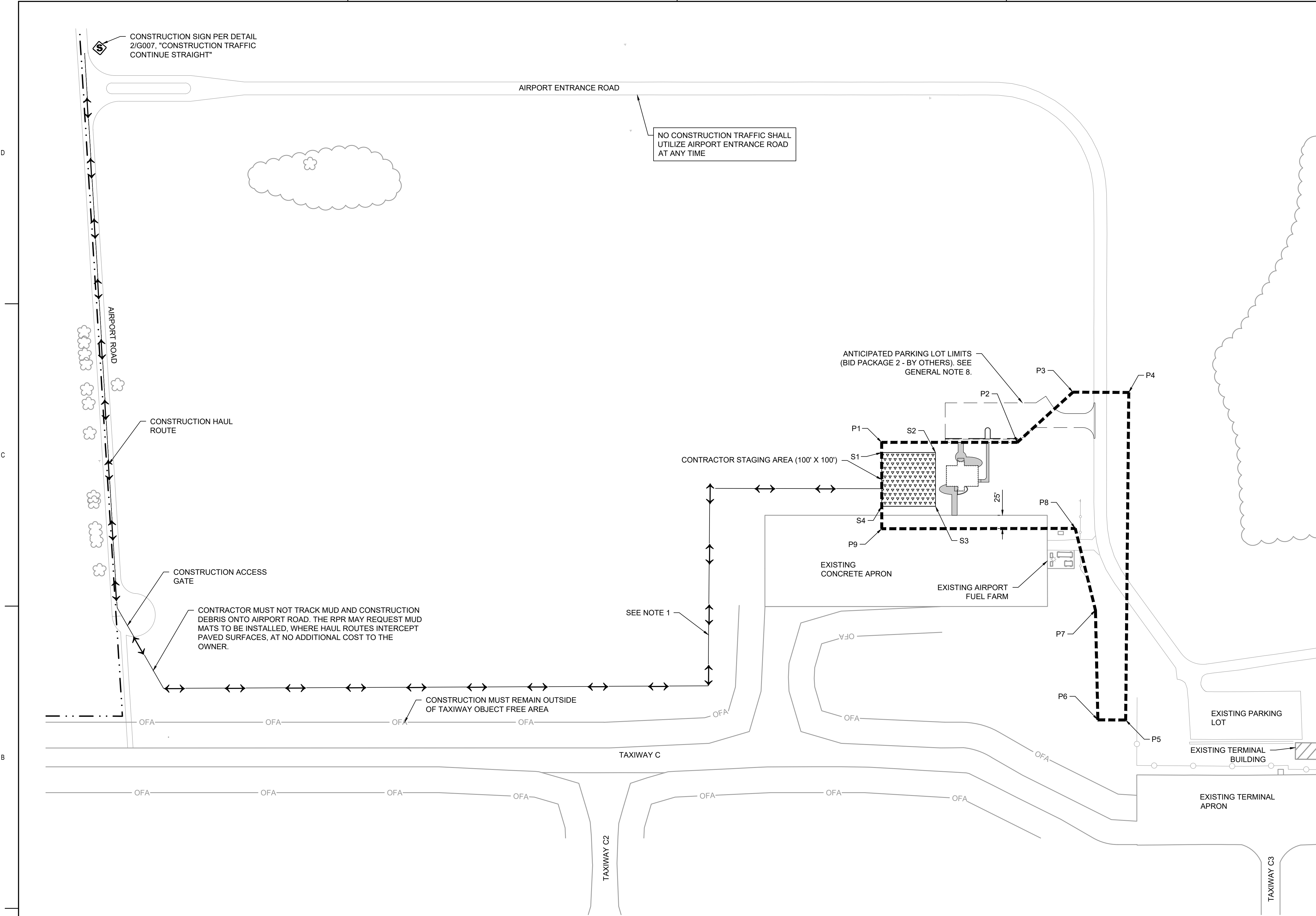
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SEAL:

**SHEET TITLE:**  
CONTRACT LAYOUT PLAN

**SHEET ID:**  
G005

**PROJECT STATUS:**  
BID PACK 1, ADDENDUM 1

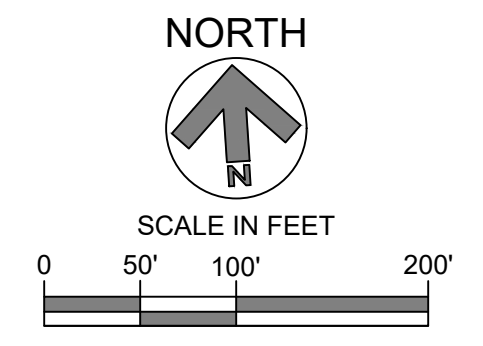


**PROJECT LIMITS - COORDINATE TABLE**

POINT	NORTHING	EASTING	LATITUDE	LONGITUDE
P1	154621.30	13063219.57	N041° 55' 26.60"	W084° 35' 15.52"
P9	154461.01	13063209.32	N041° 55' 25.02"	W084° 35' 15.65"
P2	154605.13	13063471.16	N041° 55' 26.45"	W084° 35' 12.19"
P3	154691.76	13063580.67	N041° 55' 27.31"	W084° 35' 10.74"
P4	154684.48	13063684.14	N041° 55' 27.24"	W084° 35' 09.37"
P6	154080.39	13063587.74	N041° 55' 21.27"	W084° 35' 10.63"
P7	154284.41	13063596.29	N041° 55' 23.29"	W084° 35' 10.52"
P8	154438.44	13063568.59	N041° 55' 24.81"	W084° 35' 10.89"
P5	154076.75	13063639.30	N041° 55' 21.24"	W084° 35' 09.95"

**STAGING AREA - COORDINATE TABLE**

POINT	NORTHING	EASTING	LATITUDE	LONGITUDE
S1	154602.41	13063218.38	N041° 55' 26.42"	W084° 35' 15.53"
S2	154596.00	13063318.18	N041° 55' 26.36"	W084° 35' 14.21"
S3	154496.20	13063311.76	N041° 55' 25.37"	W084° 35' 14.29"
S4	154502.62	13063211.97	N041° 55' 25.43"	W084° 35' 15.61"



REVISIONS

NO.	DESCRIPTION	DATE
4	Bid Pack 1, Addendum 1	June 21, 2023
3	BidPak1	June 1, 2023
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1	50% Design Documents	April 25, 2023

DATE ISSUED: 06/21/2023

REVIEWED BY:

DRAWN BY:

DESIGNED BY:

RS&H PROJECT NO.:

2010-0080-000

AIP GRANT NO.:

3-26-SBGP-1xx-2023

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SEAL:

SHEET TITLE:

OVERALL  
SAFETY AND  
PHASING PLAN

SHEET ID:

G006

PROJECT STATUS:

BID PACK 1, ADDENDUM 1

PHASING PLAN LEGEND AND SHEET NOTES

**PHASING PLAN LEGEND**

- PHASE 1 LIMITS
- LOW PROFILE BARRICADE (PHASE AS NOTED)
- CONTRACTOR STAGING AND PARKING AREA
- PROPOSED TERMINAL FACILITY
- PROPOSED CONCRETE SIDEWALK
- PROPOSED GAS LINE
- PROPOSED UNDERGROUND ELECTRIC CONDUIT AND CABLE
- PROPOSED ELECTRICAL MANHOLE
- PROPOSED COMMUNICATION CONDUIT AND CABLE
- PROPOSED COMMUNICATION JUNCTION BOX
- EXISTING FENCE
- TAXIWAY OBJECT FREE AREA

GENERAL SHEET NOTES

PHASING NOTES:

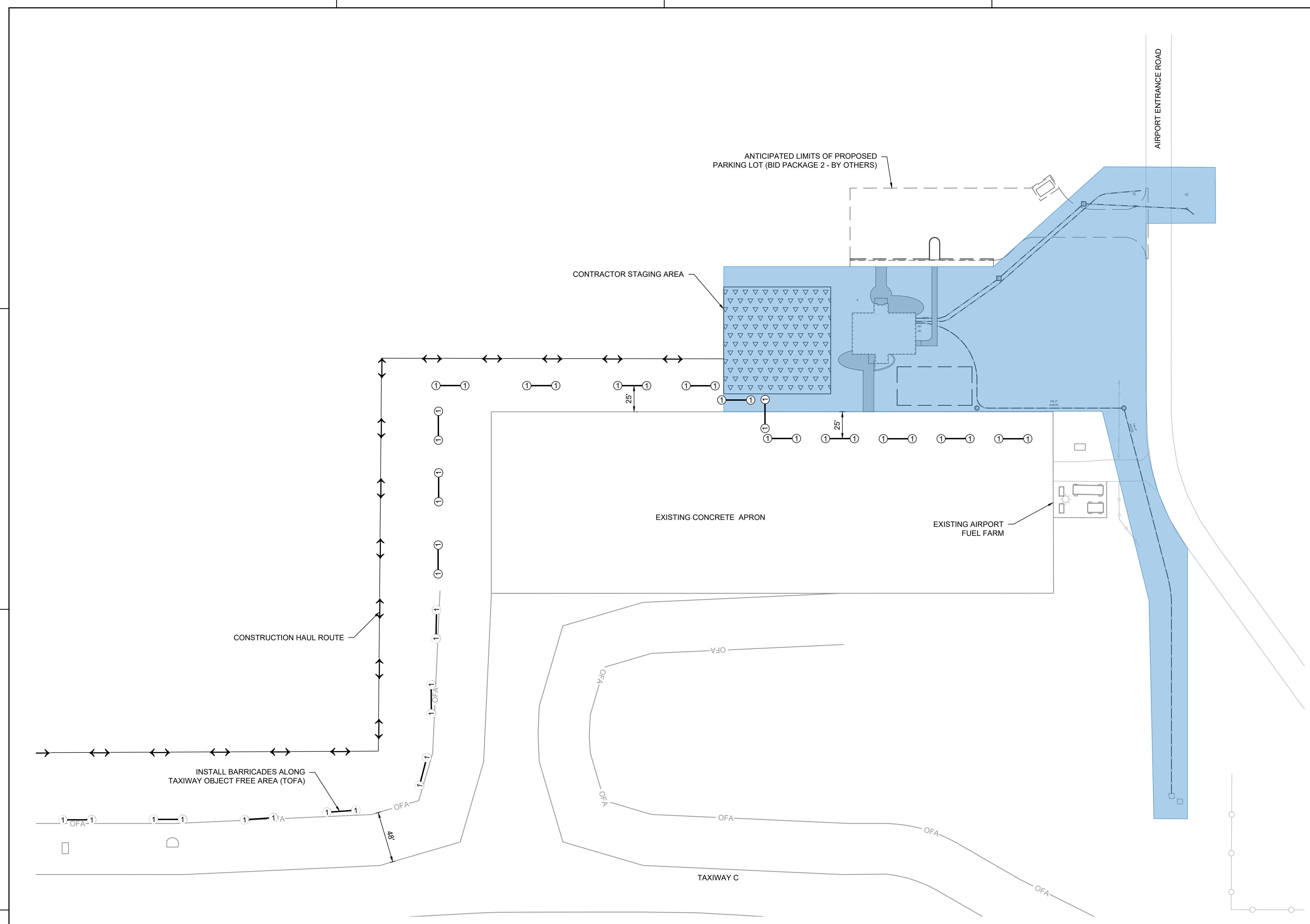
- THE CONTRACTOR SHALL BE GIVEN THE SPECIFIC NUMBER OF DAYS TO COMPLETE THE WORK AS SHOWN. LIQUIDATED DAMAGES SHALL BE ASSESSED AFTER THE CONTRACT TIME HAS EXPIRED UNLESS THE CONTRACTOR CAN SHOW JUST CAUSE FOR DELAYS. PER THE GENERAL CONTRACT PROVISIONS. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE JUSTIFICATION FOR WAIVING ANY LIQUIDATED DAMAGE CHARGED.
- THE CONTRACTOR SHALL HAVE AN ENGINEER-APPROVED VACUUM TRUCK ON SITE AS NECESSARY. THE VACUUM TRUCK SHALL SWEEP AT THE END OF THE PROJECT OR AS NECESSARY TO REMOVE ANY FOREIGN OBJECTS DEBRIS (FOD) DEPOSITED BY AUTOMOBILE OR CONSTRUCTION TRAFFIC TO THE SATISFACTION OF THE ENGINEER OR AIRPORT REPRESENTATIVE. IT IS IMPERATIVE THAT NO DAMAGE BE DONE TO AN AIRCRAFT DUE TO FOD. ANY DAMAGE DONE TO AIRCRAFT ATTRIBUTABLE TO FOD DAMAGE RESULTING FROM CONSTRUCTION ACTIVITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE WITH NO REIMBURSEMENT FROM THE OWNER OR ENGINEER.

CRANE OPERATION NOTES:

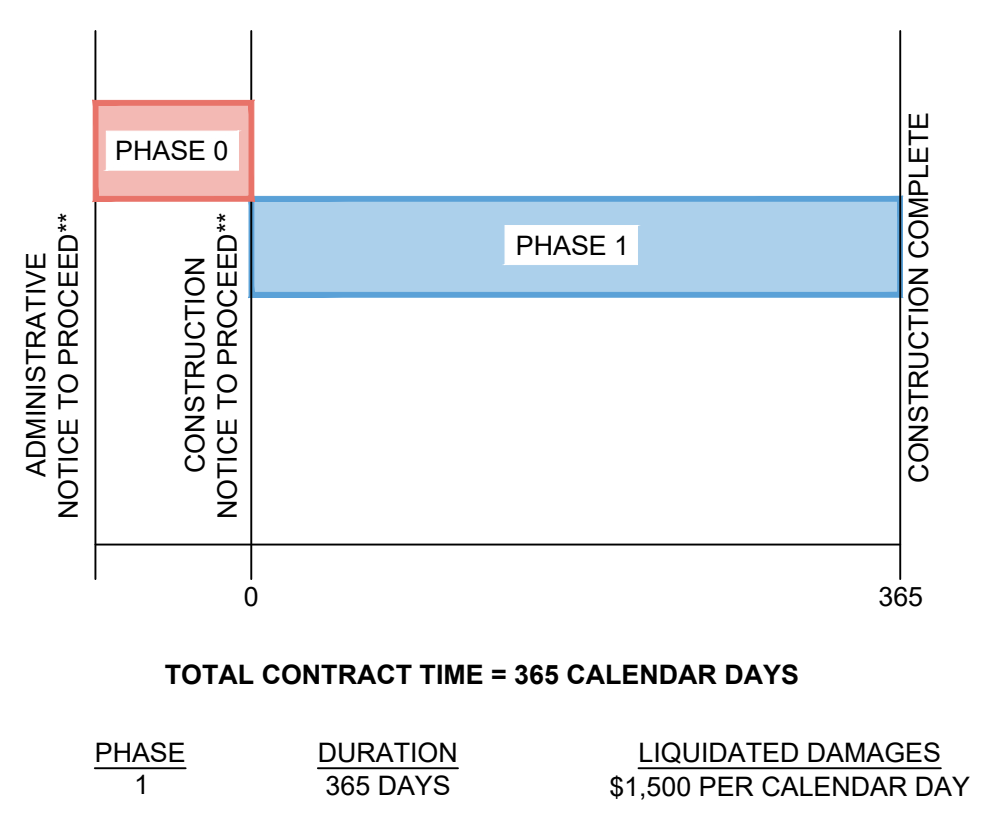
- CONSTRUCTION CRANE(S) MUST BE PROMINENTLY MARKED WITH A CONSTRUCTION SAFETY FLAG MOUNTED AT THE HIGHEST POINT OF THE CRANE AND INCLUDE A FLASHING RED LIGHT DURING PERIODS OF LOW VISIBILITY AND/OR AT THE DISCRETION OF THE AIRPORT.
- CONTRACTOR MUST PROVIDE THE OWNER AT LEAST 48-HOURS NOTICE PRIOR TO OPERATING ANY CRANE ON AIRPORT PROPERTY. THE NOTICE MUST INCLUDE LOCATIONS OF CRANE(S) AND MAXIMUM INTENDED CRANE BOOM HEIGHT.
- THE CONTRACTOR MUST LOWER THE CRANE(S) AT THE END OF EACH WORK DAY AND MAY NOT OPERATE CRANE(S) BETWEEN SUNSET AND SUNRISE UNLESS LIGHTED ACCORDING TO NOTE 1 AND APPROVED BY THE AIRPORT.
- CRANE BOOM HEIGHT MUST NOT EXCEED 100' WITHOUT WRITTEN AIRPORT CONSENT.

BARRICADE PLACEMENT NOTES:

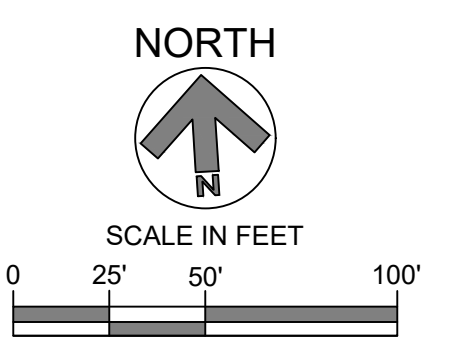
- BARRICADES MUST BE INSTALLED AT THE LOCATIONS SHOWN ON THE PLAN THROUGH COORDINATION WITH AIRPORT OPERATIONS. THE PHASE DURING WHICH EACH BARRICADE IS TO REMAIN IN PLACE IS INDICATED BY THE BARRICADE LABELS. BARRICADES MUST BE INSTALLED AT THE BEGINNING OF EACH PHASE AND MUST REMAIN IN PLACE THROUGHOUT THE PHASE. THE CONTRACTOR SHALL NOT MOVE ANY BARRICADES WITHOUT PRIOR COORDINATION WITH AIRPORT OPERATIONS. AT NO TIME DURING CONSTRUCTION WILL THE CONTRACTOR GO BEYOND THE BARRICADES OR PHASING LIMITS OF CONSTRUCTION UNLESS ESCORTED BY AIRPORT PERSONNEL.
- THE CONTRACTOR WILL BE RESPONSIBLE FOR FURNISHING ALL BARRICADES. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE MAINTENANCE AND UPKEEP OF ALL BARRICADES THROUGHOUT THE LIFE OF THE PROJECT.
- BARRICADES ON PAVEMENT SURFACES MUST BE INTERLOCKED. BARRICADES IN TURF MUST BE SPACED NO MORE THAN 50 FEET APART. ALL BARRICADES MUST BE EQUIPPED WITH A FLASHING RED LIGHT AND SHALL BE WEIGHTED TO PREVENT MOVEMENT FROM HIGH WINDS AND JET OR PROP BLAST.
- ALL BARRICADES MUST BE CHECKED ON A DAILY BASIS AND MUST BE MAINTAINED AS NEEDED OR AS DIRECTED BY THE RPR OR AIRPORT AUTHORITY.
- ALL BARRICADES MUST CONFORM TO THE LOW-PROFILE BARRICADE DETAIL 3/G007



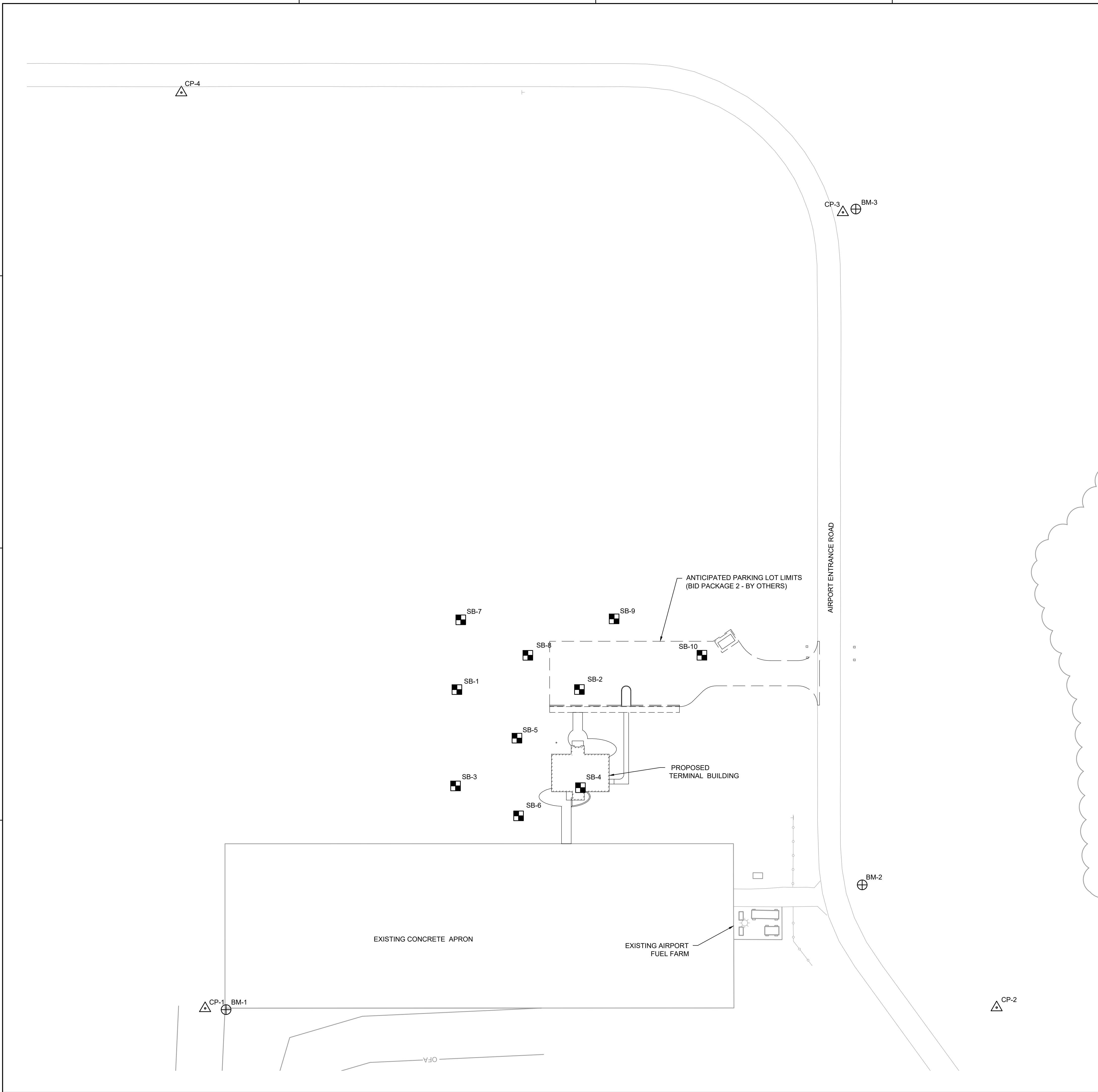
**SCHEMATIC CONSTRUCTION SEQUENCING:**



\*\*THE CONTRACTOR WILL BE ISSUED AN ADMINISTRATIVE NOTICE TO PROCEED FOLLOWING AN EXECUTED CONSTRUCTION CONTRACT. THE CONTRACTOR MAY ORDER AND PROCURE MATERIALS NEEDED FOR THE PROJECT AHEAD OF THE CONSTRUCTION NOTICE TO PROCEED. CONSTRUCTION CONTRACT TIME WILL NOT START UNTIL THE CONTRACTOR BEGINS EXCAVATION OF THE SITE.







**SURVEY CONTROL LEGEND AND SHEET NOTES**

**SURVEY CONTROL LEGEND**

- BENCHMARK LOCATION
- CONTROL POINT LOCATION
- SOIL BORE OR PAVEMENT CORE LOCATION

**GENERAL SHEET NOTES**

**GENERAL NOTES:**

- SURVEY INFORMATION PROVIDED BY ALPINE ENGINEERING, INC. IN APRIL 2023
- HORIZONTAL DATUM: NAD83 STATE PLANE COORDINATES, SOUTH ZONE
- VERTICAL DATUM: NAVD88
- UNIT OF MEASUREMENT: INTERNATIONAL FOOT

**RS&H**

436 S. Main St.  
Plymouth, MI 48170  
734-456-7060  
www.rsandh.com



**PROJECT TITLE:**  
CONSTRUCT TERMINAL BUILDING

**PROJECT ADDRESS:**  
1727 AIRPORT ROAD  
HILLSDALE, MI 49242

**REVISIONS**

NO.	DESCRIPTION	DATE
4	Bid Pack 1, Addendum 1	June 21, 2023
3	BidPak1	June, 1 2023
2	MDOT 90% Review	May 30, 2023
1	50% Design Documents	April, 25 2023

**SOIL BORING INFORMATION**

POINT	NORTHING	EASTING
SB-1	154643.40	13063243.37
SB-2	154635.41	13063369.60
SB-3	154544.20	13063235.54
SB-4	154534.08	13063364.17
SB-5	154589.42	13063302.03
SB-6	154509.16	13063298.56
SB-7	154715.07	13063251.94
SB-8	154674.03	13063318.71
SB-9	154705.93	13063410.03
SB-10	154662.65	13063498.11

**CONTROL POINT INFORMATION**

POINT	DESCRIPTION	NORTHING	EASTING	ELEVATION
CP-1	CAPPED IRON BAR	154331.44	13062962.75	1164.490
CP-2	CAPPED IRON BAR	154279.82	13063778.44	1168.880
CP-3	CAPPED IRON BAR	155109.80	13063672.74	1163.570
CP-4	CAPPED IRON BAR	155277.12	13062998.90	1160.720

**BENCHMARK INFORMATION**

POINT	DESCRIPTION	ELEVATION
BM-1	PK NAIL	1165.320
BM-2	SPIKE W/S OF POWERPOLE	1166.640
BM-3	SPIKE W/S OF POWERPOLE	1162.250

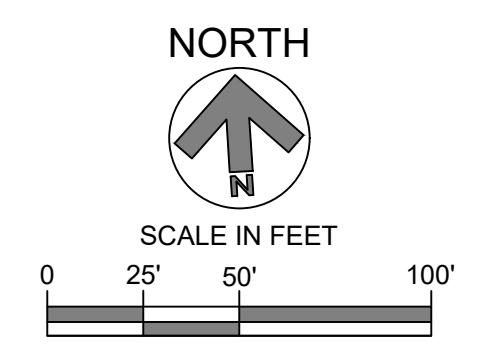
DATE ISSUED: 06/21/2023  
REVIEWED BY:  
DRAWN BY:  
DESIGNED BY:  
RS&H PROJECT NO.:  
**2010-0080-000**  
AIP GRANT NO.:  
**3-26-SBGP-1xx-2023**

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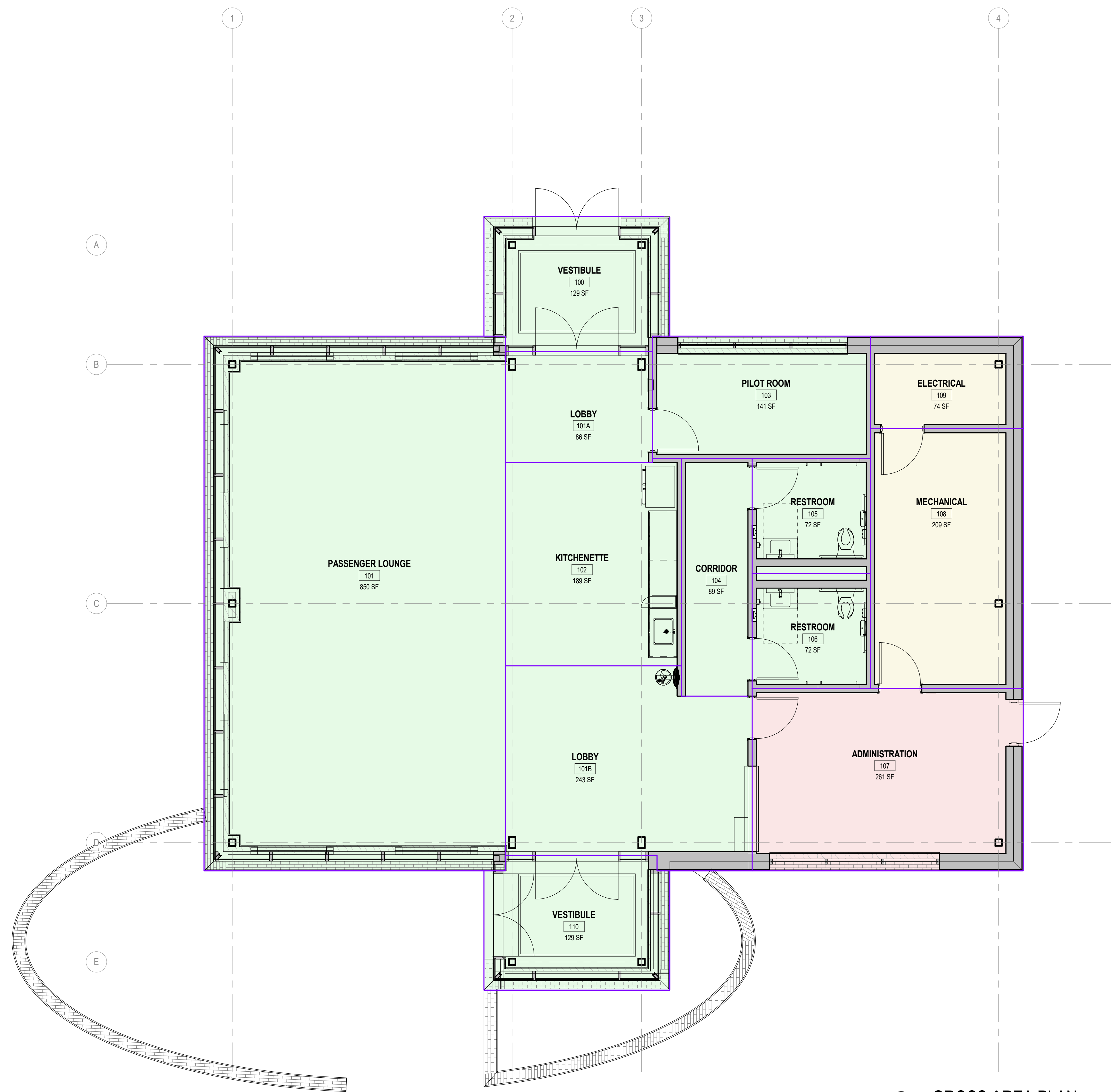
**SHEET TITLE:**  
SOIL BORING  
AND SURVEY  
CONTROL  
LAYOUT PLAN

**SHEET ID:**  
**G008**

**PROJECT STATUS:**  
BID PACK 1, ADDENDUM 1



ROOM NUMBER	NAME	AREA
100	VESTIBULE	129 SF
101	PASSENGER LOUNGE	850 SF
101A	LOBBY	86 SF
101B	LOBBY	243 SF
102	KITCHENETTE	189 SF
103	PILOT ROOM	141 SF
104	CORRIDOR	89 SF
105	RESTROOM	72 SF
106	RESTROOM	72 SF
107	ADMINISTRATION	261 SF
108	MECHANICAL	209 SF
109	ELECTRICAL	74 SF
110	VESTIBULE	129 SF
		2545 SF



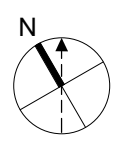
436 S. Main St.  
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PROJECT TITLE:  
CONSTRUCT TERMINAL BUILDING

PROJECT ADDRESS:  
1727 AIRPORT RD.  
HILLSDALE, MI 49242



REVISIONS

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3	BidPak1	June 1, 2023
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DATE ISSUED: 06/21/2023  
REVIEWED BY: SAG  
DRAWN BY: CJS  
DESIGNED BY: AML

RS&H PROJECT NO.:  
2010-0080-000  
AIP GRANT NO.:  
3-26-SBGP-1XX-2023

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SEAL:

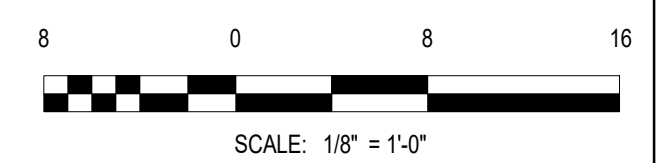
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GROSS AREA PLAN

SHEET ID:

G101

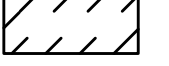

PROJECT STATUS:  
BID PACK 1, ADDENDUM 1

1 GROSS AREA PLAN  
SCALE: 1/4" = 1'-0"



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**SITE PLAN LEGEND AND SHEET NOTES**

- SITE PLAN LEGEND**
-  PROPOSED TERMINAL BUILDING
  -  PROPOSED CONCRETE SIDEWALK

- GENERAL SHEET NOTES**
- GENERAL**
- CONSTRUCTION OF THE PROPOSED PARKING LOT WILL BE PERFORMED BY A SEPARATE CONTRACTOR. EARTHWORK FOR BOTH PROJECTS IS PLANNED TO OCCUR AT APPROXIMATELY THE SAME TIME.
  - THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF PROPOSED SITE UTILITIES AND EARTHWORK REQUIRED OF THIS PROJECT WITH THE CONTRACTOR IN RESPONSIBLE CHARGE OF CONSTRUCTING THE PROPOSED PARKING LOT.

**RS&H**

436 S. Main St.  
Plymouth, MI 48170  
734-456-7060  
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**PROJECT TITLE:**  
CONSTRUCT TERMINAL BUILDING

**PROJECT ADDRESS:**  
1727 AIRPORT ROAD  
HILLSDALE, MI 49242

**REVISIONS**

NO.	DESCRIPTION	DATE
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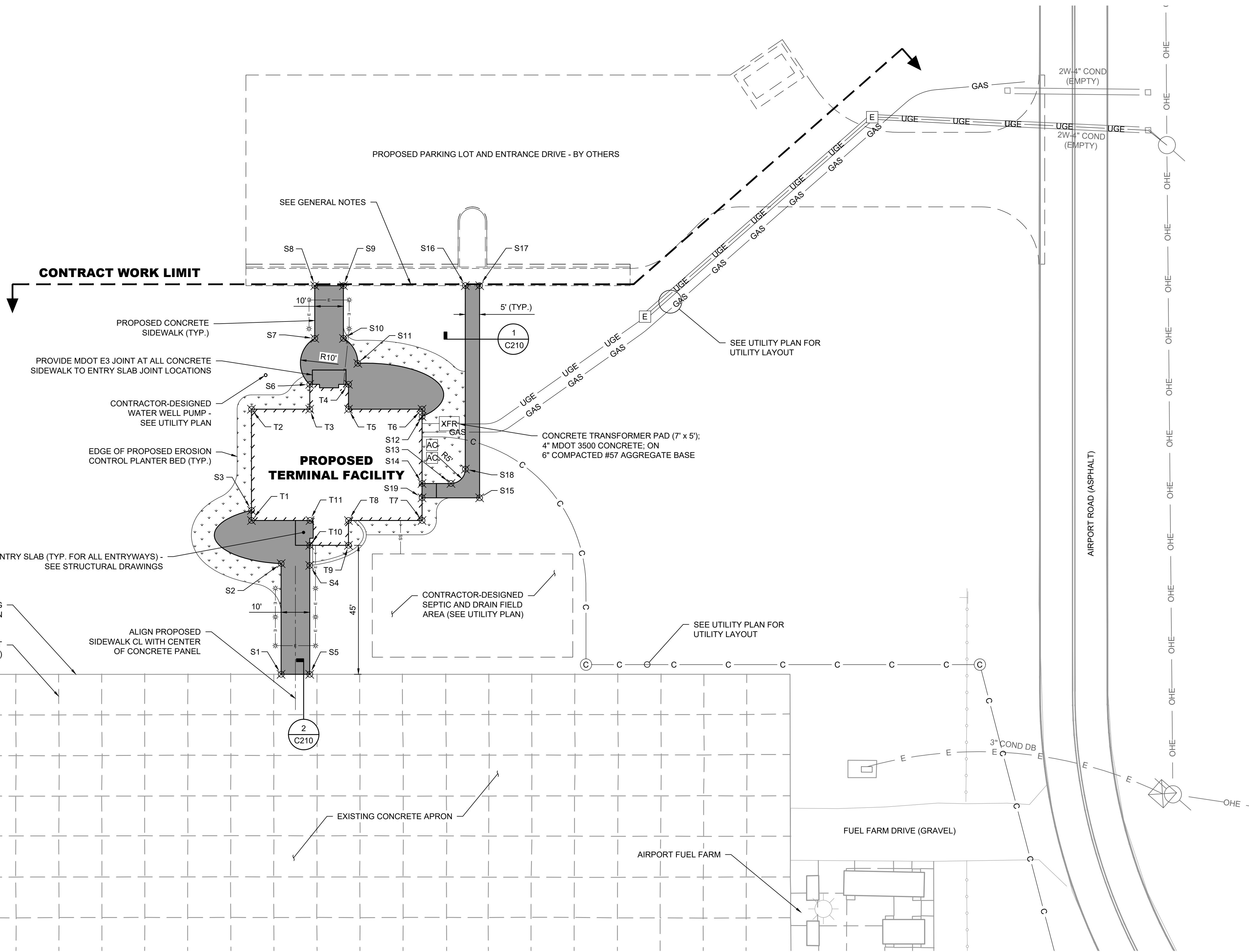
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**SEAL:**

**SHEET TITLE:**  
SITE PLAN

**SHEET ID:**  
C201

**PROJECT STATUS:**  
BID PACK 1, ADDENDUM 1



**SIDEWALK COORDINATE TABLE**

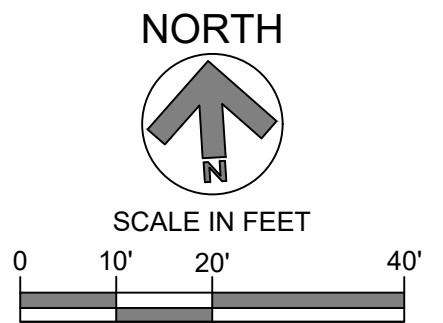
POINT	NORTHING	EASTING
S1	154477.61	13063340.96
S2	154516.17	13063343.47
S3	154535.36	13063334.32
S4	154514.88	13063353.38
S5	154476.97	13063350.94
S6	154577.93	13063357.43
S7	154593.82	13063360.20
S8	154612.19	13063361.39
S9	154611.54	13063371.36
S10	154593.18	13063370.18

**SIDEWALK COORDINATE TABLE**

POINT	NORTHING	EASTING
S11	154584.17	13063374.62
S12	154564.21	13063395.80
S13	154540.26	13063404.36
S14	154540.91	13063394.30
S15	154534.63	13063414.02
S16	154608.82	13063413.78
S17	154608.50	13063418.77
S18	154544.93	13063409.67
S19	154535.92	13063393.98

**TERMINAL COORDINATE TABLE**

POINT	NORTHING	EASTING
T1	154531.83	13063334.09
T2	154570.59	13063336.58
T3	154569.28	13063356.88
T4	154577.07	13063370.90
T5	154568.42	13063370.35
T6	154566.77	13063395.96
T7	154528.02	13063393.47
T8	154529.66	13063367.86
T9	154521.01	13063367.30
T10	154521.88	13063353.83
T11	154530.52	13063354.47







**PROJECT TITLE:**  
CONSTRUCT TERMINAL BUILDING

**PROJECT ADDRESS:**  
1727 AIRPORT ROAD  
HILLSDALE, MI 49242

**REVISIONS**

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REVIEWED BY:

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DESIGNED BY:

RS&H PROJECT NO.: 2010-0080-000

AIP GRANT NO.: 3-26-SBGP-1xx-2023

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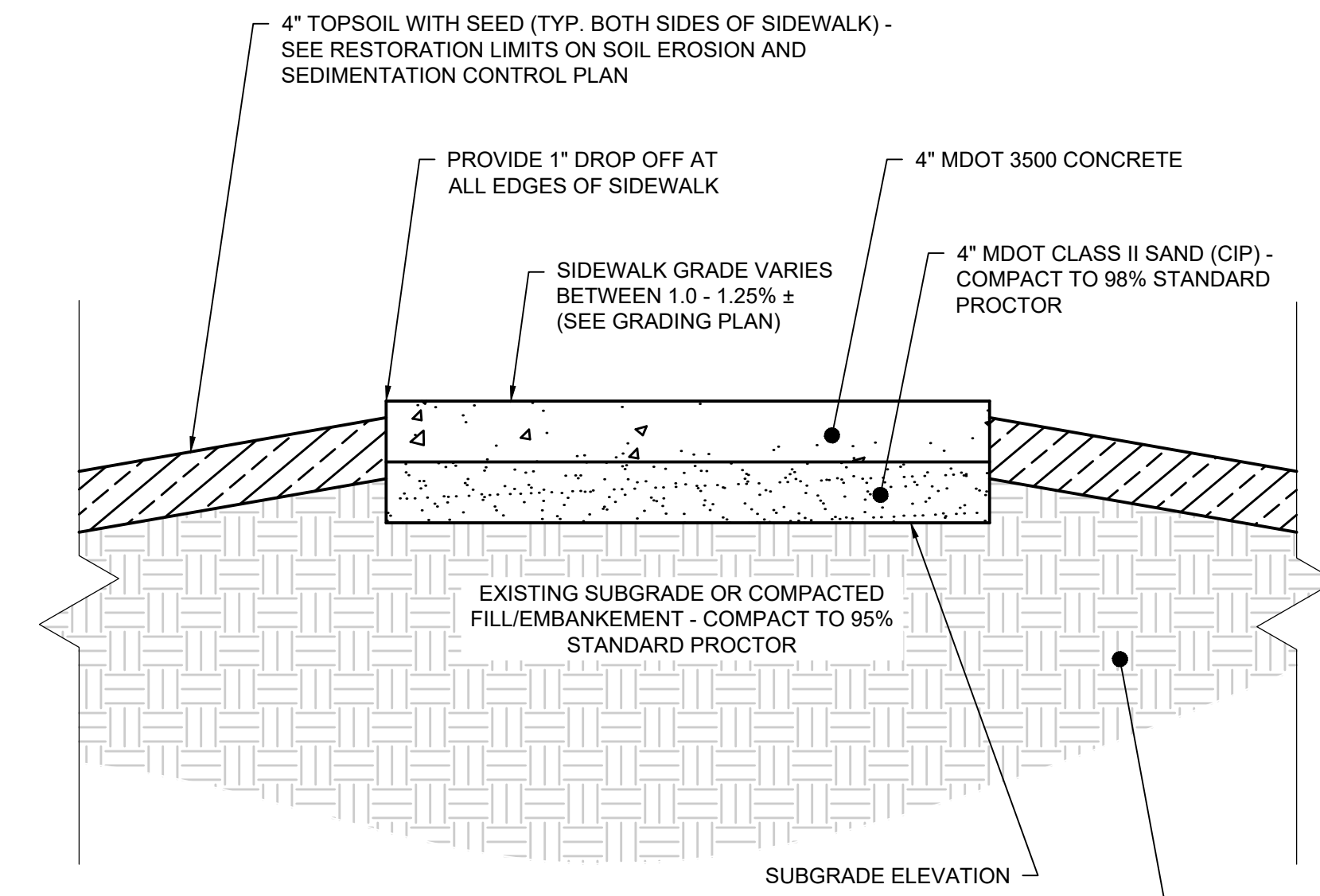
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SHEET TITLE:  
CIVIL DETAILS

SHEET ID:

**C210**

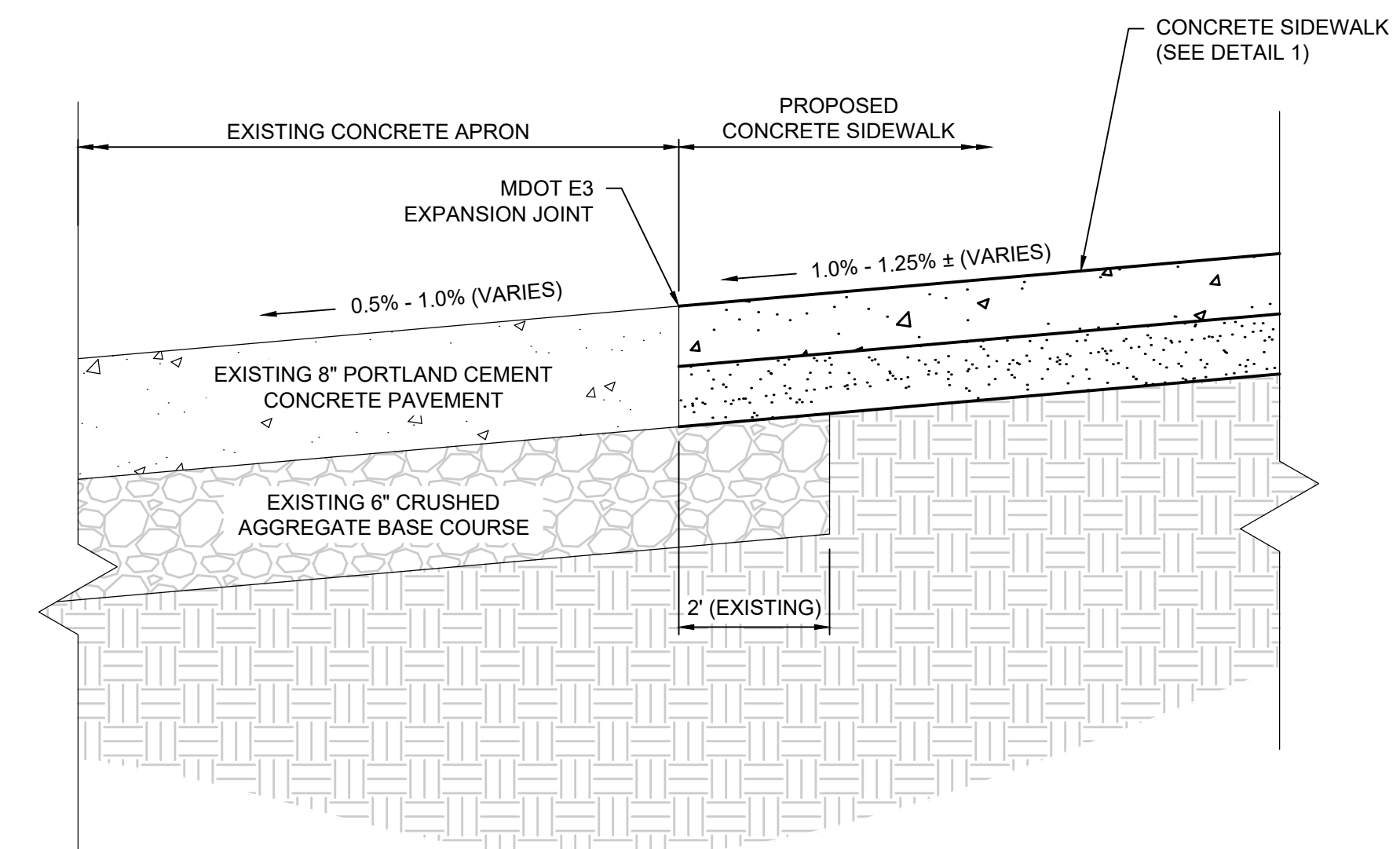
PROJECT STATUS:  
BID PACK 1, ADDENDUM 1



**1**  
C210 **PROPOSED CONCRETE SIDEWALK**  
SCALE: N.T.S.

**NOTES:**

- CONTRACTOR SHALL SUBMIT CONCRETE SIDEWALK MATERIALS AND JOINTING PLAN TO THE ENGINEER FOR APPROVAL.
- SEE GRADING PLAN FOR EMBANKMENT/FILL REQUIREMENTS



**2**  
C210 **CONCRETE SIDEWALK TO CONCRETE APRON - JUNCTURE DETAIL**  
SCALE: N.T.S.



PROJECT TITLE:  
**CONSTRUCT TERMINAL BUILDING**

PROJECT ADDRESS:  
1727 AIRPORT ROAD  
HILLSDALE, MI 49242

REVISIONS

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DESIGNED BY:

RS&H PROJECT NO.:

2010-0080-000

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3-26-SBGP-1xx-2023

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SEAL:

SHEET TITLE:  
**SOIL EROSION AND SEDIMENTATION CONTROL PLAN**

SHEET ID:

**C350**

PROJECT STATUS:  
BID PACK 1, ADDENDUM 1

**GRADING PLAN LEGEND AND SHEET NOTES**

GRADING PLAN LEGEND

- PROPOSED SILT FENCE
- PROPOSED TOPSOIL AND SEEDING LIMITS
- PROPOSED CONCRETE SIDEWALK
- PROPOSED 0.5' CONTOUR
- EXISTING 0.5' CONTOUR
- PROPOSED GAS LINE
- PROPOSED UNDERGROUND ELECTRIC CONDUIT AND CABLE
- PROPOSED UNDERGROUND ELECTRIC DUCT BANK (DIRECT BURIED)
- PROPOSED ELECTRICAL MANHOLE
- PROPOSED COMMUNICATION CONDUIT AND CABLE
- PROPOSED COMMUNICATION JUNCTION BOX
- PROPOSED SANITARY SEWER LATERAL
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING UTILITY POLE
- EXISTING FENCE

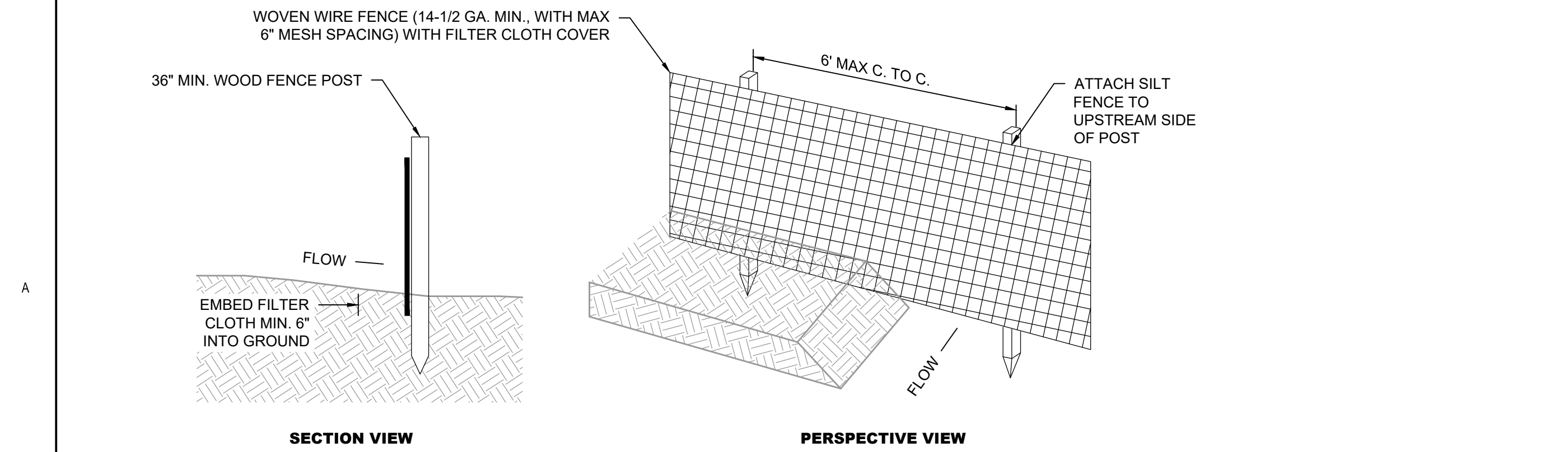
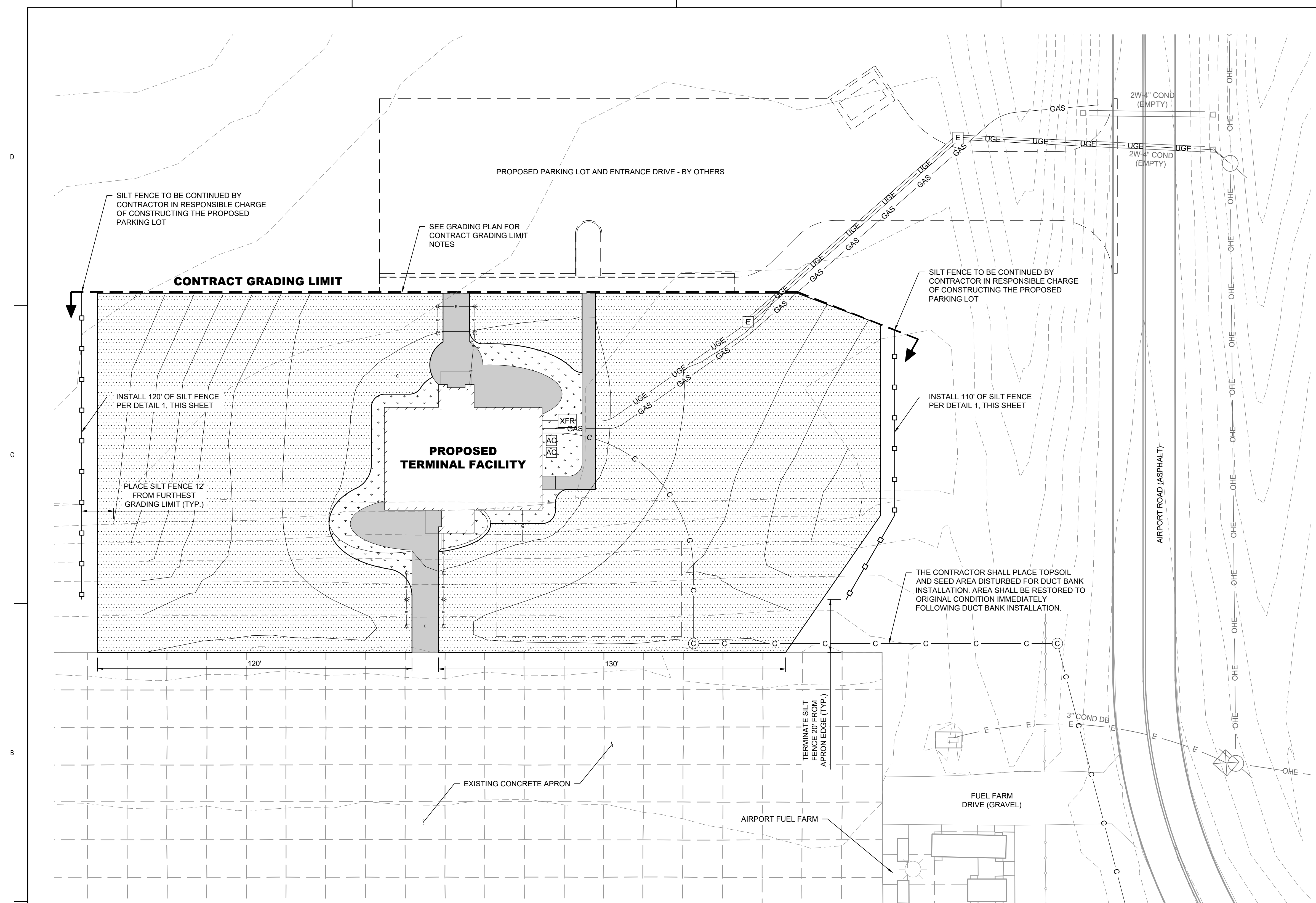
GENERAL SHEET NOTES

SOIL EROSION AND SEDIMENTATION CONTROL:

- COST OF INSTALLATION, REMOVAL AND MAINTENANCE OF PROPOSED SILT FENCE SHALL BE INCLUDED IN THE SEEDING PAY ITEM.
- COORDINATE INSTALLATION OF SILT FENCES WITH CONTRACTOR IN RESPONSIBLE CHARGE OF CONSTRUCTING THE PARKING LOT.
- THE CONTRACTOR MUST CONTROL THE DUST ON SITE FOR THE DURATION OF THE PROJECT, TO THE SATISFACTION OF THE OWNER.

SEEDING/RESTORATION:

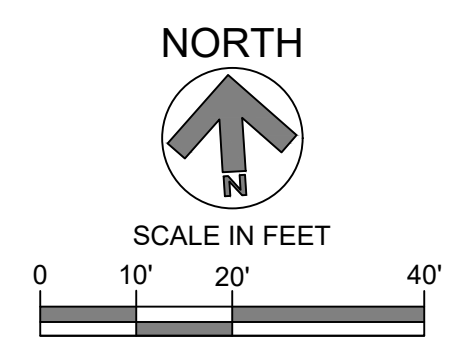
- 4" OF TOPSOIL SHALL BE PLACED AND COMPACTED TO THE PROPOSED GRADE WITHIN THE TOPSOIL AND SEEDING LIMITS. TYPE OF SEED AS WELL AS APPLICATION RATE SHALL CONFORM TO THE APPLICATION CHART PROVIDED.
- ANY DISTURBED AREA WHICH WILL NOT BE PAVED NOR BUILT UPON MUST HAVE AT LEAST 95% VEGETATIVE COVER PRIOR TO FINAL INSPECTION. IF SEEDING OCCURS OUTSIDE THE SEASONAL LIMITATION AS PROVIDED IN THE MDOT STANDARD SPECIFICATIONS, THE CONTRACTOR MUST MAINTAIN THE NEWLY SEEDED AREAS, INCLUDING WATERING, AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL RESTORE ALL HAUL ROUTES AND STAGING/PARKING AREAS TO ORIGINAL CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
- SEED SHALL BE APPLIED USING CONVENTIONAL HYDROSEEDING METHODS.
- NO MILLET GRASS WILL BE ALLOWED IN THE SEED.
- STRAW MATS WILL NOT BE ALLOWED ON THE AIRPORT PROPERTY.

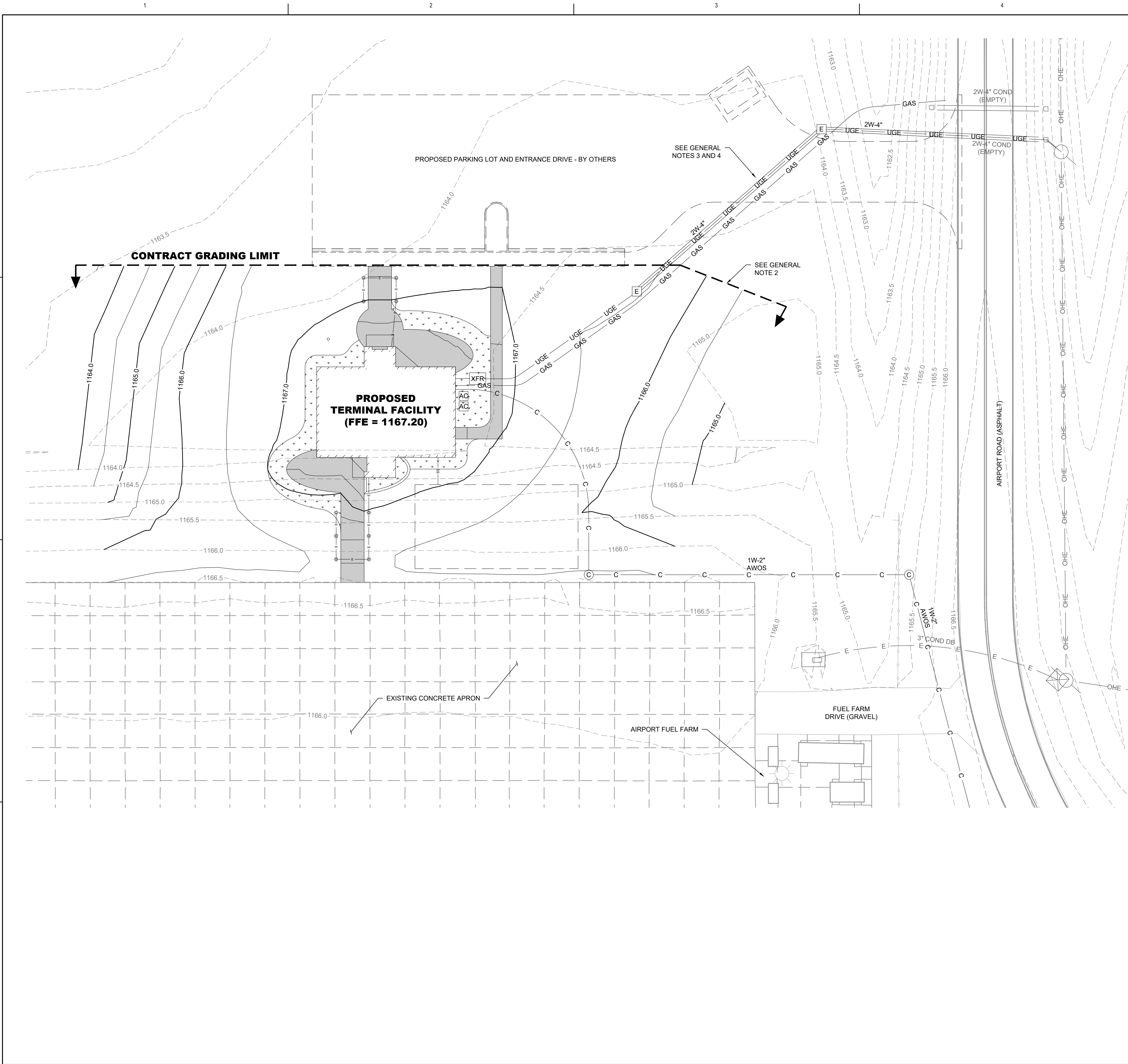


Seed	Minimum Seed Purity (Percent)	Minimum Germination (Percent)	Rate of Application lb/acre (or lb/1,000 S.F.)
Red Fescue	98	85	95
Perennial Rye	98	90	5

**1 SILT FENCE**  
SCALE: N.T.S.

**2 GRASS SEED APPLICATION CHART**  
SCALE: N.T.S.





**GRADING PLAN LEGEND AND SHEET NOTES**

**GRADING PLAN LEGEND**

	PROPOSED TERMINAL FACILITY
	PROPOSED CONCRETE SIDEWALK
	PROPOSED 0.5' CONTOUR
	PROPOSED 0.1' CONTOUR (PAVEMENT) / 0.5' CONTOUR (TURF)
	EXISTING 1' CONTOUR
	EXISTING 0.5' CONTOUR
	PROPOSED GAS LINE
	PROPOSED UNDERGROUND ELECTRIC CONDUIT AND CABLE
	PROPOSED UNDERGROUND ELECTRIC DUCT BANK (DIRECT BURIED)
	PROPOSED ELECTRICAL MANHOLE
	PROPOSED COMMUNICATION CONDUIT AND CABLE
	PROPOSED COMMUNICATION JUNCTION BOX
	PROPOSED SANITARY SEWER LATERAL
	EXISTING OVERHEAD ELECTRIC LINE
	EXISTING UTILITY POLE
	EXISTING FENCE

**GENERAL SHEET NOTES**

- GENERAL**
- THE PROPOSED FINISH FLOOR ELEVATION (FFE) OF THE NEW TERMINAL FACILITY IS 1167.20.
  - EARTHWORK AT THE CONTRACT GRADING LIMITS SHALL BE COORDINATED BETWEEN BOTH CONTRACTORS IN RESPONSIBLE CHARGE OF EACH PROJECT. POSITIVE DRAINAGE OF BOTH SITES SHALL BE MAINTAINED AT ALL TIMES.
  - CONTRACTOR-INSTALLED UTILITIES LOCATED OUTSIDE THE CONTRACT GRADING LIMIT MUST BE INSTALLED BY THE CONTRACTOR AND BACKFILLED/COMPACTED TO THE REQUIRED HEIGHT SHOWN IN THE APPLICABLE UTILITY DETAIL. SUBSEQUENT EMBANKMENT BACKFILL AND COMPACTION OF MATERIAL ABOVE THE HEIGHT SHOWN IN THE UTILITY DETAILS SHALL BE THE RESPONSIBILITY OF THE PARKING LOT CONTRACTOR.
  - ELEVATION INFORMATION FOR UTILITIES AND STRUCTURES LOCATED OUTSIDE THE CONTRACT GRADING LIMIT WILL BE PROVIDED TO THE CONTRACTOR AS A FIELD DIRECTIVE BEFORE CONSTRUCTION BEGINS.
- EMBANKMENT/FILL REQUIREMENTS:**
- THE CONTRACT GRADING LIMITS SHALL BE STRIPPED OF ALL TOPSOIL BEFORE ANY EMBANKMENT/FILL IS PLACED.
  - EMBANKMENT/FILL SHALL BE PLACED TO A DEPTH OF 4" BENEATH PROPOSED GRADE IN TURF AREAS AND UP TO PROPOSED SUBGRADE ELEVATION WITHIN SIDEWALK AREAS.
  - EMBANKMENT/FILL MATERIAL SHALL CONSIST OF EXCAVATED MATERIAL FROM ON-SITE (EXCLUDING TOPSOIL) AND AS APPROVED BY THE ENGINEER, OR GRANULAR MATERIAL (MDOT CLASS 2 SAND OR APPROVED EQUAL).
  - MATERIAL GENERATED FROM EXCAVATING THE BUILDING FOUNDATION MAY BE USED AS EMBANKMENT/FILL WITH APPROVAL FROM THE ENGINEER.
  - 4" OF TOPSOIL SHALL BE PLACED ABOVE EMBANKMENT/FILL IN PROPOSED TURF AREAS. TOPSOIL SHALL NOT BE PLACED THICKER THAN 12" IN ANY AREA.

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 436 S. Main St.  
 Plymouth, MI 48170  
 734-456-7060  
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**PROJECT TITLE:**  
 CONSTRUCT TERMINAL BUILDING

**PROJECT ADDRESS:**  
 1727 AIRPORT ROAD  
 HILLSDALE, MI 49242

**REVISIONS**

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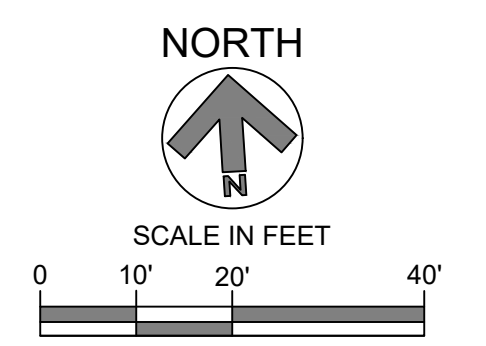
DATE ISSUED: 06/21/2023  
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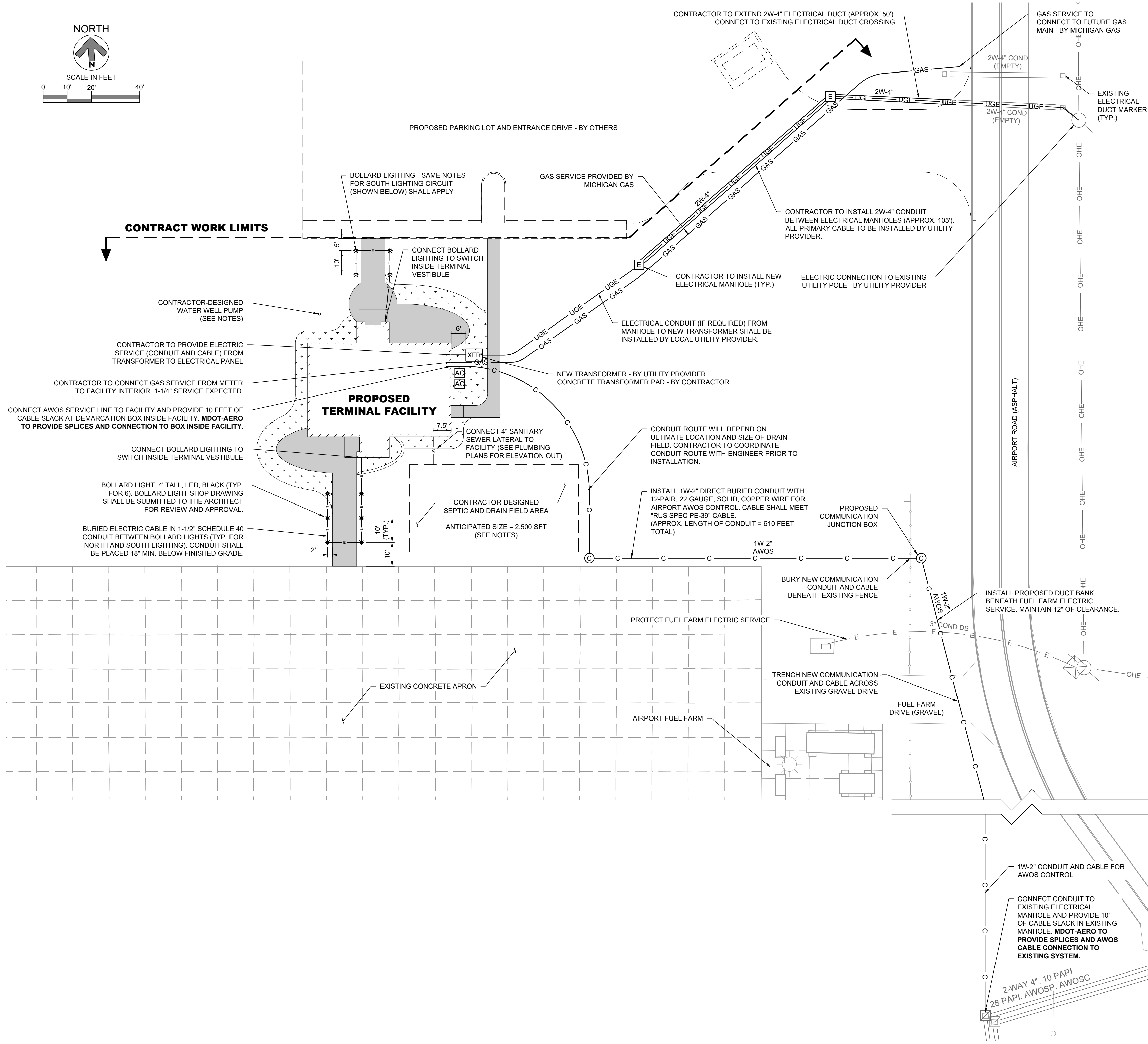
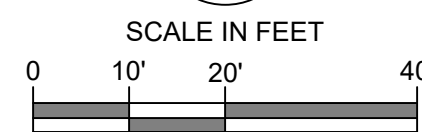
**SHEET TITLE:**  
 GRADING PLAN

**SHEET ID:**  
**C401**

**PROJECT STATUS:**  
 BID PACK 1, ADDENDUM 1



NORTH



UTILITY PLAN LEGEND AND SHEET NOTES

UTILITY PLAN LEGEND

- PROPOSED TERMINAL FACILITY
PROPOSED CONCRETE SIDEWALK
PROPOSED GAS LINE
PROPOSED UNDERGROUND ELECTRIC CONDUIT AND CABLE
PROPOSED UNDERGROUND ELECTRIC DUCT BANK (DIRECT BURIED)
PROPOSED ELECTRICAL HANDHOLE
PROPOSED COMMUNICATION CONDUIT AND CABLE
PROPOSED COMMUNICATION JUNCTION BOX
PROPOSED SANITARY SEWER LATERAL
EXISTING OVERHEAD ELECTRIC CABLE
EXISTING UTILITY POLE
EXISTING FENCE

GENERAL SHEET NOTES

GENERAL

- 1. THE CONTRACTOR MUST VERIFY DEPTHS AND LOCATIONS OF EXISTING UTILITIES BEFORE COMMENCING CONSTRUCTION...
2. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE INSTALLATION OF PROPOSED UTILITIES WITH UTILITIES TO BE INSTALLED BY LOCAL UTILITY PROVIDERS.
3. CONTRACTOR IS RESPONSIBLE FOR COORDINATING ALL UTILITY CONNECTIONS SHOW ON THIS PLAN WITH THE MECHANICAL AND PLUMBING PLANS.
4. MDOT AERONAUTICS WILL RELOCATE THE EXISTING AWOS EQUIPMENT FROM THE OLD TERMINAL FACILITY TO THE NEW TERMINAL FACILITY AND PROVIDE CONNECTIONS INSIDE THE NEW TERMINAL.

SEPTIC AND DRAIN FIELD

- 1. THE CONTRACTOR MUST HIRE A LICENSED SEPTIC AND DRAIN FIELD FIRM TO DESIGN AND SIZE SEPTIC TANK(S) AND DRAIN FIELD FOR THE NEW TERMINAL BUILDING...
2. SEPTIC AND DRAIN FIELD DESIGN MUST MEET LOCAL CODE REQUIREMENTS AND BE LOCATED WITHIN THE GENERAL VICINITY WHERE SHOWN IN PLANS...
3. ALL COSTS ASSOCIATED WITH THE DESIGN, INSTALLATION, PERMITTING AND ADDITIONAL SOIL (PERCOLATION) TESTING REQUIRED FOR THE PROPOSED SEPTIC TANK AND DRAIN FIELD SHALL BE INCLUDED IN THE COST OF THE COMMERCIAL SEPTIC AND DRAIN FIELD PAY ITEM.
4. SEPTIC AND DRAIN FIELD PAY ITEM WILL BE PAID FOR AT THE CONTRACT UNIT PRICE BY AREA DEPTH (IN SQUARE FEET) OF THE DRAINFIELD AREA REQUIRED...
5. SEPTIC AND DRAINFIELD SYSTEM SHALL BE SIZED TO MEET OR EXCEED AN EFFLUENT RATE OF = 24.8 FU (TOTAL). ANTICIPATED AREA OF DRAIN FIELD = 2,500 SFT

WATER WELL AND PUMP

- 1. THE CONTRACTOR MUST HIRE A LICENSED WATER WELL DRILLER AND/OR FIRM TO DESIGN AND SIZE THE WATER WELL AND PRE-TANK NEEDED FOR NEW TERMINAL FACILITY...
2. WATER WELL, PUMP AND PRE-TANK SYSTEM MUST MEET LOCAL CODE REQUIREMENTS.
3. ALL COSTS ASSOCIATED WITH THE DESIGN, INSTALLATION, PERMITTING AND ADDITIONAL SOIL (PERCOLATION) TESTING REQUIRED TO DESIGN AND INSTALL THE PROPOSED WELL AND PRE-TANK SYSTEM(S) SHALL BE INCLUDED IN THE COMMERCIAL WELL AND PUMP PAY ITEM.
4. WELL AND PUMP PAY ITEM WILL BE PAID FOR AT THE CONTRACT UNIT PRICE BY THE DEPTH (IN FEET) OF THE WELL REQUIRED...
5. WATER WELL AND PUMP MUST BE SIZED TO MEET OR EXCEED THE FOLLOWING PERFORMANCE CRITERIA:
5.1. MINIMUM WORKING PRESSURE = 60 PSI
5.2. MINIMUM SERVICE SIZE = 2"
5.3. MINIMUM FLOW REQUIRED = 1 GAL/MIN AT EACH BUILDING TAP
5.4. MINIMUM DIA OF WELL = 6"
5.5. EXPECTED HORSEPOWER OF PUMP = 1 HP
5.6. EXPECTED DEPTH OF WELL = 100'



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PROJECT TITLE:
CONSTRUCT TERMINAL BUILDING

PROJECT ADDRESS:
1727 AIRPORT ROAD
HILLSDALE, MI 49242

REVISIONS

Table with columns: NO., DESCRIPTION, DATE. Includes revisions for Bid Pack 1, MDOT 90% Review, and 50% Design Documents.

DATE ISSUED: 06/21/2023

REVIEWED BY:

DRAWN BY:

DESIGNED BY:

RS&H PROJECT NO.: 2010-0080-000

AIP GRANT NO.: 3-26-SBGP-1xx-2023

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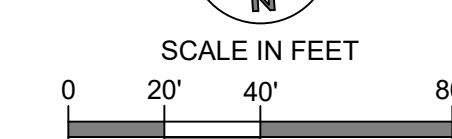
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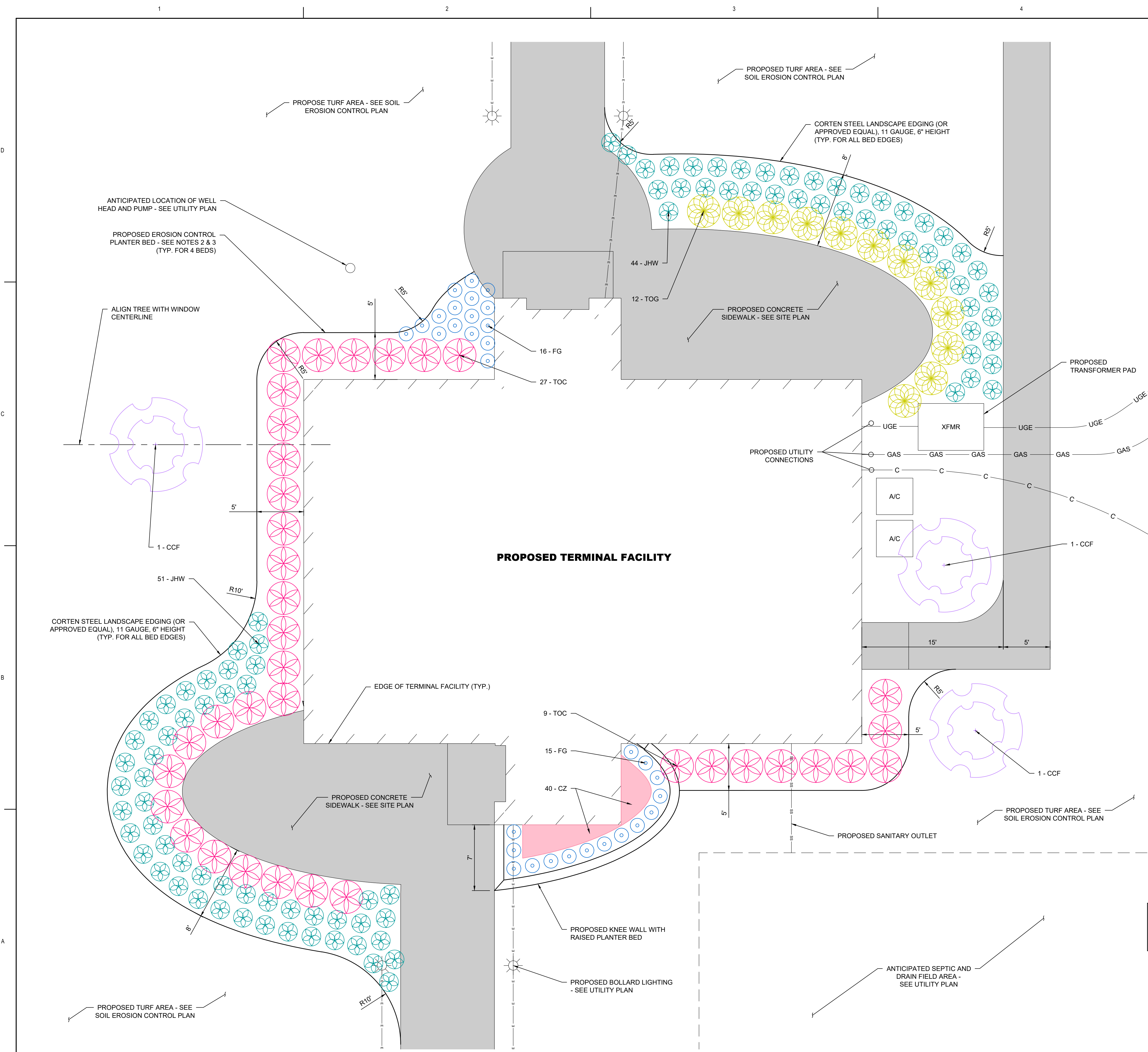
SHEET TITLE: UTILITY PLAN

SHEET ID: C501

PROJECT STATUS: BID PACK 1, ADDENDUM 1

NORTH





**LANDSCAPING PLAN LEGEND AND SHEET NOTES**

- SOIL EROSION LANDSCAPING LEGEND**
- PROPOSED CONCRETE SIDEWALK
  - PROPOSED EROSION CONTROL PLANTER BED
  - (CZ) COREOPSIS 'ZAGREB', 2 GALLON, 12" HEIGHT x 12" SPREAD, FULL, MATCHED, 12" ON CENTER
  - (FG) FESTUCA GLAUCA 'ELIJAH BLUE', 3 GALLON, 8" HEIGHT x 6" SPREAD, FULL, MATCHED, 2' ON CENTER
  - (JHW) JUNIPERUS HORIZONTALIS 'WILTONII' BLUE RUG JUNIPER, 3 GALLON, 24" HEIGHT x 24" SPREAD, FULL, MATCHED, 2.5' ON CENTER
  - (TOC) THUJA OCCIDENTALIS 'CONGABE' PP19009 FIRE CHIEF ARBORVITAE, 3 GALLON, 24" HEIGHT x 24" SPREAD, FULL, MATCHED, 3.5' - 4' ON CENTER
  - (TOG) THUJA OCCIDENTALIS 'GOLDEN GLOBE' ARBORVITAE, 3 GALLON, 24" HEIGHT x 24" SPREAD, FULL, MATCHED, 3.5' - 4' ON CENTER
  - (CCF) CERCIS CANADENSIS 'FOREST PANSY', FIELD GROWN, B&B, 3.5" CALIPER, FULL, CANOPY, STRAIGHT TRUNK, SPACING AS SHOWN

- GENERAL SHEET NOTES**
- GENERAL**
1. ALL PLANT MATERIAL SHALL MEET REQUIREMENTS OF ANLA, AMERICAN STANDARD FOR NURSERY STOCK, ANZI Z60, LATEST EDITION.
  2. EACH PLANTER SHALL BE BEDDED WITH MICHIGAN STONE MULCH, 2"-4" STONE SIZE.
  3. BREATHABLE GEOTEXTILE FABRIC / WEED BARRIER SHALL BE INSTALLED PRIOR TO STONE MULCH INSTALLATION.
  4. ADDITIONAL LANDSCAPING NOTES DETAILS PROVIDED ON SHEET L210

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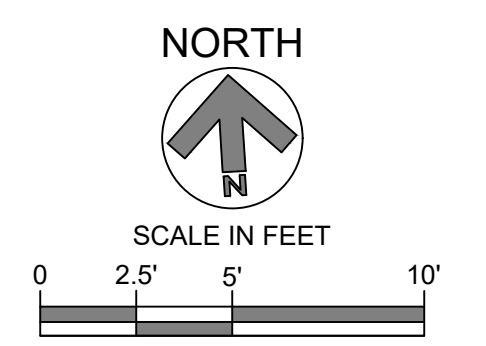
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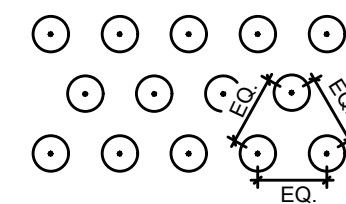
**SHEET TITLE:**  
SOIL EROSION  
LANDSCAPING  
PLAN

**SHEET ID:**  
L201

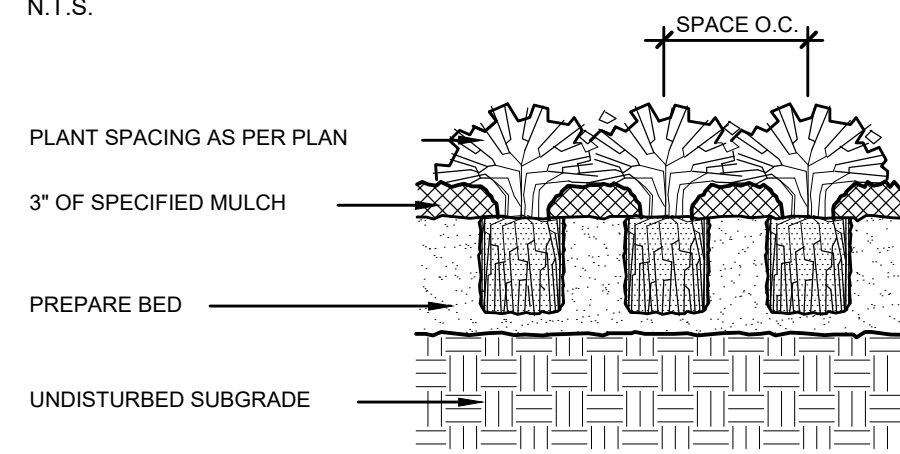
**PROJECT STATUS:**  
BID PACK 1, ADDENDUM 1

**THIS DRAWING SHOULD BE PRINTED IN COLOR**  
 IMPORTANT DESIGN INFORMATION MAY NOT BE  
 INTERPRETED CORRECTLY NOR EASILY DECIPHERED IF  
 PRINTED IN GRAYSCALE



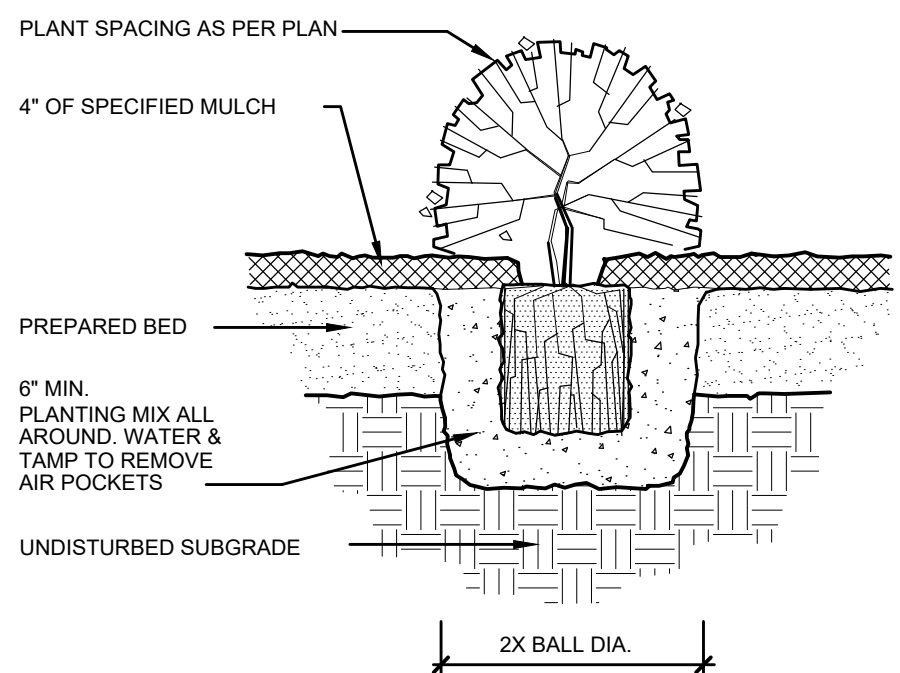


TRIANGULAR SPACING  
N.T.S.



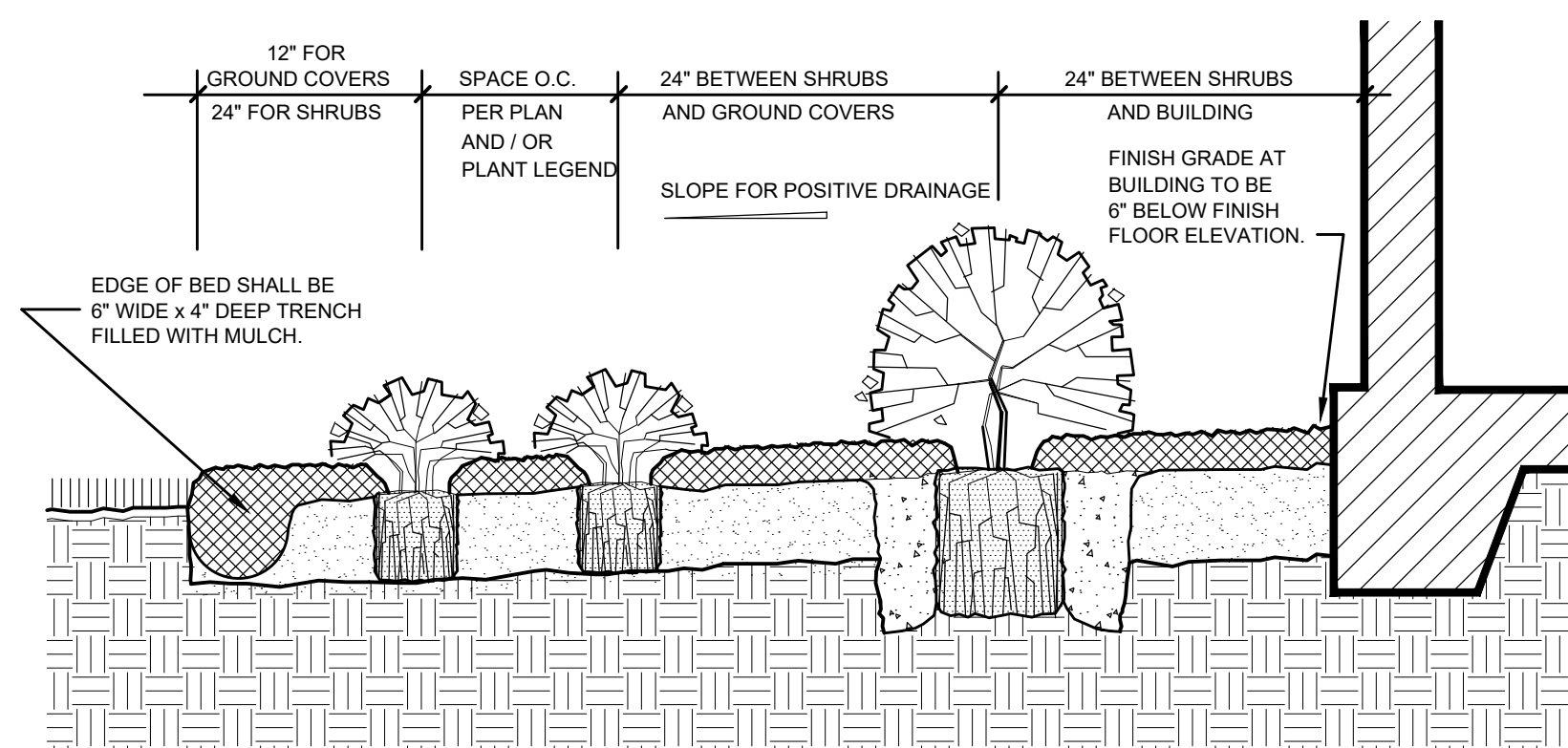
- NOTES:**
- GROUND COVER PLANTS ARE TO BE SPACED AS INDICATED ON PLANTING PLAN
  - 3" MIN. PLANTING MIX UNDER AND AROUND - WATER AND TAMP TO AIR POCKETS.

**1 GROUNDCOVER PLANTING**  
L210 N.T.S.



- NOTES:**
- PLANT SO THAT TOP OF ROOT BALL IS EVEN WITH THE FINISHED GRADE.

**2 SHRUB PLANTING**  
L210



- NOTES:**
- BED GRADE TO SLOPE AWAY FROM BUILDING.
  - SEE DETAILS AND NOTES FOR PLANTING INSTRUCTIONS.

**3 PLANTING BED PLANTING / SLOPE - AT BUILDING**  
L210 N.T.S.

**PLANTING NOTES**

- AT THE DISCRETION OF THE LANDSCAPE ARCHITECT, PLANTS ARE SUBJECT TO REVIEW FOR APPROVAL FOR SIZE, VARIETY, CONDITION AND APPROPRIATENESS TO THE DESIGN INTENT

**SUBMITTALS**

- SUBMIT REPRESENTATIVE NURSERY PHOTOS (HIGH RESOLUTION) OF ALL PLANTS FOR REVIEW PRIOR TO DELIVERY TO THE SITE. INCLUDE SCALE FOR VERTICAL HEIGHT AND HORIZONTAL FOR SPREAD.

**STONE MULCH**

- ALL PLANTING BEDS SHALL BE MULCHED TO A DEPTH OF 3" - 4" WITH AN STONE MULCH APPROVED BY OWNER.

**MAINTENANCE**

- THE LANDSCAPE CONTRACTOR SHALL WATER, MULCH, WEED, PRUNE, AND OTHERWISE MAINTAIN ALL PLANTS AND PLANT BEDS, INCLUDING SOD, UNTIL COMPLETION OF CONTRACT OR ACCEPTANCE BY LANDSCAPE ARCHITECT. SETTLED PLANTS SHALL BE RESET TO PROPER GRADE, PLANTING SAUCERS RESTORED, AND DEFECTIVE WORK CORRECTED.
- TREES SHALL BE MAINTAINED TO KEEP CLEARANCE OF PEDESTRIAN TRAVEL.

**WATERING**

- ALL PLANT MATERIAL SHALL BE WATERED IN THOROUGHLY AT THE TIME OF PLANTING. CONTRACTOR SHALL PROVIDE A WATERING SCHEDULE.
- IT IS THE SOLE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO ENSURE THAT ALL NEW PLANTINGS RECEIVE ADEQUATE WATER DURING THE INSTALLATION AND UNTIL THE COMPLETION OF THE WARRANTY PERIOD. WATERING OF ALL NEW PLANTS AND ANY SUPPLEMENTAL WATERING THAT MAY BE REQUIRED TO AUGMENT NATURAL RAINFALL IS MANDATORY TO ENSURE PROPER PLANT ESTABLISHMENT AND DEVELOPMENT AND SHALL BE PROVIDED BY CONTRACTOR AS A PART OF THIS CONTRACT.

**WARRANTY AND REPLACEMENT**

- BY ACCEPTING THE CONTRACT, THE CONTRACTOR IS THEREBY GUARANTEEING ALL PLANT MATERIALS AND DESIGN FOR A PERIOD OF NOT LESS THAN ONE (1) YEAR FROM THE TIME OF FINAL ACCEPTANCE BY THE OWNER. CONTRACTOR SHALL REPLACE ANY PLANTS WHICH DIE OR WITHER WITHIN SUCH PERIOD WITH HEALTHY PLANTS THAT MEET SPECIFICATIONS OF THE SAME SPECIES AND SIZE WITHOUT ADDITIONAL COST TO THE OWNER UNLESS SUCH DEATH OR WITHERING IS DUE TO OWNER'S FAILURE TO DO ORDINARY MAINTENANCE ON SUCH PLANTS. AFTER FINAL ACCEPTANCE IN ACCORDANCE WITH ANY MAINTENANCE INSTRUCTIONS GIVEN BY LANDSCAPE ARCHITECT FOR SUCH PLANTS, SUCH REPLACEMENT SHALL INCLUDE ALL PLANTS AND LABOR TO PLANT THE REPLACEMENT PLANTS. ANY PLANT MATERIALS DAMAGED BY LIGHTNING, STORMS, FREEZE DAMAGE OR OTHER "ACTS OF GOD" AS WELL PLANTS DAMAGED BY VEHICLES, VANDALISM OR NEGLECT ARE NOT INCLUDED IN THIS REPLACEMENT AGREEMENT. IF REQUESTED, THE LANDSCAPE ARCHITECT MAY ACT AS A MEDIATOR BETWEEN OWNER AND LANDSCAPE CONTRACTOR ON A TIME MATERIAL BASIS. "PLANTS" INCLUDES ALL TREES, SHRUBS, GRASS AND OTHER PLANTS PROVIDED OR PLANTED BY CONTRACTOR.

**GENERAL LANDSCAPE NOTES**

- THE LANDSCAPE CONTRACTOR SHALL EXERCISE CAUTION TO PROTECT ANY EXISTING SOD, ELECTRICAL AND IRRIGATION. ANY DAMAGE TO THE SOD, ELECTRICAL OR IRRIGATION SHALL BE REPLACED OR REPAIRED TO THE ORIGINAL STATE BY THE LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
- ALL LANDSCAPING SHALL BE INSTALLED ACCORDING TO SOUND NURSERY PRACTICES AND ANSI Z.60, LATEST EDITION. CONTRACTOR SHALL COMPLY WITH FEDERAL, STATE AND LOCAL LAWS AND REGULATIONS PERTAINING TO THE INSPECTION FOR PLANT DISEASE AND INSECT INFESTATION.
- TREES ARE TO BE LOCATED IN THE FIELD AND APPROVED BY THE LANDSCAPE ARCHITECT / OWNER PRIOR TO PLANTING. LANDSCAPE CONTRACTOR ACKNOWLEDGES THAT MATERIAL PLANTED WITHOUT APPROVAL OF LOCATION MAY BE SUBJECT TO RELOCATION BY LANDSCAPE ARCHITECT TO MAINTAIN DESIGN INTENT IF NOT FOLLOWED PROPERLY.
- IN AREAS WHERE ASPHALT IS REMOVED IN ORDER TO RECEIVE LANDSCAPE MATERIAL, THE LIME ROCK SUB-BASE MATERIAL MUST ALSO BE REMOVED AND REPLACED WITH APPROVED PLANTING SOIL MIX.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR SENDING PHOTOGRAPHS TO THE LANDSCAPE ARCHITECT TO PRE-APPROVE ALL TREES, SHRUBS AND GROUND COVER PRIOR TO DELIVERY TO PROJECT SITE.

**PERMITS AND REGULATIONS**

- LANDSCAPE CONTRACTOR TO CALL THE LOCAL LANDSCAPE INSPECTOR TO SCHEDULE A PRE-CONSTRUCTION MEETING PRIOR TO INSTALLATION IF REQUIRED.
- ALL MANDATORY REQUIREMENTS BY LOCAL LANDSCAPE DEPARTMENTS AND THEIR INSPECTORS SHALL GOVERN AND LANDSCAPE CONTRACTOR COMMITS BY ACCEPTING CONTRACT TO COMPLY PROMPTLY FOR BUILDER/OWNER TO OBTAIN C.O.

**LANDSCAPE BACKFILL & SOIL AMENDMENT**

- PLANTING BACKFILL FOR PLANTS SHALL BE CLEAN COARSE NATIVE SOIL UNLESS SPECIFIED ELSEWHERE.
- DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING. ALL PLANTS SHALL BE WATERED-IN UTILIZING WATER PROBE OR A TREE BAR.

**UTILITIES / CLEARANCES**

- THE CONTRACTOR SHALL CALL FOR UTILITY LOCATES TO AVOID DAMAGE TO UNDERGROUND UTILITIES.
  - TREES SHALL BE PLACED A MINIMUM OF 5' FROM UTILITIES UNLESS OTHERWISE REQUIRED BY LOCAL GOVERNING AGENCY.
  - ALL TREES TO BE PLANTED MIN. OF 15' FROM LIGHT SOURCE/POLES, UNLESS OTHERWISE APPROVED BY THE GOVERNING AUTHORITY / LANDSCAPE ARCHITECT AND OWNER.
  - LANDSCAPE CONTRACTOR SHALL CONTACT THE CITY, COUNTY, GOVERNING AUTHORITY AND/OR UTILITY COMPANIES TO LOCATE ALL UNDERGROUND UTILITIES OR STRUCTURES PRIOR TO DIGGING. LANDSCAPE CONTRACTOR SHALL REPAIR ALL DAMAGE TO UNDERGROUND UTILITIES, AND/OR CONSTRUCTION CAUSED BY UTILITY DAMAGE, AT NO COST TO THE OWNER.
  - ALL PLANT MATERIAL SYMBOLS SHOWN ON LANDSCAPE PLAN SHALL BE CONSIDERED DIAGRAMMATIC AND SHOULD BE ADJUSTED IN THE FIELD BY CONTRACTOR TO AVOID ALL UTILITIES, AND ALL OTHER OBSTRUCTIONS.
  - IF/WHEN DIGGING IN RIGHT OF WAY NEEDED, TWO (2) FULL BUSINESS DAYS BEFORE DIGGING NOTIFICATION CENTER, IN ADDITION, CALL THE GOVERNING AGENCY'S UTILITIES/PUBLIC WORKS DEPARTMENT. CONTRACTORS ARE RESPONSIBLE FOR COORDINATING WITH THE OWNERS AND APPROPRIATE PUBLIC AGENCIES TO ASSIST IN LOCATING AND VERIFYING ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION. ALL EXISTING UTILITIES SHOWN ON THE PLANS ARE TO BE CONSIDERED APPROXIMATE AND SHOULD BE VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF WORK OPERATIONS.
  - ABOVE AND BELOW GROUND UTILITIES SHALL BE VERIFIED AND LOCATED IN THE FIELD BY THE CONTRACTOR PRIOR TO COMMENCING WORK IN THE PROJECT AREA. THE CONTRACTOR SHALL EXAMINE AVAILABLE UTILITY PLANS AND CONFIRM CONFLICTS BETWEEN INDICATED OR LOCATED UTILITIES AND LANDSCAPE WORK. THE CONTRACTOR SHALL THEN NOTIFY THE PROJECT ENGINEER OF SAID CONFLICTS AND THE ENGINEER WILL COORDINATE ANY NECESSARY ADJUSTMENTS WITH THE UTILITY PROVIDER. TREE LOCATIONS WILL BE ADJUSTED AS NECESSARY WHEN IN CONFLICT WITH EXISTING UTILITIES.
  - THE FINAL PLANT LOCATIONS MAY BE ADJUSTED, AS APPROVED / DIRECTED BY THE LANDSCAPE ARCHITECT IN WRITING, TO ACCOMMODATE UTILITIES COMPLIANCE. EXCAVATIONS WITHIN 5' OF KNOWN UTILITIES SHOULD BE DONE BY HAND.
  - CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE LOCATION OF AND AVOID AND PROTECT UTILITY LINES, BURIED CABLES, AND ALL OTHER UTILITIES, NOTED OR NOT, ON PLANS.
  - LEAVE CLEARANCE AND ACCESS TO ALL ABOVE GROUND OR AT GRADE METERS AND EQUIPMENT.
  - LANDSCAPING SHALL NOT INTERFERE WITH LIGHT POLES, FIRE HYDRANTS, ELECTRICAL/MECHANICAL EQUIPMENT ACCESS, SIGNS, DRAINAGE STRUCTURES, ETC. BRING TO THE ATTENTION OF LANDSCAPE ARCHITECT ANY CONFLICTS.
- SITE PREPARATION AND GRADING**
- LANDSCAPE CONTRACTOR SHALL LOOSEN AND TILL COMPACTED SOILS THAT ARE OVERLY COMPACTED IN ALL PLANTING AREAS OF THE PROJECT TO PROVIDE FOR PROPER SOIL AERATION FOR PLANT ESTABLISHMENT.
  - PLANTED AREAS SHALL BE CLEARED OF UNDERGROUND ROCKS, CONSTRUCTION DEBRIS AND OTHER MATERIALS DETRIMENTAL TO THE HEALTH OF THE PLANTS. LIME ROCK BASE MATERIAL SHALL BE REMOVED WITHIN PLANTING PITS AND ADJACENT TO PAVEMENT. THE PLANTING AREAS SHOULD BE CLEAN TO A DEPTH EQUAL TO THE ROOT BALL OF THE PALMS PROPOSED FOR THE AREA.
  - ALL PLANTING AREAS AND PLANTING PITS SHALL BE TESTED FOR SUFFICIENT PERCOLATION PRIOR TO FINAL PLANTING INSTALLATION TO ENSURE PROPER DRAINAGE. PLANT BEDS IN IN AREAS COMPACTED BY HEAVY EQUIPMENT SHALL BE DE-COMPACTED SO THAT DRAINAGE IS NOT IMPEDED.
  - SITE PREPARATION SHALL INCLUDE THE ERADICATION AND REMOVAL OF ANY WEEDS, CLEAN-UP OF ANY DEAD MATERIAL, DEBRIS, AND RUBBISH.



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**PROJECT TITLE:**  
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1727 AIRPORT ROAD  
HILLSDALE, MI 49242

**REVISIONS**

NO.	DESCRIPTION	DATE
4	Bid Pack 1, Addendum 1	June 21, 2023
3	BidPak1	June 1, 2023
2	MDOT 90% Review	May 30, 2023
1	50% Design Documents	April 25, 2023

**DATE ISSUED:** 06/21/2023

**REVIEWED BY:** NJP

**DRAWN BY:** APD

**DESIGNED BY:** DMB

**RS&H PROJECT NO.:**  
2010-0080-000

**AIP GRANT NO.:**  
3-26-SBGP-1xx-2023

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**SEAL:**

**SHEET TITLE:**  
SOIL EROSION  
LANDSCAPING  
NOTES AND  
DETAILS

**SHEET ID:**

L210

**PROJECT STATUS:**  
BID PACK 1, ADDENDUM 1

**EXTERIOR ELEVATION GENERAL NOTES**

**GENERAL NOTES**

1. FINISH FLOOR IS DRAWN AS 0'-0". REFER TO CIVIL DRAWINGS FOR GLOBAL ELEVATIONS / GRADING.
2. REFER TO STRUCTURAL DRAWINGS FOR STEEL ELEVATIONS.
3. REFER TO EXTERIOR CURVED TIMBER AND ASSOCIATED ELEMENTS DRAWING SHEETS FOR DETAILS/PRICING DIRECVITES - AS101, AS102, AS103, AS104.
4. EXTERIOR CURVED TIMBER AND ASSOCIATED ELEMENTS ARE SHOWN HALFTONE FOR CLARITY.

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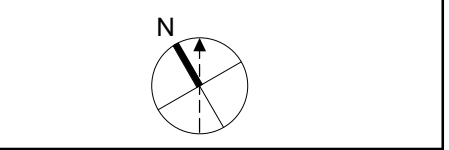
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**ruby-associates**  
MAINTENANCE



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**DRAWN BY:** CJS  
**DESIGNED BY:** AML

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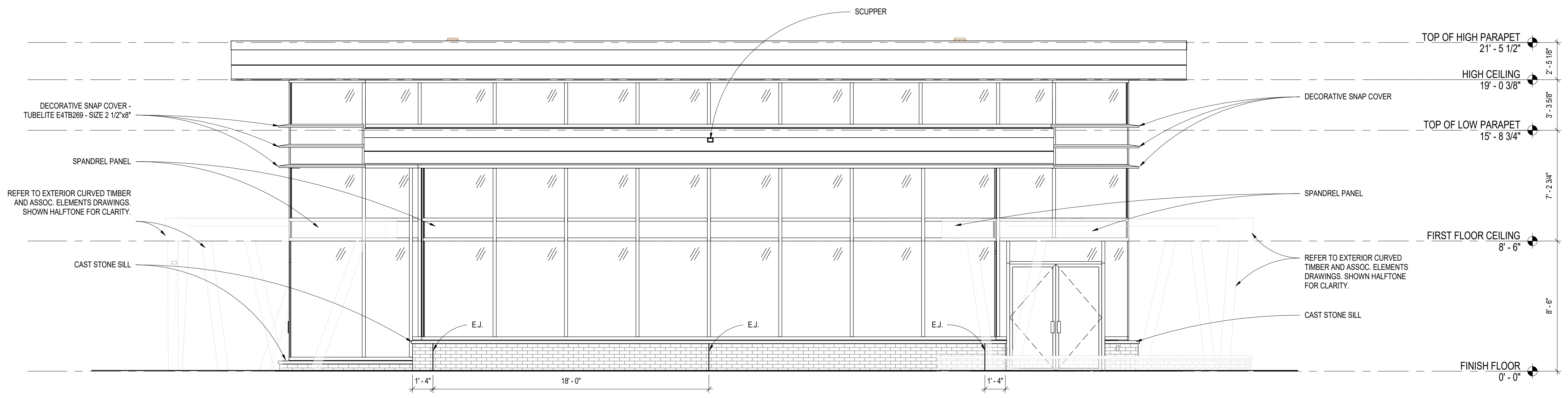
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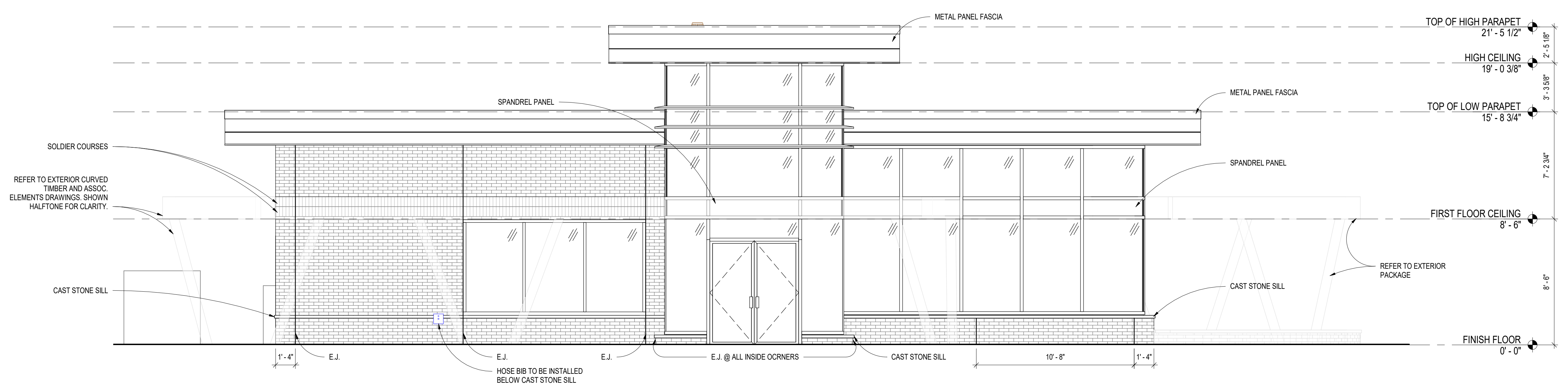
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**SHEET ID:**  
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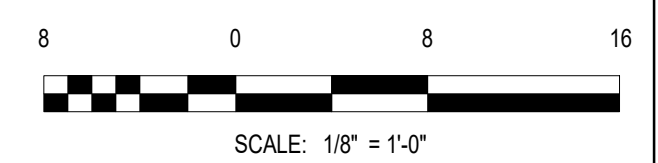
**PROJECT STATUS:**  
BID PACK 1, ADDENDUM 1



**2 WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**1 NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"



6/21/2023 8:52:24 AM C:\Users\User\Documents\100 ARCH BASE RSH22-076 Hillsdale Airport\_chelseaRHX.vt

**BUILDING SECTION GENERAL NOTES**

1. REFER TO A101, OVERALL FLOOR PLAN, FOR BUILDING SECTION CUTS ON THIS SHEET.
2. REFER TO WALL SECTION SHEETS FOR WALL SECTION CUTS SHOWN IN THESE BUILDING SECTIONS AS LABELED.
3. REFER TO ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION.



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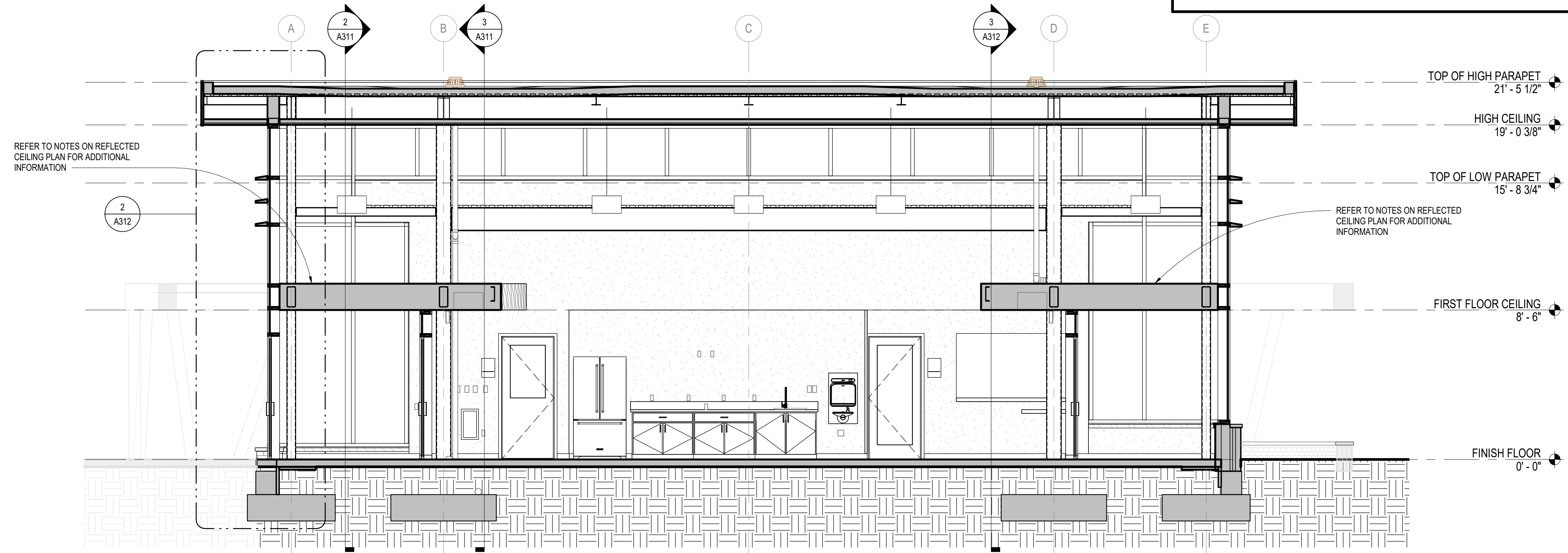
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BUILDING SECTIONS

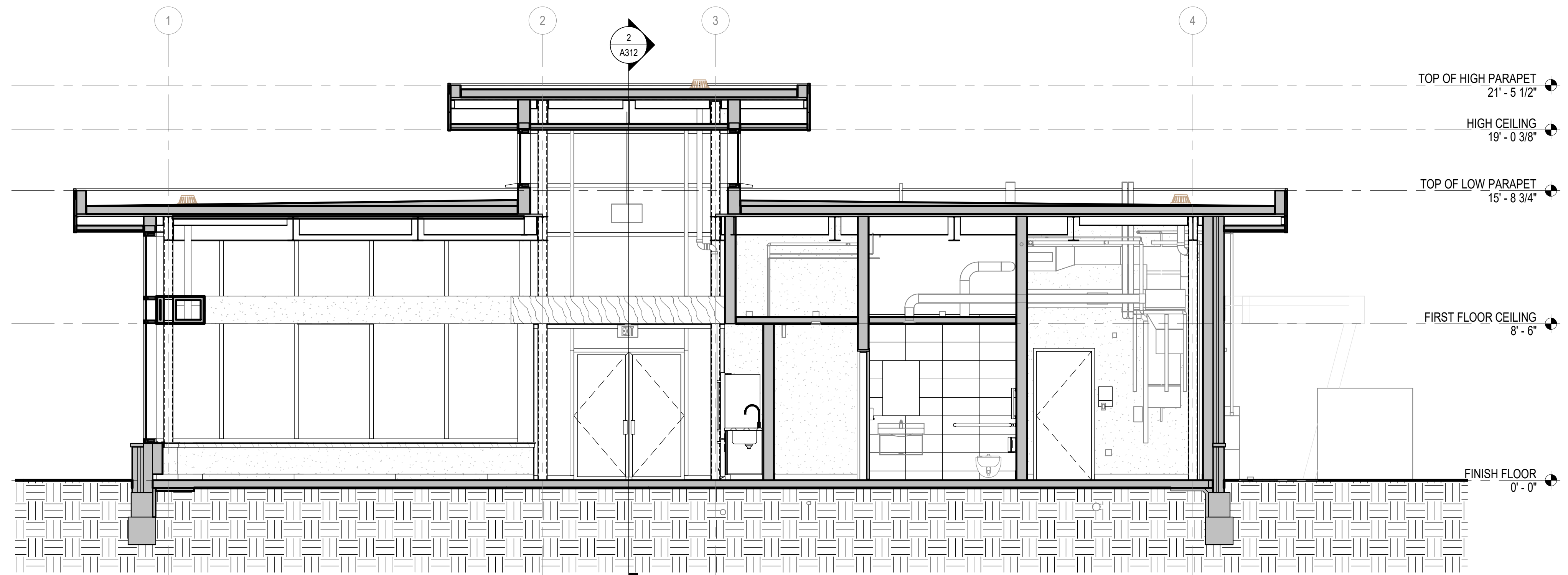
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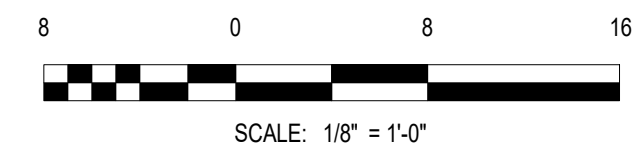
**PROJECT STATUS:**  
BID PACK 1, ADDENDUM 1



**2 NS SECTION LOOKING EAST**  
SCALE: 1/4" = 1'-0" REFERENCE CUT ON SHEET A101



**1 EW SECTION LOOKING NORTH**  
SCALE: 1/4" = 1'-0" REFERENCE CUT ON SHEET A101



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**EXTERIOR ARCHITECTURAL GRAPHIC NOTES**

1. ARCHITECTURAL GRAPHICS SHOWN FOR DESIGN INTENT ONLY.
2. REFER TO DRAWINGS FOR ADDITIONAL INFORMATION.
3. ALL EXTERIOR SIGNAGE BY OTHERS
4. REFER TO EXTERIOR CURVED TIMBER AND ASSOCIATED ELEMENTS DRAWINGS, SHEETS AS101-AS104 FOR ALL EXTERIOR ARCHITECTURAL SITE ELEMENTS.



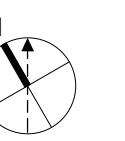
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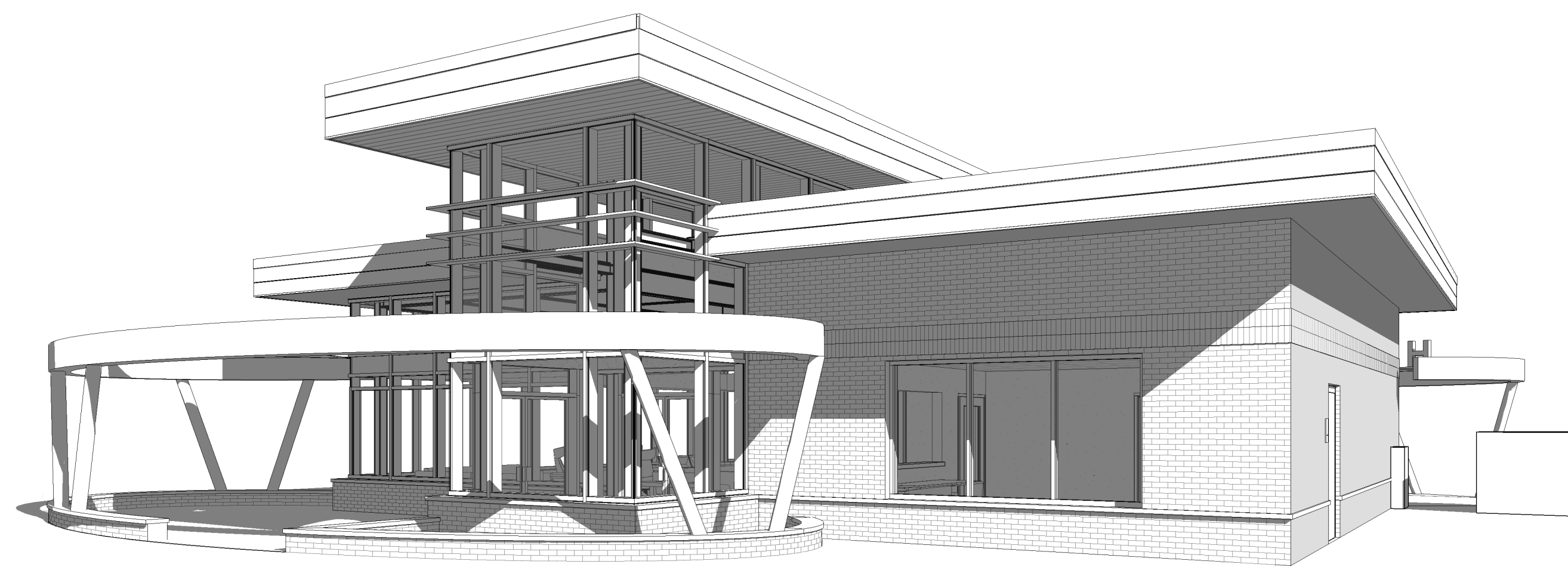
**SEAL:**

**SHEET TITLE:**  
EXTERIOR  
ARCHITECTURAL  
GRAPHICS

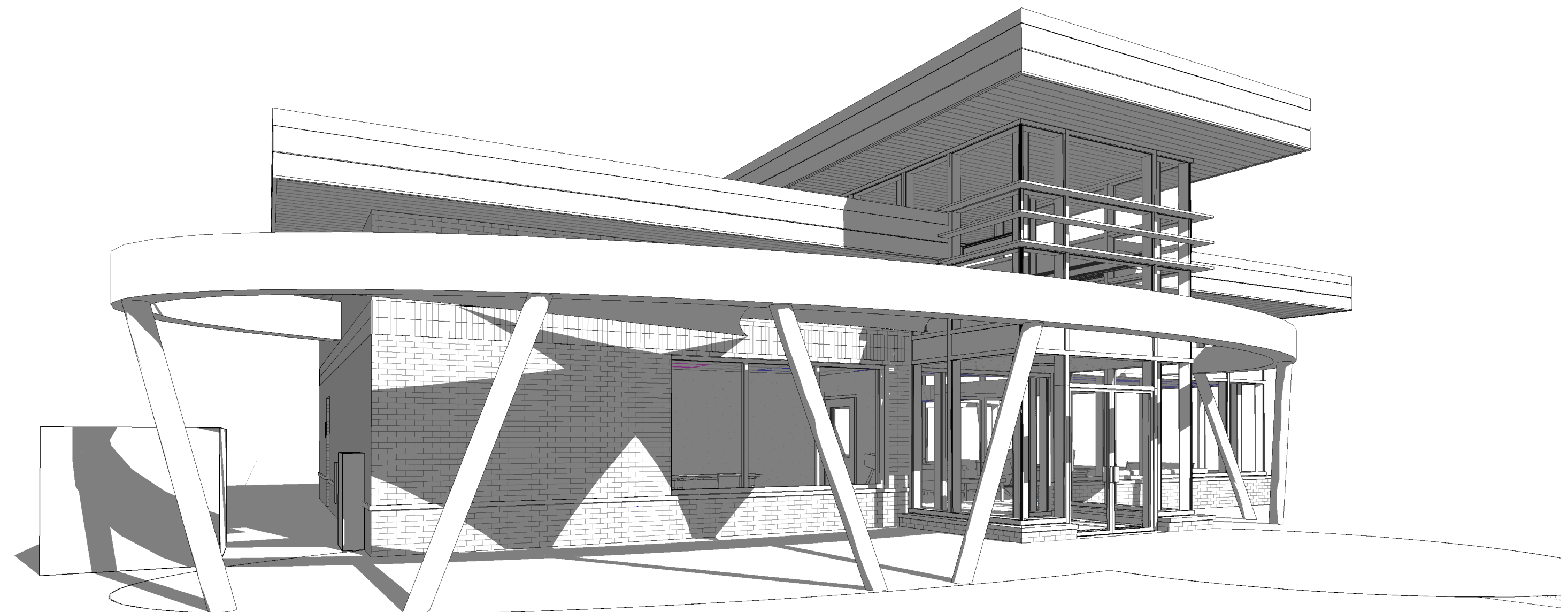
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**A901**

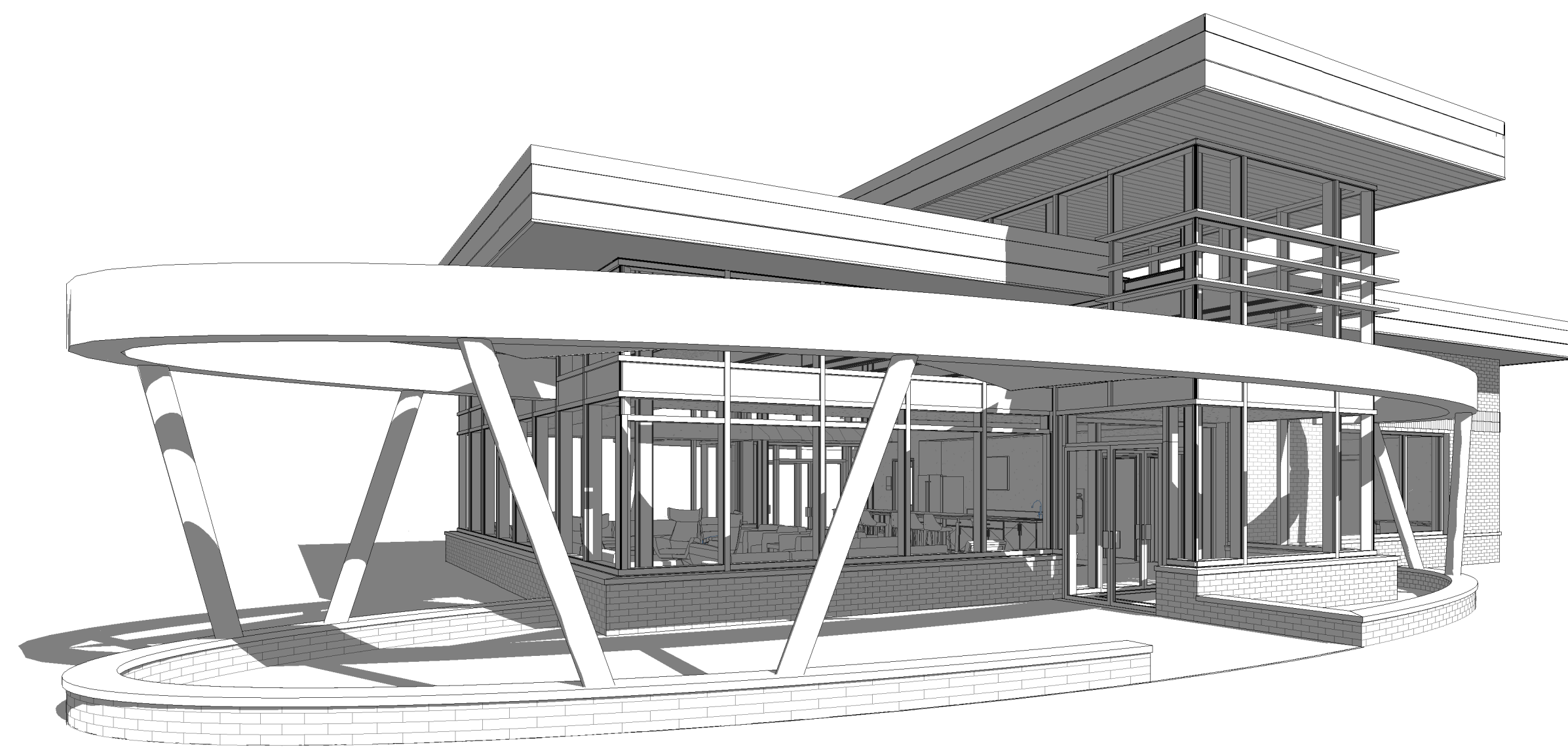
**PROJECT STATUS:**  
BID PACK 1, ADDENDUM 1



3 SE EXTERIOR 3D PERSEPECTIVE  
A901 SCALE:



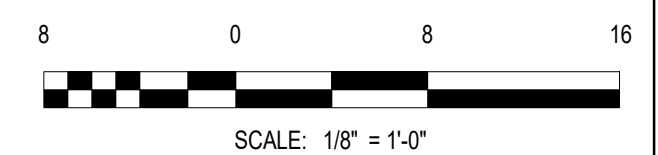
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A901 SCALE:



4 SW EXTERIOR 3D PERSPECTIVE  
A901 SCALE:



1 NW EXTERIOR 3D PERSPECTIVE  
A901 SCALE:



**EXTERIOR CURVED TIMBER AND ASSOC. ELEMENTS GENERAL NOTES**

1. REFER TO SHEET AS101 FOR NOTES.

**PRICING AND ENGINEERING DIRECTIVES**

1. REFER TO SHEET AS101 FOR NOTES.



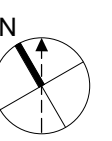
436 S. Main St.  
Plymouth, MI 48170  
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**PROJECT TITLE:**  
CONSTRUCT TERMINAL BUILDING

**PROJECT ADDRESS:**  
1727 AIRPORT RD.  
HILLSDALE, MI 49242



**REVISIONS**

NO.	DESCRIPTION	DATE
4	Bid Pack 1, Addendum 1	June 21, 2023
3	BidPak1	June 1, 2023
2	MDOT 90% Review	May 30, 2023

DATE ISSUED: 06/21/2023  
REVIEWED BY: SAG  
DRAWN BY: CJS  
DESIGNED BY: AML

RS&H PROJECT NO.:  
**2010-0080-000**  
AIP GRANT NO.:  
**3-26-SBGP-1XX-2023**

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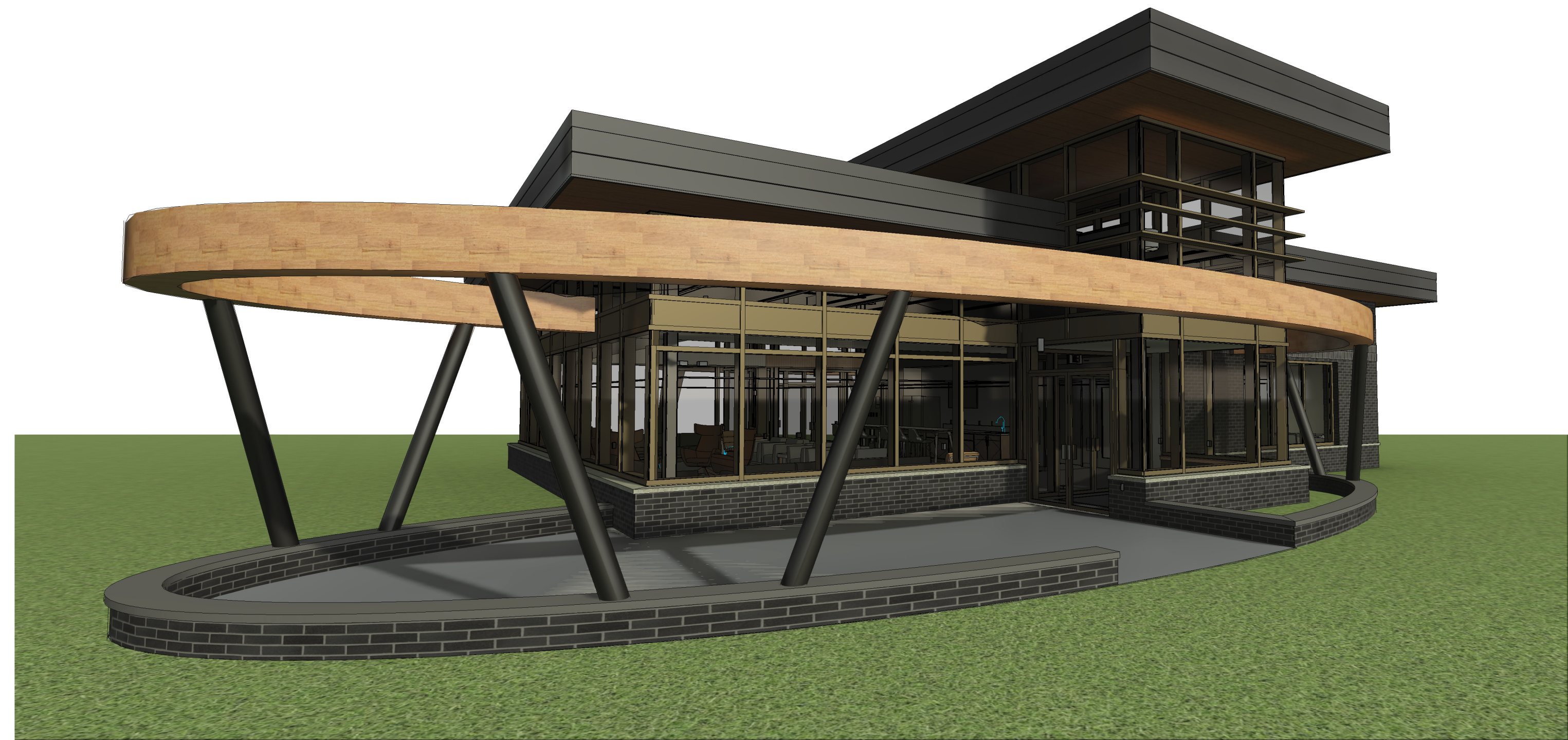
SEAL:

**SHEET TITLE:**  
EXTERIOR CURVED  
TIMBER AND  
ASSOCIATED  
ELEMENTS -  
PERSPECTIVE VIEWS

SHEET ID:

**AS103**

**PROJECT STATUS:**  
BID PACK 1, ADDENDUM 1



**EXTERIOR CURVED TIMBER AND ASSOCIATED ELEMENTS - SOUTH WEST ENTRY  
PERSPECTIVE - FACING NORTH EAST**

6  
AS103

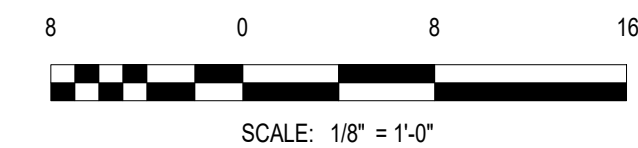
SCALE:



**EXTERIOR CURVED TIMBER AND ASSOCIATED ELEMENTS - NORTH ENTRY  
PERSPECTIVE FACING SOUTH**

1  
AS103

SCALE:





**TO: Planning Commission**

**FROM: Zoning Administrator**

**DATE: January 17, 2024**

**RE: Secs. 36-431 & 36-432**

**Background:** After discussing the Council requested revisions, the attached ordinances are ready for Planning Commission review. If the Commission is satisfied with the proposed changes, the Zoning Administrator requests that a public hearing be set for the February regular meeting.

Sec. 36-431. - Accessory buildings.

**Definitions:**

**BUILDING-INTEGRATED SOLAR ENERGY SYSTEM:** A solar energy system that is an integral part of a primary or accessory building or structure (rather than separate mechanical device), replacing or substituting for an architectural or structural component of the building or structure. Building-integrated systems include, but are not limited to, photovoltaic or hot water solar energy systems that are contained within roofing materials, windows, skylights, and awnings.

**GROUND-MOUNTED SOLAR ENERGY SYSTEM:** A solar energy system mounted on support posts, like a rack or pole that are attached to or rest on the ground.

**MAXIMUM TILT:** The maximum angle of a solar array (i.e., most vertical position) for capturing solar radiation as compared to the horizon line.

**MINIMUM TILT:** The minimal angle of a solar array (i.e., most horizontal position) for capturing solar radiation as compared to the horizon line.

**PRINCIPAL-USE SOLAR ENERGY SYSTEM:** A commercial, ground-mounted solar energy system that converts sunlight into electricity for the primary purpose of off-site use through the electrical grid or export to the wholesale market.

**ROOF-MOUNTED SOLAR ENERGY SYSTEM:** A solar energy system mounted on racking that is attached to or ballasted on the roof of a building or structure.

**SOLAR ARRAY:** A photovoltaic panel, solar thermal collector, or collection of panels or collectors in a solar energy system that collects solar radiation.

**SOLAR CARPORT:** A solar energy system of any size that is installed on a structure that is accessory to a parking area, and which may include electric vehicle supply equipment or energy storage facilities. Solar panels affixed on the roof of an existing carport structure are considered a Roof-Mounted SES.

**SOLAR ENERGY SYSTEM (SES):** A photovoltaic system or solar thermal system for generating and/or storing electricity or heat, including all above and below ground equipment or components required for the system to operate properly and to be secured to a roof surface or the ground. This includes any necessary operations and maintenance building(s), but does not include any temporary construction offices, substation(s) or other transmission facilities between the SES and the point of interconnection to the electric grid.

**DECIBEL** means the unit of measure used to express the magnitude of sound pressure and sound intensity.

**ON SITE WIND ENERGY SYSTEM** means a land use for generating electric power from wind and is an accessory use that is intended to primarily serve the needs of the consumer at that site.

**ROTOR** means an element of a wind energy system that acts as a multi-bladed airfoil assembly, thereby extracting through rotation, kinetic energy directly from the wind.

**SHADOW FLICKER means alternating changes in light intensity caused by the moving blade of a wind energy system casting shadows on the ground and stationary objects, such as but not limited to a window at a dwelling.**

**SOUND PRESSURE means an average rate at which sound energy is transmitted through a unit area in a specified direction. The pressure of the sound measured at a receiver.**

**SOUND PRESSURE LEVEL means the sound pressure mapped to a logarithmic scale and reported in decibels (dB).**

Accessory buildings and accessory structures shall be subject to the following regulations, which shall apply in all zone districts:

1. All accessory buildings and accessory structures are permitted in all zone districts subject to compliance with all of the following:
  - a. The accessory building and/or accessory structure is customarily and clearly incidental to a use that is permitted under this chapter and/or is a permitted use in the zone district in which it is or they are located or to be located;
  - b. The accessory building and/or accessory structure does not create a nuisance or hazard; and
  - c. The accessory building and/or accessory structure meets and is in accordance with all applicable limitations, requirements and provisions of this article and the applicable zone district.
2. No accessory buildings or accessory structures shall be established until the principal use to which it is an accessory has been established or a building, placement or construction permit for the principal use has been obtained.
3. Where the accessory building is structurally attached to a main building, it shall be subject to and must conform to all yard regulations of this title, applicable to the main buildings.
4. Accessory buildings or other accessory structures shall not be erected, placed or established in any required yard, unless otherwise permitted by this chapter.
5. No detached accessory building or other accessory structure shall be located closer than ten feet to any main building or structure, unless it can conform to all other yard regulations as required for the main building or structure. It shall not be located any closer than three feet to any side or rear lot line, unless otherwise permitted by this chapter. In those instances where the rear lot line is coterminous with an alley right-of-way, the accessory building or accessory structure shall be no closer than one foot to such rear lot line. In no instance shall an accessory building or accessory structure be located within a dedicated easement right-of-way.
6. When an accessory building or accessory structure is located on a corner lot, the side lot line of which is substantially a continuation of the front lot line of the lot to its rear, the accessory building or accessory structure shall not project beyond the front line of the existing main structure on the lot in rear of such corner lot. An accessory building or accessory structure shall not be located within ten feet of a street right-of-way line.

**An On-site Ground-Mounted Solar Energy System is an accessory use which shall meet the following standards:**

1. Ground-Mounted SES shall not exceed 15 feet measured from the ground to the top of the system when oriented at maximum tilt. Ground mounted SES that exceeds 6 feet in height may not be placed on any lot with less than 6500 square feet. Ground mounted SES may not be placed in the front yard. Ground mounted SES shall be subject to and must conform to all yard regulations of this title, applicable to the main buildings as measured when oriented at minimum design tilt.
2. A Small Principal-Use SES is a permitted use in all zoning districts subject to site plan review and shall meet all of the following requirements:
  - a. Total height shall not exceed 15 feet measured from the ground to the top of the system when oriented at maximum tilt. Ground mounted SES that exceeds 6 feet in height may not be placed on any lot with less than 6500 square feet.
  - b. Setback distance shall be measured from the property line or road right-of-way to the closest point of the solar array at minimum tilt or any SES components and as follows:
  - c. A Ground-Mounted SES shall follow the setback distance for primary buildings or structures for the district in which it is sited.
  - d. A Small Principal-Use SES shall be secured with perimeter fencing to restrict unauthorized access. If installed, perimeter fencing shall be a maximum of 6 feet in height. Additional screening may be required upon review.
3. Roof-Mounted SES shall not exceed the combined height of the building and the roof mounted SES, when oriented at maximum tilt, for principal structures in any zoning district. A Roof-Mounted SES or Building-Integrated SES installed on a nonconforming building, structure, or use shall not be considered an expansion of the nonconformity.

All Ground mounted SES applications must include a site plan and drawings that show the height and dimensions of the SES. Applications for Roof-Mounted SES must include horizontal and vertical elevation drawings that show the location and height of the SES on the building and dimensions of the SES. All SES drawings shall include dimensions of the minimum and maximum tilt. Reflection angles for solar collectors shall be oriented such that they do not project glare onto adjacent properties. Any connection to the public utility grid shall be inspected and approved by the appropriate public utility.

All solar energy equipment shall be maintained and kept in good working order. If it is determined by the Zoning Administrator that a solar energy system is not being maintained, kept in good working order, or is no longer being utilized to perform its intended function for six consecutive months, the property owner shall be given 30 day notice for removal of unit and all equipment. If the solar energy system is not removed within 30 days, any person, or anyone acting in behalf of the person, violating any of the provisions of this section shall be guilty of a misdemeanor. The imposition of any sentence shall not exempt the offender from compliance with the requirements of this chapter.

**An On-site Wind Energy System (WES) is an accessory use which shall meet the following standards:**

- 1. Designed to primarily serve the needs of a home or small business.**
- 2. Shall have a tower height of 40 feet or less.**
- 3. Property Set-back: The distance between an On-site Use wind energy system and the owner's property lines shall be equal to the height of the wind energy system tower including the top of the blade in its vertical position. The distance between an anemometer tower and the owner's property lines shall be equal to the height of the tower. No part of the wind energy system structure, including guy wire anchors, may extend closer than ten feet to the owner's property lines, or the distance of the required setback in the respective zoning district, whichever results in the greater setback.**
- 4. Sound Pressure Level: On-site Use wind energy systems shall not exceed 50 dB(A) at the property line closest to the wind energy system. This sound pressure level may be exceeded during short-term events such as utility outages and/or severe wind storms. If the ambient sound pressure level exceeds 50 dB(A), the standard shall be ambient dB(A) plus 5 dB(A).**
- 5. Construction Codes, Towers, & Interconnection Standards: On-site Use wind energy systems including towers shall comply with all applicable state construction and electrical codes and;**
  - a. local building permit requirements. On-site Use wind energy systems including towers shall;**
  - b. comply with Federal Aviation Administration requirements, the Michigan Airport Zoning Act (Public Act 23 of 1950, MCL 259.431 et seq.), the Michigan Tall Structures Act (Public Act 259 of 1959, MCL 259.481 et seq.), and local jurisdiction airport overlay zone regulations.**
  - c. An interconnected On-site Use wind energy system shall comply with Michigan Public Service Commission and Federal Energy Regulatory Commission standards.**
  - d. Off-grid systems are exempt from this requirement.**
- 6. Safety: An On-site Use wind energy system shall have automatic braking, governing, or a feathering system to prevent uncontrolled rotation or over speeding. All wind towers shall have lightning protection. If a tower is supported by guy wires, the wires shall be clearly visible to a height of at least six feet above the guy wire anchors. The minimum vertical blade tip clearance from grade shall be 20 feet for a wind energy system employing a horizontal axis rotor.**

**All On-site Wind Energy System applications must include a site plan and drawings that show the height and dimensions of the WES. Any connection to the public utility grid shall be inspected and approved by the appropriate public utility.**

**All wind energy equipment shall be maintained and kept in good working order. If it is determined by the Zoning Administrator that a wind energy system is not being maintained, kept in good working order, or is no longer being utilized to perform its**

**intended function for six consecutive months, the property owner shall be given 30 day notice for removal of unit and all equipment. If the wind energy system is not removed within 30 days, any person, or anyone acting in behalf of the person, violating any of the provisions of this section shall be guilty of a misdemeanor. The imposition of any sentence shall not exempt the offender from compliance with the requirements of this chapter.**



Sec. 36-432. - Accessory buildings in residential districts.

Accessory buildings and accessory structures located in any residential zone districts shall be subject to the following regulations except as otherwise permitted in this chapter:

1. No detached accessory building or accessory structure in an R-1, RD-1, or RM-1 district shall exceed one story or ~~15 feet in height~~ **25 feet in height.**
2. No accessory building or accessory structure inclusive of the main structure may exceed the required density requirements of section 36-411.
3. Playhouses, greenhouses and gazebos may not be located in side and rear yards within three feet of the property line.
4. Swimming pools shall be regulated by the Michigan Residential Building Code. Swimming pools, excepting inflatable swimming pools having a length or diameter of less than five feet and/or a depth of less than 18 inches, shall be placed in the rear yard only. Inflatable swimming pools having a length or diameter of five feet or more and/or a depth of 18 inches or more shall be located within the rear or side yards only. No hot tub or swimming pool shall be located within three feet of the property line.
5. Porches and decks must conform to all yard setback, bulk and height requirements. Construction of new porches and decks and the reconstruction of existing porches and decks shall be subject to compliance with the requirements of sections 36-411 and 36-787.
6. Game courts, as defined in section 36-6, excepting basketball hoops, are allowed within the rear and side yards only. Notwithstanding anything herein to the contrary, basketball hoops may be located in the driveway to the main residential building or to an accessory building, to an attached or detached accessory building or accessory structure. No game courts, playground or other recreational equipment may be located within three feet of the property line.
7. Garbage and trash containers are allowed in the side and rear yards only, except at designated times of pickup, during which they may be located at the property line in accordance with and subject to the provisions of chapter 28 of this Code.
8. Clothes lines, supporting poles and similar natural laundry drying equipment are allowed within the side or rear yard but shall not be located within three feet of the property line.
9. Pet shelters, pens, cages and runs are allowed only in the rear yard but shall not be located within three feet of the property line.
10. The use of semi-trailers, enclosed trailers, trucks, rail cars or vehicles as storage buildings or structures or as accessory buildings or structures is prohibited.
11. **Ground-Mounted Solar Energy System shall meet the requirements listed in Sec. 36-431.**
12. **Roof-Mounted Solar Energy System shall meet the requirements listed in Sec. 36-431.**
13. **On-site Wind Energy System shall meet the requirements listed in Sec. 36-431.**