



Planning Commission
97 North Broad Street
Hillsdale, Michigan 49242-1695
(517) 437-6440 Fax: (517) 437-6450

Electronic Meeting
Planning Commission Agenda
November 17, 2020

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I. Call to Order 5:30

- A. Pledge of Allegiance
- B. Roll Call

II. Public Comment

Any Commission related item – 3 min. limit

III. Consent Items/Communications

- A. Approval of agenda – **Action**
- B. Approval of Planning Commission 10-20-2020 minutes – **Action**
- C. Communications

IV. Old Business

Keefer House Hotel Site Plan – **Action**

V. New Business

None

VI. Master Plan Review

Goals and Objectives – **Discussion**

VII. Zoning Ordinance Review
None

VIII. Zoning Administrator Report

IX. Commissioner's Comments

X. Adjournment

Next meeting December 15, 2020 at 5:30 pm

Planning Commission Meeting Minutes
Hillsdale City Hall
Council Chambers
October 20, 2020
5:30 pm

Call to Order

Vice Chairman Ron Scholl called the meeting to order at 5:32 pm, followed by the Pledge of Allegiance.

Members Present

Vice-Chairman Ron Scholl, Mayor Pro-Tem Will Morrisey, Secretary Penny Swan, Commissioner Jacob Parker, Commissioner Elias McConnell, and Commissioner Kerry Laycock.

Members Absent

Chairman Eric Moore

Public Present

Alan Beeker, Zoning Administrator

Public Comment

No public comment

Consent Agenda and Minutes

Motion to approve the consent agenda and minutes from 9-15-2020 made by Commissioner Swan, seconded by Commissioner Morrisey. Motion Approved.

Old Business

None

New Business

None

Master Plan Review

More Master Plan discussion and fine tuning, specifically Commercial Development, and M-99 Gateway (Broad Street).

Commissioner's Comments

None

Adjournment

Motion to adjourn made by Commissioner Swan, seconded by Commissioner Morrisey at 6:49 pm, motion passed unanimously.

Next meeting: November 17, 2020 at 5:30 pm.

HILLSDALE COUNTY PLANNING COMMISSION
HILLSDALE COUNTY, MICHIGAN



33 McCollum St. - Suite 223
Hillsdale MI 49242-1688
Phone: (517) 439-9166
Email: planning@co.hillsdale.mi.us

TO: Hillsdale County Municipal Legislative Bodies,
Contiguous Municipal Legislative Bodies, Hillsdale County Board of Commissioners,
Public Utility Companies and Railroad Companies

FROM: Hillsdale County Planning Commission

DATE: October 23, 2020

RE: NOTICE OF INTENT TO UPDATE THE HILLSDALE COUNTY MASTER PLAN

In accordance with the *Michigan Planning Enabling Act* (PA 33 of 2008 as amended), the purpose of this correspondence is to advise your local unit of government that the Hillsdale County Planning Commission intend to prepare an updated edition of the Hillsdale County Master Plan.

The Hillsdale County Planning Commission may elect to utilize electronic mail and/or its website for future submittals regarding the updated edition of the Hillsdale County Master Plan required under section 41 or 43 of the *Michigan Planning Enabling Act*. Please request in writing or email to the following address if you prefer to receive hard copies of future communications. Other questions and comments may also be directed here:

Hillsdale County Planning Commission
33 McCollum Street, Suite 223
Hillsdale, MI 49242

planning@co.hillsdale.mi.us

We thank you for your consideration in this matter. If you have questions or comments, please contact the Hillsdale County Planning Commission. We look forward to your input throughout this process.

Region 2 Planning Commission

Serving Hillsdale, Jackson and Lenawee Counties

Region 2 Planning Commission Call-In Meeting Notice

Due to the recent increase in COVID-19 cases across the state and keeping everyone's safety a priority, the Region 2 Planning Commission (R2PC) will be holding the November 12, 2020 Full Commission meeting via conference call. Please follow the instructions below to participate in the conference call which will take place at 2:00 p.m. on Thursday, November 12, 2020:

WHAT: Region 2 Planning Commission Full Commission Meeting

WHEN: Thursday, November 12, 2020 at 2:00 p.m.

CONFERENCE PHONE NUMBER: 1-701-802-5271

ACCESS CODE: 638318 #

INSTRUCTIONS:

- * Dial the conference phone number listed above, a few minutes prior to 2:00 p.m.
- * Input the Access Code listed above, followed by # symbol.
- * Mute your phone. During the meeting, un-mute when you wish to speak.
- * Simply wait for the meeting to start. You will hear music while waiting for the meeting to start.

Please do not hesitate to contact Steve at (517) 768-6706 or Jill at (517) 768-6701 at any time with questions. We understand how difficult times are right now and will do our best to help make this as easy as possible.

AGENDA

REGION 2 PLANNING COMMISSION

Full Commission

FOR FURTHER INFORMATION, CONTACT:

**Steven Duke, Executive Director
(517) 768-6706**

DATE: Thursday, November 12, 2020

TIME: 2:00 P.M.

WHERE:

**** TELECONFERENCE ****
(Please see instructions on cover of agenda packet)

Comments will be solicited on each item following discussion and prior to any final action.

PAGE #

1. Call to Order
2. Pledge of Allegiance
3. Approval of the November 12, 2020 Agenda – **ACTION**
4. Public Comment
5. Approval of the Full Commission Meeting Minutes for September 10, 2020 (see enclosure) – **ACTION** **3**
6. Approval of Action Taken at the October 8, 2020 Executive Committee Meeting (see enclosure) – **ACTION** **6**
7. Receipt of Treasurer's Report of October 31, 2020 (see enclosure) – **ACTION** **11**
8. Approval of November 12, 2020 Submitted Bills (see enclosure) – **ACTION** **15**
9. Staff Progress Report for October, 2020 (see enclosure) – **DISCUSSION** **16**
10. Election of the 2021 Nominating Committee (see enclosure) – **ACTION** **21**
11. Approval of Amendments to the JACTS FY 2020-2023 Transportation Improvement Program (TIP) (see enclosure) – **ACTION** **22**
 - Michigan Department of Transportation
12. Seasonal Housing (see enclosure) – **DISCUSSION** **23**
13. Other Business **24**
 - Comments from Liberty Township regarding the Jackson City + County Non-Motorized Plan (see enclosure) **26**
 - Notice of Intent to Update Hillsdale County Master Plan (see enclosure) **27**
 - Notice of Intent to Prepare Hanover Township Master Plan (see enclosure)
14. Public Comment / Commissioners' Comments
15. Adjournment

Region 2 Planning Commission

Serving Hillsdale, Jackson and Lenawee Counties

MEETING MINUTES

Region 2 Planning Commission - Full Commission

**** TELECONFERENCE MEETING ****

Thursday, September 10, 2020

I. **Call to Order** – Chair Terry called the meeting to order at 2:06 p.m. A quorum was present.

Attendance:

Acker	Cure	✓ Jancek (E)	Seegert
Adams	David	Jenkins	Sessions
Arno	DeBoe	Jennings	Shotwell
✓ Bair	Dillon	Johnson	Sigers (E)
Baker	Drake	Jones	Spencer
Bales	Driskill (E)	Karnaz	Spink
Barnhart	✓ Duckham (E)	Kastel	Stormont
Beach	✓ Elwell	Keck	Swartzlander
Beckner	Emmons	✓ Knoblauch (E)	✓ Terry (E)
✓ Beeker (E)	Frey	Koehn	Tillotson (E)
Blythe	Gaede (E)	✓ Kubish (E)	VanValkenburg
Boggs	Gallagher	Lance	Votzke
✓ Bolton	Gould, J.	Linnabary	Wagner
Bower	Gould, L. (E)	Navarro	Wardius
Burns	✓ Grabert (E)	O'Dowd	Webb
Burruss	✓ Greene	✓ Overton (E)	✓ Welsh (E)
Bush	Greenleaf	Palmer	✓ Williams
Cavasin	✓ Guetschow (E)	✓ Poleski	Wilson
Chamberlain	Hartsel	✓ Poole (E)	Winter
Collins	Hawley	Richardson, C.	Witt
Cornish	Heath	Richardson, R.	✓ Wittenbach (E)
Cousino	✓ Herlein	Ries	Wymer
Craig	Isley	✓ Schlechte	

Key: ✓ = present (E) = Executive Committee member

Staff Present: Grant Bauman, Tanya DeOliveira, Steve Duke, Jacob Hurt, and James Latham

Others Present: Mike Davis, MDOT; Angie Kline, JCDOT; and Debbie Miller

- II. Pledge of Allegiance** – Due to the meeting being conducted via teleconference, the Commission waived the Pledge of Allegiance.
- III. Approval of the Agenda** – The motion was made by Comm. Kubish, supported by Comm. Schlecte, to approve the September 10, 2020 agenda as presented. The motion carried unanimously.
- IV. Public Comment** – Chair Terry requested public comment. No public comments were received.
- V. Approval of the Full Commission Minutes for July 9, 2020** – The motion was made by Comm. Grabert, supported by Comm. Schlecte, to approve the July 9, 2020 Full Commission meeting minutes as submitted. The motion carried unanimously.
- VI. Receipt of Treasurer’s Report of August 31, 2020** – A motion was made by Comm. Duckham, and supported by Comm. Knoblauch, to receive the August 31, 2020 Treasurer’s Report as presented. The motion carried unanimously.
- VII. Approval of September 10, 2020 Submitted Bills** – A motion was made by Comm. Duckham, supported by Comm. Guetschow, to approve payment of the September 10, 2020 submitted bills. The motion carried unanimously.
- VIII. Staff Progress Report for July and August, 2020** – Mr. Duke reviewed staff activity highlights:
- R2PC received approval by EDA for the Coronavirus Aid, Relief, and Securities (CARES) Act grant to address economic consequences of the virus. The new Economic Development Planner, Jacob Hurt, began work in July.
 - Staff submitted the CEDS Annual Performance Report to EDA.
 - Staff completed the R2PC Planning Work Program and the Regional Transportation Work Program for FY 2021.
 - Staff met with the Hillsdale County Commission to review services and benefits associated with reactivating their membership.
 - The Jackson County Non-Motorized Plan was adopted by Jackson County and the city of Jackson.
 - Staff continued working on several zoning ordinance and master plan updates for communities in all three counties.
 - Staff began working on an update to the Jackson County Hazard Mitigation Plan.
- IX. Approval of the R2PC FY 2021 Planning Work Program (PWP) and Budget** -- Mr. Duke reviewed the R2PC FY 2021 Planning Work Program that includes the agency proposed budget and staff activities. As in previous fiscal years, approximately one-third of the R2PC FY 2021 budget is funded through state and federal transportation programs. The R2PC will begin FY 2021 with six (6) employees and a projected budget of \$907,128.
- The motion was made by Comm. Elwell, supported by Comm. Grabert, to approve the R2PC FY 2021 Planning Work Program and budget as presented. The motion carried unanimously.

- X. Approval of the R2PC FY 2021 Regional Transportation Planning Work Program –** Mr. Duke reported this program is 100% funded by MDOT to support transportation-related activities in Hillsdale, Jackson, and Lenawee counties. The total FY 2021 award amount is \$45,000.

The motion was made by Comm. Duckham, supported by Comm. Kubish, to approve the R2PC FY 2021 Regional Transportation Planning Work Program and authorize the Chair and Executive Director to sign the agreement with MDOT to accept the funds. The motion carried unanimously.

- XI. Agricultural and Other Land Uses / Cover Overview –** Mr. Bauman reviewed a report included in the agenda packet illustrating major land uses and crop cover in the R2PC 3-county economic development district. This information is gathered to address specific goals and objectives in the R2PC Comprehensive Economic Development Strategy (CEDS).
- XII. Other Business –** Mr. Duke reported that due to the on-going Covid-19 pandemic, the R2PC Annual dinner meeting scheduled for November 12, 2020 has been canceled.

Per the Michigan Planning Enabling Act, the following notices of intent were received by the R2PC:

- The Village of Grass Lake announced the availability of the 2020 edition of their Master Plan for review on their website www.villageofgrasslake.com.
- Henrietta Township Planning Commission submitted their updated 2020-2024 Recreation Plan.
- The City of Reading announced their intent to develop a Master Plan.
- Woodstock Township is finalizing their Master Plan. A copy can be obtained by emailing woodstocktownshipzoning@gmail.com.
- The City of Tecumseh announced the 63-day review period for their draft Russell Road Corridor improvement plan.

No other business was brought before the Commission.

- XIII. Public / Commissioners' Comments –** No additional public or Commissioner comments were received.
- XIV. Adjournment –** There being no further business, Chair Terry adjourned the meeting at 2:38 PM on a motion by Comm. Duckham, supported by Comm. Bair.

Chris Wittenbach
Secretary

Region 2 Planning Commission

Serving Hillsdale, Jackson and Lenawee Counties

MINUTES

Region 2 Planning Commission – Executive Committee

**** TELECONFERENCE MEETING ****

Thursday, October 8, 2020

- I. **Call to Order** – Chair Terry called the meeting to order at 2:03 p.m. A quorum was present.

Executive Committee Members:

Beeker	Grabert	Poole
✓ Drake	Greene	✓ Sigers
Driskill	✓ Guetschow	✓ Terry
Duckham	✓ Jancek	Tillotson
✓ Elwell	✓ Knoblauch	✓ Welsh
✓ Gaede	✓ Kubish	✓ Wittenbach
✓ Gould	Overton	

Key: ✓ = present

Other Commissioners Present: Bair, Herlein, Swartzlander, Witt

Others Present: Mike Davis, MDOT; Jon Dowling, City of Jackson; Angie Kline, JCDOT; Debbie Miller, Rives Township

Staff Present: Bauman, DeOliveira, Hurt, Duke

- II. **Approval of the Agenda** – A motion was made by Comm. Jancek, supported by Comm. Kubish, to approve the October 8, 2020 Executive Committee agenda as presented. The motion carried unanimously.
- III. **Public Comment** – Chair Terry announced the first opportunity for public comment. No public comments were received.
- IV. **Approval of Minutes of the June 11, 2020 Executive Committee Meeting** – A motion was made by Comm. Jancek, supported by Comm. Knoblauch, to approve the June 11, 2020 Executive Committee meeting minutes as presented. The motion carried unanimously.

- V. **Receipt of the Treasurer’s Report of September 30, 2020** – A motion was made by Comm. Kubish, supported by Comm. Gaede, to approve receipt of the Treasurer’s Report for September 30, 2020. The motion carried unanimously.
- VI. **Approval of the October 8, 2020 Submitted Bills** – A motion was made by Comm. Jancek, supported by Comm. Elwell, to approve payment of the October 8, 2020, submitted bills as presented. The motion carried unanimously.
- VII. **Staff Progress Report for September, 2020** – Highlights of the staff report include:
- Staff conducted a Zoom meeting with the CARES grant steering committee and the Michigan Manufacturing Technology Center (MMTC) to review COVID recovery web-site development.
 - Staff is in the process of preparing the 2021 Economic Development Administration (EDA) Partnership Planning grant application. The \$70,000 in federal funds, matched by the R2PC, will be used to prepare the 2021-2025 edition of the 3-county Comprehensive Economic Development Strategy (CEDs).
 - Staff prepared the R2PC FY 2021 Planning Work Program and budget.
 - Staff received 9 resolutions from local jurisdictions adopting the Jackson County – City Non-Motorized Plan.
 - R2PC received a FY 2021 OHSP grant for seatbelt and impaired driving enforcement activities in Jackson County.
 - Staff continued working with local communities on new master plans and updates, zoning ordinance reviews and recreation plans.
 - Staff began work on preparing a new edition of the Jackson County Hazard Mitigation Plan.
- VIII. **Approval of Amendments and Administrative Modifications to the JACTS FY 2020-2023 Transportation Improvement Program (TIP)** – The following amendments and administrative modifications to the JACTS FY 2020-2023 Transportation Improvement Program (TIP) were submitted for review and approval.

Mr. Dowling reported that City of Jackson was requesting the following amendments to the JACTS FY 2020-2023 Transportation Improvement Program (TIP):

FY	Street	Description	Length	Funding	Action
2021	Wisner St Traffic Signals	Replace signals with mast arms on Wisner St., Ganson St., North St., and Argyle St.	N/A	Fed-\$600,000 (HSIP) City-\$680,419	Add
2021	Elmdale Trail: Hickory Ave to MLK Trail	Construct 10 ft wide concrete nonmotorized path along Elmdale Dr. with arch truss bridge	0.998	Fed - \$400,000 (SRTS) City - \$442,655	Add
2022	E. High St. over the Grand River	Bridge Rehab	0	Fed - \$1,457,000 State - \$273,000 City - \$91,000	Add

Mr. Dowling reported that the City of Jackson was requesting the following administrative modifications to the JACTS FY 2020-2023 Transportation Improvement Program (TIP):

FY	JN	Agency	Project Name	Description/Limit	Length	Funding	Action
2021	208108	City of Jackson	Citywide – City of Jackson	Citywide – City of Jackson	0	Fed - \$28,800 State - \$5,400 City - \$1,800	Change project name to North St. Bridge; Change limits to over the Grand River
2021	208108	City of Jackson	Citywide – City of Jackson	Citywide – City of Jackson	0	Fed - \$19,200 State - \$3,600 City - \$1,200	Change project name to Mechanic St. Bridge; Change limits to over the Grand River
2021	208108	City of Jackson	Citywide – City of Jackson	Citywide – City of Jackson	0	Fed - \$16,800 State - \$3,150 City - \$1,050	Change project name to Denton Rd. Bridge; Change limits to Sparks Park pond.
2021	208108	City of Jackson	Citywide – City of Jackson	Citywide – City of Jackson	0	Fed - \$36,000 State - \$6,750 City - \$2,250	Change project name to Trail St. Bridge; Change limits to over the Grand River
2023	207186	Jackson County	Brown Street	Brown Street	Morrell St to Michigan Ave	Fed - \$666,400 Local - \$166,600	Change Agency to City of Jackson

Ms. Kline reported that the Jackson County Department of Transportation was requesting the following amendments to the JACTS FY 2020-2023 Transportation Improvement Program (TIP):

FY	JN	Project Name	Limits	Description	Funding	Action
2021	210386	Edgeline pavement marking	270.7 miles all local roads in Columbia, Liberty, Napoleon, Norvell, Concord, Hanover, Parma, Pulaski, Sandstone Townships	Edge line pavement marking	Fed - \$198,586.10 (HSIP) Local - \$22,065.12 Total – \$220,651.20	Add
2021	210343	South Dearing Rd & McCain Rd	S Dearing Rd at McCain Rd	Mini roundabout	Fed - \$294,204.60 (HRRR) Local - \$32,689.40 Total - \$326,894	Add
2022	209883	South Jackson Rd Bridge Replacement	South Jackson Rd over Grand River	Bridge Replacement	Fed - \$942,400 (HRRR) Local - \$49,600 Local Total - \$992,000	Add
2022	210635	Iron Belle Trail – Mike Levine Lake-lands Trail extension	West Monroe St in the City of Jackson to the intersection of Cooper St. and Parnell Rd	Share-Use Path	\$1,884,711 (TAP) Local - \$1,400,000 Total - \$3,284,711	Add

Mr. Davis reported that MDOT was requesting the following amendments to the JACTS FY 2020-2023 Transportation Improvement Program (TIP):

FY	Job number	Phase	Name	Limits	Length	Description	Funds & Source	Amendment Type
2022	207337	PE	Region-wide	All of Region 2 MPO	1.608	Longitudinal pavement marking application on trunklines in University Region	Fed-\$2,592 (HSIP) State-\$288 Total-\$20,000	Phase Budget Increase over 25%
2022	207338	PE	Region-wide	All of Region 2 MPO	1.659	Special pavement marking application on trunklines in University Region	Fed-\$2,592 (HSIP) State-\$288 Total-\$20,000	Phase Budget Increase over 25%
2023	207373	PE	Region-wide	All of Region 2 MPO	1.471	Special pavement marking application on trunklines in University Region	Fed-\$2,592 (HSIP) State-\$288 Total-\$20,000	Phase Budget Increase over 25%
2021	211152	CON	Region-wide	All routes in Region 2 MPO boundary	2.276	FY2021 Durable Pavement Marking Application	Fed-\$51,840 (HSIP) State-\$5,760 Total-\$400,000	Phase Add
2023	207372	PE	Region-wide	All of Region 2 MPO	1.628	Longitudinal pavement marking application on trunklines in University Region	Fed-\$2,592 (HSIP) State-\$288 Total-\$20,000	Phase Budget Increase over 25%
2021	211152	PE	Region-wide	All routes in Region 2 MPO boundary	2.276	FY2021 Durable Pavement Marking Application	Fed-\$648 (HSIP) State-\$72 Total- \$5,000	Phase Add

A motion was made by Comm. Elwell, supported by Comm. Kubish, to approve the proposed amendments and administrative modifications as presented. The motion carried unanimously.

- IX. **Approval of Resolutions Regarding the 2021 Economic Development Administration (EDA) Partnership Planning Grant Application** – Mr. Hurt reported that he is preparing the 2021 Partnership Planning grant application to fund the development of a 5-year update to the Comprehensive Economic Development Strategy (CEDs). The \$140,000 (\$70,000 federal/\$70,000 R2PC local match) will also be used to promote economic development activities in the 3-county Economic Development District.

The motion was made by Comm. Gaede, supported by Comm. Jancek, authorizing the R2PC Chair to sign the resolution committing \$70,000 in local match funds; and approval of the resolution authorizing Jacob Hurt to sign and submit documents relating to the EDA Partnership Planning application. The motion carried unanimously.

- X. **Other Business** – Mr. Bauman reviewed legislation that placed new limitations in the Michigan Zoning Enabling Act that may require local agencies to amend their current zoning regulations.

No additional business was brought before the Committee.
- XI. **Public Comments/Commissioner Comments** – No further comments were received.
- XII. **Adjournment** – There being no further business, the meeting was adjourned by Chair Terry at 2:30 PM on a motion by Comm. Drake, and supported by Comm. Kubish.

Chris Wittenbach
Secretary

REGION 2 PLANNING COMMISSION
Treasurer's Report - Monthly Summary
as of October 31, 2020

Checking Account Balance ending September 30, 2020	\$	460,244.94
Deposit Summary:		
<i>October 2020 EFT Deposits</i>	\$	83,241.47
<i>October 2020 Bank Deposits</i>		-
<i>October 2020 Adjustments</i>		(1,253.30)
Total Deposits plus Bank Balance	\$	<u>542,233.11</u>
Expenses:		
<i>Submitted Expenses - October 2020 **</i>	\$	(21,192.50)
<i>Interim Expenses</i>		(5,560.13)
<i>Payroll/Related Expenses</i>		(43,159.09)
Subtotal of Expenses	\$	<u>(69,911.72)</u> \$ (69,911.72)
Balance Checking Account ending October 29, 2020	\$	472,321.39
<i>Balance CD Investments ending October 29, 2020</i>	\$	<u>106,067.90</u>
Total Cash on Hand	\$	<u>578,389.29</u>

**Note that this amount can include cleared checks from prior months' submitted bills.

REGION 2 PLANNING COMMISSION
Deposits and Adjustments to Cash
as of October 31, 2020

10/31/2020	EFT Deposits:	
	MDOT - FHWA - Planning Services April-June 2020	\$ 65,219.72
	MDOT - Asset Management - Planning Services April-June 2020	\$ 1,045.00
	Lenawee County Quarterly Dues	\$ 6,976.75
	EDA - CARES Act	\$ 10,000.00
	Subtotal - EFT Deposits	\$ 83,241.47
10/31/2020	Check Deposits:	
	None	-
	Subtotal - Check Deposits	\$ -
10/31/2020	Adjustments to cash:	
	<i>Bank fees - October</i>	\$ (391.05)
	<i>Paycor Fees - October</i>	(227.91)
	<i>Credit Card charges - postage</i>	(140.95)
	<i>Credit Card charges - supplies - Direct Office Buys</i>	(53.84)
	<i>Credit Card charges - supplies - Target</i>	(155.32)
	<i>Credit Card charges - supplies - Adobe</i>	(165.23)
	<i>Credit Card charges - membership for life ins - Small Business Assoc.</i>	(119.00)
	Subtotal - Adjustments to Cash	\$ (1,253.30)
	Total Net Deposits for October	\$ 81,988.17

**REGION 2 PLANNING COMMISSION
INTERIM BILLING and PAYROLL EXPENSES
as of October 31, 2020**

Interim Billing for October, 2020

<u>Vendor</u>	<u>Description</u>	<u>Amount</u>	<u>Check #</u>
<i>Allegra</i>	R2PC Packet - Oct. 2020	\$ 215.36	14825
<i>HCRC</i>	Paser Ratings	\$ 1,906.56	14831
<i>INSCCU</i>	Child Support	\$ 1,064.00	14833
<i>JTV</i>	Website Maintenance	\$ 225.00	14836
<i>Jackson County</i>	Postage - Sept. 2020	\$ 13.25	14830
<i>Jackson County</i>	Phone/Accounting Services - Sept. 2020	\$ 1,807.53	14830
<i>Planning & Zoning News</i>	Subscription Renewal	\$ 185.00	14839
<i>The SBAM Plan</i>	Employee Life Ins.	\$ 143.43	14843
Total Interim Billing for October, 2020		\$ 5,560.13	

Payroll & Travel Related Expenses:

<i>Paid October 2, 2020</i>		<i>by Direct Deposit/EFT</i>	
Paycor	Payroll Disbursement	\$ 14,154.95	
T. DeOliveira	Travel Reimbursement	\$ 12.02	
J. Hurt	Travel Reimbursement	\$ 21.85	
Total		\$ 14,188.82	
<i>Paid October 16, 2020</i>		<i>by Direct Deposit/EFT</i>	
Paycor	Payroll Disbursement	\$ 14,378.26	
G. Bauman	Travel Reimbursement	\$ 63.03	
J. Hurt	Travel Reimbursement	\$ 71.88	
Total		\$ 14,513.17	
<i>Paid October 31, 2020</i>		<i>by Direct Deposit/EFT</i>	
Paycor	Payroll Disbursement	\$ 14,378.26	
G. Bauman	Travel Reimbursement	\$ 55.26	
J. Hurt	Travel Reimbursement	\$ 23.58	
Total		\$ 14,457.10	

Total Payroll Expenses for October, 2020		\$ 43,159.09	
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**Region 2 Planning Commission
Outstanding Accounts Receivable
as of October 31, 2020**

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Municipality/Source	Date	Inv. No.	Amount
None			-

FY 2021 Balance as of October 31, 2020

\$ -

REGION 2 PLANNING COMMISSION
Submitted Bills
November, 2020

Vendor	Description	Amount Due
Allegra	R2PC Envelopes	\$ 940.00
American Planning Assoc.	APA Membership (TD)/PAS Renewal	\$ 1,308.00
Blue Cross/Blue Shield	Employee Health Ins. (Dec. 2020)	\$ 4,938.98
Blue Cross/Blue Shield	Supplement F (Dec. 2020)	\$ 195.71
Blue Cross/Blue Shield	Prescription Coverage (Dec. 2020)	\$ 105.10
City of Jackson	Traffic Counts (7/1/20-9/30/20)	\$ 7,222.13
County of Jackson	Rent Expense for November 2020	\$ 3,138.81
County of Jackson	Postage Oct. 2020	\$ 67.92
ICMA Retirement Trust	ICMA 401 Contribution	\$ 2,478.57
The SBAM Plan	Employee Life Ins. (Dec. 2020)	\$ 143.43
Vantage Point Transfer Agents	ICMA RHS Contribution	\$ 291.53

Total Submitted Billing - November, 2020	\$ 20,830.18
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Region 2 Planning Commission

Serving Hillsdale, Jackson and Lenawee Counties

Staff Progress Report October 2020

Area-Wide Regional Planning Activities

Economic Development Activities

- **Economic Development Administration (EDA).** Staff was involved in the following activities on behalf of the R2PC Economic Development District (EDD):
 - Noncompetitive EDD (Economic Development District) CARES (Coronavirus Aid, Relief, and Economic Security) Act supplemental grant award to address the economic consequences of the COVID-19 Pandemic. The \$351,183 award will fund the launching of an easy-to-use website that will serve as a resource for local businesses, the hiring of a disaster recovery coordinator, and the implementation of other CEDS goals.
 - Submitted semi-annual progress report and financial report to EDA on October 28.
 - Worked with Chicago Office EDA reps to determine process and timing of awarding the R2PC CARES Act recovery website development to the Michigan Manufacturing Technology Center (MMTC).
 - Submitted application for \$70,000 in EDA funds for FY 2021 Partnership Planning Assistance, which will be used to write the 2021-2025 edition of the Region 2 Economic Development District Comprehensive Economic Development Strategy (CEDS) to the Chicago Office of the EDA on October 22.
 - Submitted FY2020 Partnership Planning semiannual progress report and financial report to EDA on October 28.
 - Participated in the EDA Chicago Office quarterly conference call for Economic Development Districts on October 28.
- **Downtown Development Authorities (DDAs).** Staff attended the monthly meetings of the City of Jackson and Leoni Downtown Development Authorities.

R2PC Activities

- **R2PC Website.** Staff continued updating www.region2planning.com.
- **Zoom® Training.** Staff participated in a remote conversation with Jackson County IT regarding how to best utilize Zoom®, the online meeting tool.
- **#MI Water School.** Staff participated in the October 8 and 22 sessions of the annual online educational opportunity.

[October, 2020 Staff Progress Report]

- Staff spoke with a staff member from the Michigan Department of Treasury regarding future funding opportunities available to the state's regional planning agencies.

Regional Transportation Planning Hillsdale, Jackson, and Lenawee Counties

Program Management

- **Rural Task Force.** Staff submitted the Rural Task Force monthly progress report to MDOT and participated in the monthly conference call.
- **Training.** Attended virtual training on current program updates.
- **Update Region 9 Mobility Plan.** MDOT is starting discussions to consider updating the Region 9 Mobility Plan. Communities within the Region 2 Planning Commission are within MDOT's Region 9 Mobility Plan.
- **Non-Motorized Traffic Counts.** MDOT is developing a statewide non-motorized traffic count program and website. Staff continues to work with MDOT and local county staff to establish future non-motorized count locations. This count program is using state resources to benefit the state and local communities.

Metropolitan Area Transportation Planning Jackson Area Comprehensive Transportation Study

Program Management

- Staff completed the necessary requirements to ensure that the Title VI plan is current and compliant.
- Staff attended the monthly Michigan Transportation Planning Association meeting.
- Staff completed the MDOT quarterly invoices and project narratives for asset management, rural task force planning, regional planning, and JACTS activities.
- Staff attended the Local Transportation Advisory Council (LTAC) meeting.
- Staff conducted meetings of the JACTS Technical Advisory and Policy Committee meetings.
- Staff attended a ceremony renaming a segment of I-94 in honor of three fallen prison guards.
- Staff attended the Fall 2020 virtual TAMC asset management conference where pavement asset management plans, flood mitigation, storm water management, Jackson County's pavement recycling program and other topics were discussed.

Technical Assistance

- Staff continues to provide administrative services for the Active Jackson Coalition.
- Staff participated in an I-94 Zoom meeting to review and sign off on a proposal to alter non-motorized facilities programmed for the Elm Road interchange reconstruction.

[October, 2020 Staff Progress Report]

- Staff continued providing assistance to the group discussing the possibility of a trail study for the Watkins Lake State Park/Brooklyn area. Local governments in the southeastern portion of the county have passed resolutions to financially support a feasibility study for the trail. Staff is working with the Irish Hills Chamber of Commerce to figure out the next steps in developing a possible feasibility study for the trail.
- **City of Jackson and Jackson County Non-Motorized Plan.** Staff has received formal resolutions adopting the plan from the following communities:
 - Jackson County (July 2020)
 - City of Jackson (August 2020)
 - Village of Brooklyn (September 2020)
 - Village of Springport (September 2020)
 - Concord Township (September 2020)
 - Summit Township (September 2020)
 - Hanover Township (September 2020)
 - Blackman Township (October 2020)
 - Spring Arbor Township (October 2020)
 - Active Jackson Coalition Letter of Support (July 2020)
 - Michigan Department of Transportation (MDOT) Letter of Support (September 2020)

Staff will continue to facilitate plan approval by any Jackson County villages and/or townships. Staff continues to work with townships and villages to approve the document and incorporate pertinent maps into local plans.

Staff is available to discuss possible next steps in implementing the plan's recommendations and/or any grant opportunities.

Transportation Improvement Program (TIP)

- Several amendments were presented to the JACTS committees for the FY 2020-2023 TIP.
- Amendments were incorporated into FY 2020-2023 TIP.
- Staff monitored and updated JobNet as necessary.

Jackson Traffic Safety Program

- Staff processed the Final Progress Report and submitted to OHSP.
- The FY 2021 DUI/Seat Belt Overtime Grant campaign started on October 1, 2020.

Local Planning Assistance

The requests of member units of government within Hillsdale, Jackson, and Lenawee Counties are listed below. These activities were prepared at cost to the individual units of government requesting the service (unless alternative funding was available).

[October, 2020 Staff Progress Report]

Hillsdale County

Somerset Township. Staff provided the following service(s):

- **Zoning Ordinance.** Met with the Planning Commission Chair on October 21 to discuss her further edits to the proposed zoning ordinance update and then began the process of making them.

Jackson County

Village of Brooklyn. Staff provided the following service(s):

- **Zoning Code.** Met with the Village Planning Commission on October 28 to review the next slate of proposed substantive changes to the Village Zoning Code.

Hanover Township. Staff provided the following service(s):

- **Master Plan.** Met with the Township Planning Commission on October 21 to discuss the notice of intent to plan (NOI), the proposed survey, and the format for summarizing demographics.

County of Jackson. Staff provided the following service(s):

- **County Planning Commission (JCPC).** Facilitated the October 8 meeting held remotely via Zoom and summarized staff advisements regarding proposed rezoning in Summit Township and the proposed Village of Grass Lake Master Plan.
- **Solid Waste Management.** Met with a consultant from the Michigan Department of Environment, Great Lakes, and Environment (EGLE) on October 7 who is learning more about recycling efforts across the state and filled out a survey on the subject.
- **Jackson County Hazard Mitigation Plan.** Hosted webinars on October 22, 26, and 27, open to the public, during which the Community Profile and Potential Hazard plan elements were summarized and ranking the danger each hazard poses was solicited.

Norvell Township. Staff provided the following service(s):

- **Master Plan.** Staff provided the Deputy Supervisor with a cost estimate for facilitating the development of a new master plan as well as the adoption requirements regarding the plan.
- **Zoning Ordinance.** Staff spoke with the Deputy Supervisor about updating the Township zoning map and referred him to Jackson County GIS.

Summit Township. Staff provided the following service(s):

- **Zoning Ordinance.** Developed and transmitted a report to the Planning Commission regarding a proposed rezoning in the Township.

Lenawee County

Adrian Township. Staff provided the following service(s):

- **Zoning Ordinance.** Provided an example of regulating an ORV (off-road vehicles) park as a conditional/special land use.

Cambridge Township. Staff provided the following service(s):

[October, 2020 Staff Progress Report]

- **Zoning Ordinance.** Updated/made improvements to the zoning map at the request of the Township Clerk.

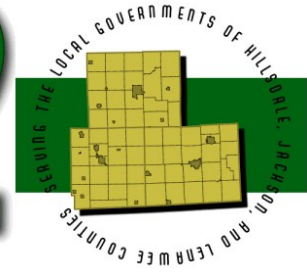
County of Lenawee. Staff provided the following service(s):

- **County Planning Commission (LCPC).** Cancelled the October 15 meeting due to changing requirements for holding remote meetings during the COVID-19 pandemic.

Raisin Charter Township. Staff provided the following service(s):

- **Master Plan.** Facilitated the October 13 Planning Commission discussion regarding refinements to the future land use plan, zoning plan, and implementation plan elements of the master plan.

Region 2 Planning Commission



MEMORANDUM

TO: Region 2 Planning Commission

FROM: Steven M. Duke, Executive Director

DATE: November 2, 2020

SUBJECT: Appointment of 2021 R2PC Nominating Committee

The Region 2 Planning Commission annually elects an Executive Committee and officers. The R2PC bylaws call for the election of a Nominating Committee to facilitate this process. The Nominating Committee is elected annually at the November R2PC Full Commission meeting and is comprised of five (5) R2PC Commissioners. The Committee has the responsibility of recommending a slate of twenty-one (21) candidates for the Region 2 Planning Commission's Executive Committee. The slate is placed in nomination at the January, 2021 meeting for consideration for election. In addition, the Nominating Committee meets following the establishment of the Executive Committee to prepare a recommendation on nominations for the R2PC Officers including the Chair, Vice-Chair, Treasurer, and Secretary.

The election of the 2021 Nominating Committee will take place at the November 12, 2020 Full Commission meeting. The members of the 2020 Nominating Committee included: **Alan Beeker** and **Doug Terry** from Hillsdale County; **Pete Jancek** and **Mike Overton** from Jackson County; and **Ralph Tillotson** representing Lenawee County.

Nominations will be taken from the floor to fill the five (5) positions on the 2021 Nominating Committee. All Commissioners on the Full Commission roster are eligible for appointment.



**STATE OF MICHIGAN
DEPARTMENT OF TRANSPORTATION
LANSING**

GRETCHEN WHITMER
GOVERNOR

PAUL C. AJEGBA
DIRECTOR

October 6th, 2020

Mr. Steve Duke,
Executive Director
Region 2 Planning Commission
Jackson County Tower Building
120 W. Michigan Avenue, 9th Floor
Jackson, Michigan 49201

Dear Mr. Duke:

This letter is sent by the Michigan Department of Transportation (MDOT) to inform the Jackson Area Comprehensive Transportation Study committees of several TIP amendments to the FY 2020-2023 Transportation Improvement Plan (TIP).

<u>Fiscal Year</u>	<u>Job no.</u>	<u>Phase</u>	<u>Project Name</u>	<u>Limits</u>	<u>Length</u>	<u>Project Description</u>	<u>Federal Budget</u>	<u>State Budget</u>	<u>Federal Fund Source</u>	<u>Total Phase Cost</u>	<u>Amendment Type</u>
2020	208524	UTL	I-94	I-94/US-127 North/West Avenue Interchange	5.22	Freeway Interchange Reconstruction	\$0	\$75,000	RBMP	\$75,000	Phase Abandoned
2020	211574	NI	Norfolk Southern Railway	Kalamazoo - Dearborn state owned railroad right-of-way	3.48	Curve Patch Rail Replacement	\$3,400,010	\$0	5337	\$3,400,010	Phase Add
2020	211571	NI	Norfolk Southern Railway	Kalamazoo - Dearborn state owned railroad right-of-way	4.19	Rail Train	\$2,678,397	\$0	5337	\$2,678,397	Phase Add

Thank you for your attention to this request. If you have any questions or need additional information, please contact me at 517-257-9248

Sincerely, Mike Davis Jr, Transportation Planner

Region 2 Planning Commission

Serving Hillsdale, Jackson and Lenawee Counties

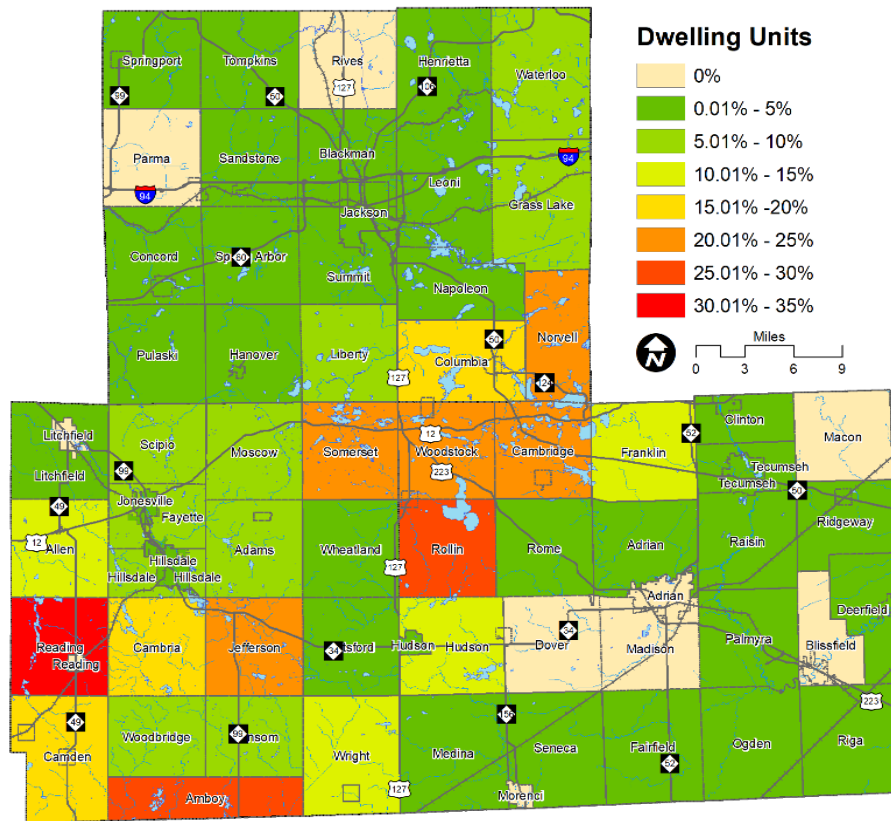
To: Region 2 Planning Commissioners
Municipal and County Planning Commissioners in the Region 2 Area
Economic Development Organizations (EDOs) & Other Interested Parties

From: Grant E. Bauman, R2PC Principal Planner

Date: November 12, 2020

Subject: **Seasonal Housing**

Census data describing the population characteristics is limited to year-round residents. However, seasonal dwellings comprise a significant portion of the housing stock in various minor civil divisions.* These concentrations of seasonal housing appear to be located in rural Townships containing lakeside (see the map). For example, more than 30% of the dwellings in Reading Township and more than 25% of the homes in Amboy and Rollin Townships were seasonal in 2018.



* Please note that minor civil divisions excludes villages, whose dwellings are included in the township(s) of which they are also a part.

Liberty

101 West Liberty Road
Clarklake, Michigan 49234



Township

Phone (517) 529-4374
Fax (517) 529-9066

October 8, 2020

Board of Jackson County Commissioners
Region 2 Planning Commission
Jackson County Department of Transportation

Recently Region 2 released an "integrated non-motorized trail path" plan for our county. The Liberty Township Board of Trustees wishes to voice its strong opposition to this proposal and the funding to support it.

In our recently completed five year "land use plan" Liberty Township specifically addresses both water and walking trails in appropriate areas not associated with roadways. The Region 2 plan calls for expanded right of way purchases or condemnations to accommodate a six foot bike lane with shoulder on both sides of "Class A", primary and township local roads across our township. These types of road projects were specifically left out of our plan as we do not wish to become someone's bike recreation venue at the expense of our rural landscape, traffic safety and inconvenience to our residents.

The idea of putting bike lanes along Jefferson, S. Jackson, Liberty, and more specifically Moscow Rd. is nothing short of pure ignorance.

We wish to make it clear that Liberty Township will aggressively contest further consideration of this plan and its funding. Please be clear that we do not wish to be anyone's bicycle park.

The Liberty Township Board of Trustees

Jill Liogghio

From: Tanya DeOliveira
Sent: Friday, October 23, 2020 10:35 AM
To: Jill Liogghio
Subject: FW: Response to Liberty Township Comments
Attachments: 20201019091232.pdf

Can, can you include this email chain and the attached as part of the enclosures for the next JACTS meeting packet? This was what I had mentioned earlier this week. Steve will know what it is for.

Tanya DeOliveira, AICP
Principal Transportation Planner
Region 2 Planning Commission
120 W. Michigan Avenue - 9th Floor
Jackson, MI 49201
517.768.6703
517.745.9041

From: Tanya DeOliveira
Sent: Wednesday, October 21, 2020 8:41 AM
To: 'libertysupervisor@comcast.net' <libertysupervisor@comcast.net>; 'libertyclerk@comcast.net' <libertyclerk@comcast.net>
Cc: Steven Duke <SDuke@mijackson.org>; Mike Overton <moverton@mijackson.org>; Jim Shotwell <JShotwell@mijackson.org>; Christopher Bolt <cbolt@mijackson.org>; Angela Kline <akline@mijackson.org>
Subject: Response to Liberty Township Comments

Dear Liberty Township Board of Trustees,

Thank you for your recent comments on the Jackson City + County Nonmotorized Plan dated October 8, 2020. The office received these comments on October 19, 2020.

As was previously discussed during a phone call earlier this fall with James Spink, Liberty Township Supervisor, the aforementioned plan is a guide for future developments, and is meant to help with potential future grant opportunities. The plan is not a construction document nor a mandate.

The township should continue to work with the Jackson County Department of Transportation to develop their transportation system, noting that they are not interested in implementing the recommendations of the plan at this time.

Thank you,

Tanya DeOliveira, AICP
Principal Transportation Planner
Region 2 Planning Commission
120 W. Michigan Avenue - 9th Floor
Jackson, MI 49201
517.768.6703
517.745.9041

HILLSDALE COUNTY PLANNING COMMISSION
HILLSDALE COUNTY, MICHIGAN

33 McCollum St. - Suite 223
Hillsdale MI 49242-1688
Phone: (517) 439-9166
Email: planning@co.hillsdale.mi.us



R2PC

OCT 29 2020

TO: Hillsdale County Municipal Legislative Bodies,
Contiguous Municipal Legislative Bodies, Hillsdale County Board of Commissioners,
Public Utility Companies and Railroad Companies

FROM: Hillsdale County Planning Commission

DATE: October 23, 2020

RE: NOTICE OF INTENT TO UPDATE THE HILLSDALE COUNTY MASTER PLAN

In accordance with the *Michigan Planning Enabling Act* (PA 33 of 2008 as amended), the purpose of this correspondence is to advise your local unit of government that the Hillsdale County Planning Commission intend to prepare an updated edition of the Hillsdale County Master Plan.

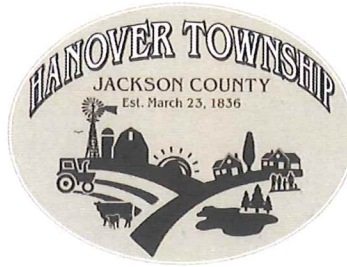
The Hillsdale County Planning Commission may elect to utilize electronic mail and/or its website for future submittals regarding the updated edition of the Hillsdale County Master Plan required under section 41 or 43 of the *Michigan Planning Enabling Act*. Please request in writing or email to the following address if you prefer to receive hard copies of future communications. Other questions and comments may also be directed here:

Hillsdale County Planning Commission
33 McCollum Street, Suite 223
Hillsdale, MI 49242

planning@co.hillsdale.mi.us

We thank you for your consideration in this matter. If you have questions or comments, please contact the Hillsdale County Planning Commission. We look forward to your input throughout this process.

R2AC



NOV - 2 2020

Notice of Intent to Prepare a Master Plan

Hanover Township, in Jackson County, Michigan, announces its intent to prepare a new edition of the *Hanover Township Master Plan* and requests the cooperation of, and comments from, the recipients of this notice. The following municipal and county planning commissions, utilities, and transportation agencies/companies are receiving this notice of intent as required by Section 39 of the Michigan Planning Enabling Act (MCL 125.3839):

- Concord Township
- Liberty Township
- Moscow Township
- Pulaski Township
- Scipio Township
- Somerset Township
- Spring Arbor Township
- Summit Township
- Jackson County Planning Commission
- Region 2 Planning Commission
- Consumers Energy
- Frontier Communications
- WOW!
- Jackson County Department of Transportation
- ANR Pipeline
- DCP Jackson Pipeline Company
- BP River Rouge Pipeline Company

Hanover Township will utilize electronic mail and its website (<https://hanover-twp.org/>) for future required submittals regarding the development and approval of the next edition of the *Hanover Township Master Plan*. Please notify Ms. Rachel Heath, Township Clerk, in writing if you prefer to receive hard copies of future communications. Also, direct other questions and comments to Ms. Heath. Her contact information is:

Ms. Rachel Heath, Clerk
Hanover Township
PO Box 40
Horton, MI 49246
(517) 563-2791
clerk@hanover-twp.org



TO: Planning Commission

FROM: Zoning Administrator

DATE: November 17, 2020

RE: Keefer House Hotel

Background: In January of 2020, the owners of the Keefer House Hotel submitted the site plan for review and approval. At that time, City staff and the Commission requested some additional information. Prior to resubmittal, the rest of 2020 happened and the final drawing set was not submitted. The owners are now nearing the projected start of construction and need the permits. The final set of drawings are herein submitted and address the issues raised by Staff and Commission.

CITY OF HILLSDALE



ALAN C. BEEKER
ZONING ADMINISTRATOR
97 NORTH BROAD STREET
HILLSDALE, MICHIGAN 49242-1695
(517) 437-6449 FAX: (517) 437-6450

January 6, 2020

Below is a list of the items cited during the meeting to review the plans of the proposed rehabilitation to the property located at 104 North Howell Street. The project includes the rehabilitation and renovation of the historic Keefer Hotel.

Present: Matt Taylor (City Engineer), Scott Hephner (Police & Fire Chief), Mark Hawkins (Deputy Fire Chief), Jake Hammel (Dept. of Public Services Director), Bill Briggs (Board of Public Utilities Water Dept.), Alan Beeker (Zoning Administrator), Chris McArthur (Board of Public Utilities Director), Chad Culbert (Board of Public Utilities Electric Dept.) and Brant Cohen (CL Enterprises).

Present by Phone: Aaron Holverson (Project Architect, Gary Anderson Architects) and Brian Breslin (CL Enterprises).

Zoning

- No issues.

City Engineer

- Field verify that storm drain connections will not adversely affect existing storm connections.
- Requested a Photometrics plan.

Public Services

- Existing trees to be removed are verified as volunteers. No tree valuation will be required.
- Follow MUTC rules for traffic control during the project.
- The DPS director asked that the General Contractor meet together soon to discuss placement of job trailers, contractor parking, material storage and deliveries, etc.

Public Safety

Fire Department

- Verified that new elevator was of sufficient size to accommodate emergency equipment and gurney.

Police Department

- Will work with Zoning and Owner to accommodate parking requirements for new hotel.

Board of Public Utilities (BPU)

Electrical

- Project will require a new transformer. Owner will be responsible for the concrete pad and final installation at building. BPU will supply transformer and run line to building. BPU will draft an Electrical Easement for Owner to approve.

Water/Sanitary

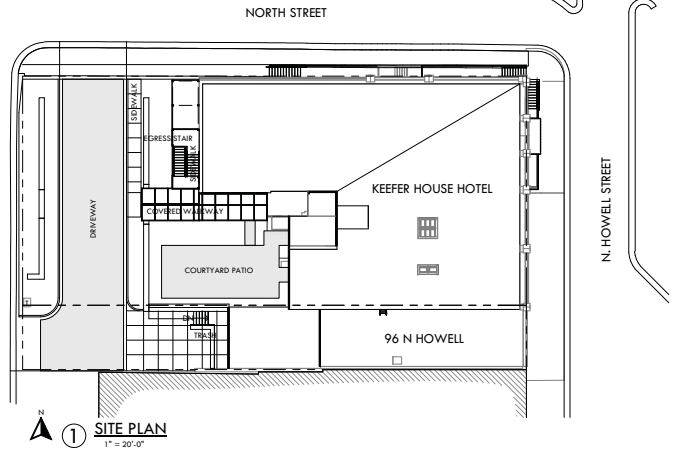
- BPU will review 2006 MDOT project documents to verify if any improvements were made to existing water or sanitary leads.

The Planning Commission will review the drawings at the regular meeting which will be held on January 21, 2020 at 5:30 pm. The location will be at City Hall, 97 N. Broad St. in the 2nd Floor Conference Room.

Renovation of THE KEEFER HOUSE HOTEL



② **NORTHEAST PERSPECTIVE**



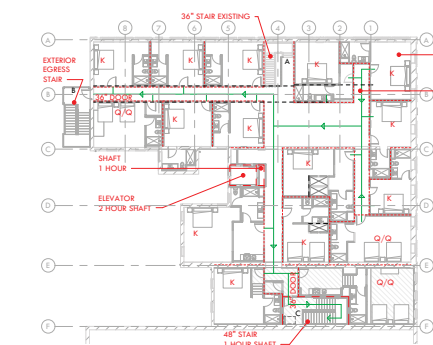
① **SITE PLAN**
1" = 20'-0"

SHEET INDEX	
SHEET NUMBER	SHEET NAME
AP-01	Unamed
General	
G001	SHEET INDEX
G002	CODE REVIEW
G003	ACCESSIBILITY
Civil	
C0	CIVIL COVER SHEET
C1	BOUNDARY AND TOPOGRAPHIC SURVEY
C2	DEMOLITION PLAN
C3	ENGINEERING PLAN
C4	UTILITY PROFILES
C5	SOIL EROSION CONTROL AND DRAINAGE AREA PLAN
C6	NOTES AND DETAILS
C7	NOTES AND DETAILS
Landscape	
L1	SITE IRRIGATION PLAN
L1.1	OVERALL SITE LAYOUT & MATERIALS PLAN
L2	PLANTING PLAN
L3	LANDSCAPE DRAINAGE PLAN
L4	DETAIL PLAN & SITE DETAILS
L4.1	SITE DETAILS
L4.2	SITE DETAILS
L4.5	LOW VOLTAGE LANDSCAPE LIGHTING PLAN
Structural	
S-0	GENERAL NOTES
S-1	FOUNDATION PLAN
S-2	1ST FLOOR FRAMING PLAN
S-3	2ND FLOOR FRAMING PLAN
S-4	3RD FLOOR FRAMING PLAN
S-5	ROOF AND CEILING FRAMING PLAN
S-6	FOUNDATION DETAILS
S-7	FRAMING DETAILS
Architectural	
AD100	LOWER LEVEL DEMO PLAN
AD101	FIRST FLOOR DEMO PLAN
AD102	SECOND FLOOR DEMO PLAN
AD103	THIRD FLOOR DEMO PLAN
AD400	REFLECTED CEILING DEMO PLANS
Architectural	
A100	LOWER LEVEL PLAN
A101	FIRST FLOOR PLAN
A102	SECOND FLOOR PLAN
A103	THIRD FLOOR PLAN
A104	ROOF PLAN
A201	ELEVATIONS
A301	ELEVATOR + STAIR DETAILS
A302	STAIR B & C
A303	LARGE SCALE PLANS
A304	SECTIONS
A400	LOWER LEVEL REFLECTED CEILING PLAN
A401	FIRST FLOOR REFLECTED CEILING PLAN
A402	SECOND FLOOR REFLECTED CEILING PLAN
A403	THIRD FLOOR REFLECTED CEILING PLAN
A501	WALL TYPES
A601	SCHEDULES
A602	ROOM FINISH SCHEDULE
Interior Design	
ID001	NOTES
ID002	SCHEDULES
ID003	DOOR ELEVATIONS
ID101	SITE PLAN
ID200	INTERIOR CONSTRUCTION/MILLWORK PLAN - LOWER LEVEL
ID201	INTERIOR CONSTRUCTION/MILLWORK PLAN - LEVEL 01
ID202	INTERIOR CONSTRUCTION/MILLWORK PLAN - LEVEL 02
ID203	INTERIOR CONSTRUCTION/MILLWORK PLAN - LEVEL 03
ID300	REFLECTED CEILING PLAN - LOWER LEVEL
ID301	REFLECTED CEILING PLAN - LEVEL 01
ID302	REFLECTED CEILING PLAN - LEVEL 02

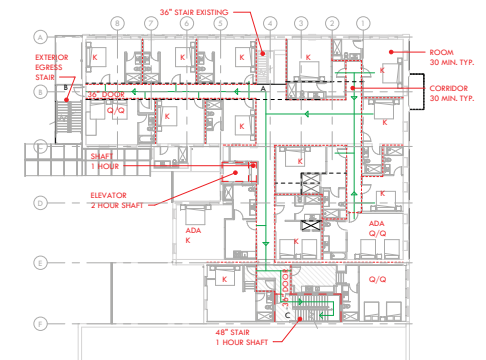
SHEET INDEX	
SHEET NUMBER	SHEET NAME
ID303	REFLECTED CEILING PLAN - LEVEL 03
ID400	FINISH PLAN - LOWER LEVEL
ID401	FINISH PLAN - LEVEL 01
ID402	FINISH PLAN - LEVEL 02
ID403	FINISH PLAN - LEVEL 03
Plumbing	
PD001	ENLARGED PUBLIC AREA RESTROOM PLANS
PD002	ENLARGED PUBLIC AREA RESTROOM PLANS
PD003	ENLARGED GUESTROOM PLANS - X01, X09 STACKS
PD004	ENLARGED GUESTROOM PLANS - X02 STACK
PD005	ENLARGED GUESTROOM PLANS - X03 STACK
PD006	ENLARGED GUESTROOM PLANS - X04 STACK
PD007	ENLARGED GUESTROOM PLANS - X05 STACK
PD008	ENLARGED GUESTROOM PLANS - X06 STACK
PD009	ENLARGED GUESTROOM PLANS - ROOM 207
PD010	ENLARGED GUESTROOM PLANS - ROOM 307
PD011	ENLARGED GUESTROOM PLANS - ROOM 208
PD012	ENLARGED GUESTROOM PLANS - X10 STACK
PD013	ENLARGED GUESTROOM PLANS - X12, X13 STACKS
PD014	ENLARGED GUESTROOM PLANS - X14 STACK
PD015	ENLARGED GUESTROOM PLANS - X15, X16 STACKS
PD016	ENLARGED GUESTROOM PLANS - X17 STACK
PD017	ENLARGED GUESTROOM PLANS - ROOM 005
PD018	ENLARGED GUESTROOM PLANS - ROOM 004
PD019	ENLARGED GUEST BATH PLANS - TYPES 01, 02A
PD020	ENLARGED GUEST BATH PLANS - TYPES 02B, 03
PD021	ENLARGED GUEST BATH PLANS - TYPES 04A, 04B
PD022	ENLARGED GUEST BATH PLANS - TYPES 05, 06
PD023	ENLARGED GUEST BATH PLANS - TYPES 07, 08
PD024	ENLARGED GUEST BATH PLANS - TYPE 09, 10
PD025	ELEVATIONS - LOWER LEVEL
PD026	ELEVATIONS - PUBLIC RESTROOMS
PD027	ELEVATIONS - LOBBY LEVEL
PD028	ELEVATIONS - LOBBY LEVEL
PD029	ELEVATIONS - GUESTROOM FR&E MOUNTING HEIGHTS
PD030	ELEVATIONS - GUESTROOMS
PD031	ELEVATIONS - GUESTROOMS
PD032	ELEVATIONS - GUEST BATHROOMS
PD033	ELEVATIONS - GUEST BATHROOMS
PD034	ELEVATIONS - GUEST BATHROOMS
PD035	ELEVATIONS - GUEST BATHROOMS
PD036	ELEVATIONS - GUEST BATHROOMS
PD037	ELEVATIONS - GUEST BATHROOMS
PD038	ELEVATIONS - GUEST BATHROOMS
PD039	ELEVATIONS - GUEST BATHROOMS
PD040	ELEVATIONS - GUEST BATHROOMS
PD041	ELEVATIONS - GUEST BATHROOMS
PD042	ELEVATIONS - GUEST BATHROOMS
PD043	ELEVATIONS - GUEST BATHROOMS
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PD248	ELEVATIONS - GUEST BATHROOMS
PD249	ELEVATIONS - GUEST BATHROOMS
PD250	ELEVATIONS - GUEST BATHROOMS

SHEET INDEX	
SHEET NUMBER	SHEET NAME
FP103	THIRD FLOOR - FIRE PROTECTION
FP200	DETAILS - FIRE PROTECTION
FP500	SCHEDULES - FIRE PROTECTION
FP600	RISER DIAGRAM - FIRE PROTECTION
FP700	SCHEDULES - FIRE PROTECTION
Plumbing	
P000	PLUMBING COVERSHEET
PD100	UNDERFLOOR - PLUMBING - DEMOLITION
PD101	LOWER LEVEL - PLUMBING - DEMOLITION
PD102	FIRST FLOOR - PLUMBING - DEMOLITION
PD103	SECOND FLOOR - PLUMBING - DEMOLITION
PD104	THIRD FLOOR - PLUMBING - DEMOLITION
Plumbing	
P100	UNDERFLOOR - PLUMBING
P101	LOWER LEVEL - PLUMBING
P102	FIRST FLOOR - PLUMBING
P103	SECOND FLOOR - PLUMBING
P104	THIRD FLOOR - PLUMBING
P200	DETAILS - PLUMBING
P300	SCHEDULES - PLUMBING
P500	PLUMBING DETAILS
P502	PLUMBING DETAILS
P600	RISER DIAGRAM - PLUMBING
P700	SCHEDULE - PLUMBING
P701	SCHEDULE - PLUMBING
Mechanical	
M000	MECHANICAL COVERSHEET
MD100	LOWER LEVEL - MECHANICAL - DEMOLITION
MD101	FIRST FLOOR - MECHANICAL - DEMOLITION
MD102	SECOND FLOOR - MECHANICAL - DEMOLITION
MD103	THIRD FLOOR - MECHANICAL - DEMOLITION
Mechanical	
M100	LOWER LEVEL - MECHANICAL
M101	FIRST FLOOR - MECHANICAL
M102	SECOND FLOOR - MECHANICAL
M103	THIRD FLOOR - MECHANICAL
M104	ROOF - MECHANICAL
M300	DETAILS - MECHANICAL
M500	SCHEDULES - MECHANICAL
M501	SCHEDULES - MECHANICAL
M700	SCHEDULES - MECHANICAL
M701	SCHEDULES - MECHANICAL
Temperature Control	
TC000	TEMPERATURE CONTROL COVERSHEET
TC500	TEMPERATURE CONTROLS
TC501	TEMPERATURE CONTROLS
Electrical	
E000	ELECTRICAL COVERSHEET
ED100	LOWER LEVEL - ELECTRICAL - DEMOLITION
ED101	FIRST FLOOR - ELECTRICAL - DEMOLITION
ED102	SECOND FLOOR - ELECTRICAL - DEMOLITION
ED103	THIRD FLOOR - ELECTRICAL - DEMOLITION
Electrical	
E100	LOWER LEVEL - LIGHTING
E101	FIRST FLOOR - LIGHTING
E102	SECOND FLOOR - LIGHTING
E103	

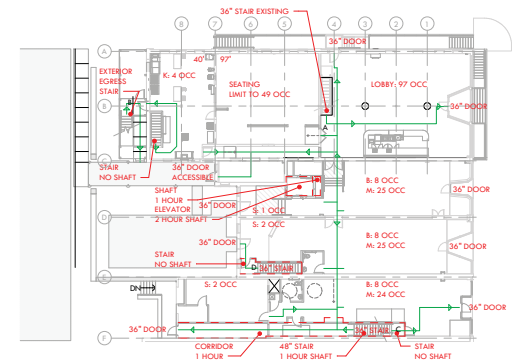
CODE REVIEW SUMMARY				
PROJECT LOCATION & TYPE				
JURISDICTION	CITY OF HILLSDALE, MICHIGAN			
TYPE OF PROJECT	RENOVATION			
APPLICABLE CODES				
BUILDING CODE	2015 MICHIGAN BUILDING CODE			
EXISTING BUILDING CODE	2011 MICHIGAN REHABILITATION CODE			
PLUMBING CODE	2014 MICHIGAN PLUMBING CODE			
ELECTRICAL CODE	NFPA 70 -- NATIONAL ELECTRICAL CODE 2011			
MECHANICAL CODE	2015 MICHIGAN MECHANICAL CODE			
ACCESSIBILITY CODE	2010 USDOJ ADA STANDARDS			
ENERGY CODE	2015 INTERNATIONAL ENERGY CONSERVATION CODE			
BUILDING DATA				
CONSTRUCTION TYPE	IIB	IBC TABLE 601		
OCCUPANCY CLASSIFICATION	PRIMARY: R1 WITH ACCESSORY A2, B TENANTS			
OCCUPANT LOAD				
R1	200 GROSS SF/OCCUPANT	94 OCCUPANTS	IBC TABLE 1004.1.2	
B	100 GROSS SF/OCCUPANT	24 OCCUPANTS	IBC TABLE 1004.1.2	
S	300 GROSS SF/OCCUPANT	20 OCCUPANTS	IBC TABLE 1004.1.2	
A	15 GROSS SF/OCCUPANT RESTAURANT / HOTEL LOBBY	146 OCCUPANTS	IBC TABLE 1004.1.2	
A	200 GROSS SF/OCCUPANT COMMERCIAL KITCHEN	9 OCCUPANTS	IBC TABLE 1004.1.2	
TOTAL OCCUPANT LOAD		293 TOTAL OCCUPANTS		
SPRINKLER: NFPA 13				
NUMBER OF STORIES: BASEMENT + 3 STORIES ABOVE GRADE				
SQUARE FEET/FLOOR				
BASEMENT	7,428			
FIRST FLOOR	8,286			
SECOND FLOOR	8,143			
THIRD FLOOR	8,143			
BUILDING TOTAL AREA: 32,000				
CONSTRUCTION REQUIREMENTS				
STRUCTURAL FRAME	0 HOUR			
EXTERIOR BEARING WALLS	2 HOUR			
INTERIOR BEARING WALLS	0 HOUR			
FLOOR/CEILING	0 HOUR			
ROOF/CEILING	0 HOUR			
MEANS OF EGRESS				
EXIST ACCESS TRAVEL DISTANCE				
R1	250 FEET WITH SPRINKLER		IBC TABLE 1017.2	
B	250 FEET WITH SPRINKLER		IBC TABLE 1017.2	
EGRESS WIDTH				
STAIRWAYS (1" PER OCCUPANT W/ SPRINKLER)	REQUIRED	ACTUAL	IBC 1005.3.1	
	35.7	(246")		
EXIT DOOR WIDTH (1" PER OCCUPANT W/ SPRINKLER)	REQUIRED	ACTUAL	IBC 1005.3.2	
	58.6	(235" MIN. EACH FLOOR)		
RESTROOM FIXTURE COUNT				
OCCUPANT LOAD	ASSEMBLY 155 OCCUPANTS	BUSINESS 24 OCCUPANTS STORAGE 20 OCCUPANTS	R1 94 OCCUPANTS (34 ROOMS)	
	REQUIRED	ACTUAL	REQUIRED	ACTUAL
WATER CLOSETS	2	2	1	1
URINALS	-	-	1	0
LAVATORIES	1	1	2	2
SERVICE SINKS	1	1	1	1
SHOWER/TUB			1	1



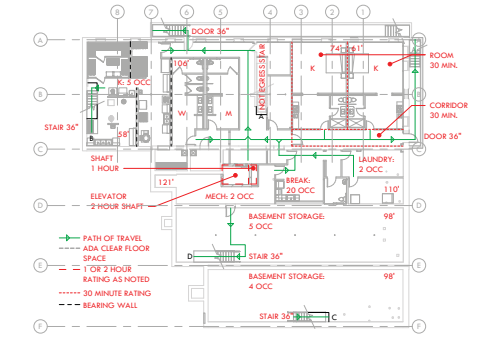
④ 3. 3RD FLOOR CODE PLAN
1" = 20'-0"



③ 2. 2ND FLOOR CODE PLAN
1" = 20'-0"



② 1. 1ST FLOOR CODE PLAN
1" = 20'-0"



① 0. BASEMENT CODE PLAN
1" = 20'-0"

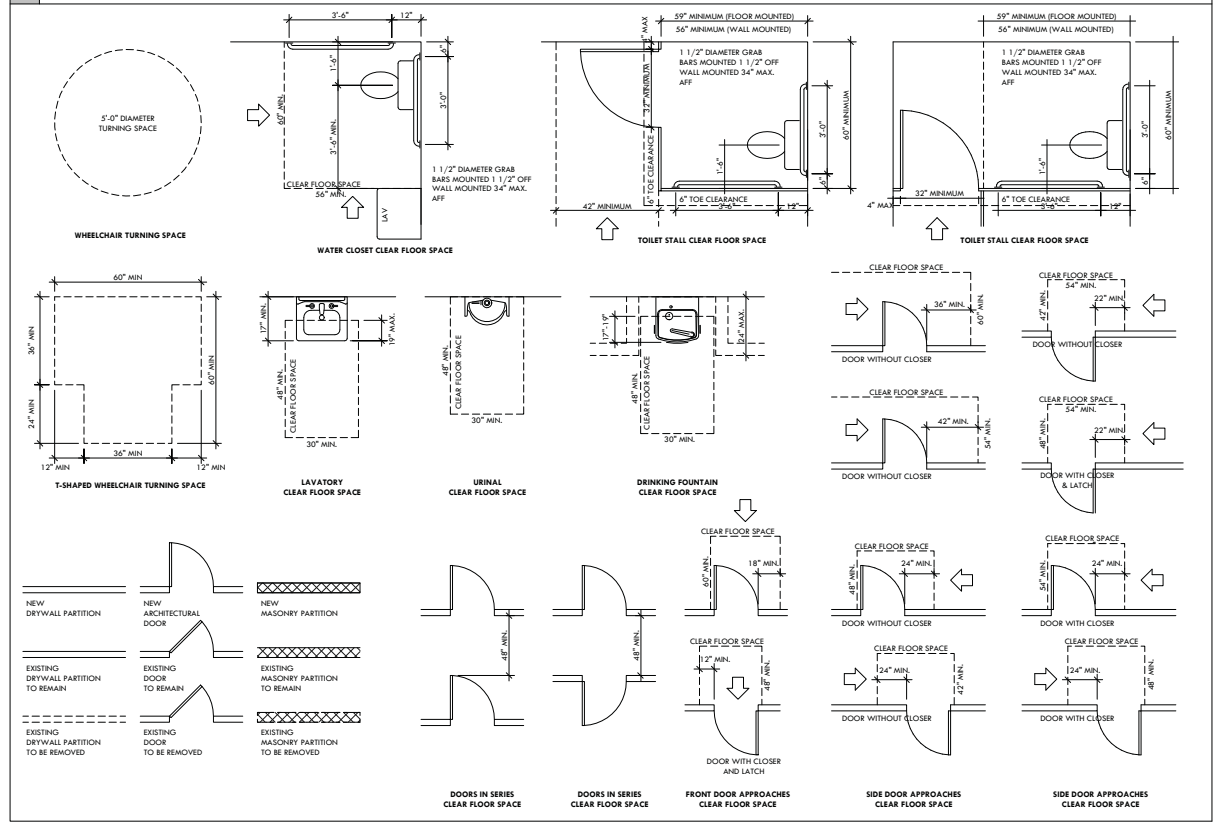
GRAPHICAL SYMBOLS

DRAWING TITLE	1 FLOOR PLAN 1/16" = 1'-0"	DRAWING TITLE	
NORTH ARROW		NORTH DESIGNATION	
BUILDING SECTION		BUILDING SECTION NUMBER	A400
WALL SECTION		WALL SECTION NUMBER	A3.0
EXTERIOR ELEVATION		ELEVATION NUMBER	A4.0
INTERIOR ELEVATION		INTERIOR ELEVATION NUMBER	A7.0
DETAIL DESIGNATION		DETAIL NUMBER	A6.0
ROOM DESIGNATION		ROOM/SPACE NUMBER	101
DOOR DESIGNATION		DOOR NUMBER	0410
ELEVATION DESIGNATION		ELEVATION HEIGHT DESCRIPTION	+1'-0" TOP OF FLOOR
REVISION DESIGNATION		REVISION NUMBER	
PARTITION TYPE			
COLUMN REFERENCE		VERTICAL COLUMN DESIGNATION	
COLUMN REFERENCE		HORIZONTAL COLUMN DES.	
DIMENSION LINES			
LEADER LINES			
CENTER LINES			
HIDDEN, FUTURE, OR DEMOLITION LINES			
EXISTING PARTITION TO BE REMOVED			
EXISTING MASONRY PARTITION TO BE REMOVED			
EXISTING PARTITION TO REMAIN			
EXISTING MASONRY PARTITION TO REMAIN			
NEW DRYWALL PARTITION			
NEW MASONRY PARTITION			

ACCESSIBILITY (ADA) NOTES

ADA.0 GENERAL ACCESSIBILITY NOTES	<p>THIS BUILDING SHALL COMPLY WITH ALL APPLICABLE PROVISIONS OF BOTH THE AMERICANS WITH DISABILITIES ACT (ADA), PUBLIC LAW 101-336 AND THE USDOJ 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN. ALL CONTRACTORS AND SUB-CONTRACTORS SHALL BE RESPONSIBLE, AS EACH TRADE APPLIES, FOR COMPLYING WITH THESE STANDARDS AND CODES AS APPLIED TO WORK PERFORMED UNDER CONTRACT. ANY CONFLICTS, INCONSISTENCIES, OR OMISSIONS SHALL BE BROUGHT TO THE ATTENTION OF THE DESIGN PROFESSIONAL IMMEDIATELY. ALL CONTRACTORS WILL VERIFY AND COMPLY WITH ALL PROVISIONS OF THE CODES AND STANDARDS.</p>
ADA.1 PARKING:	<p>ACCESSIBLE PARKING STALLS SHALL BE LOCATED, MARKED AS REQUIRED. ACCESSIBLE PARKING SHALL BE LOCATED AS CLOSE AS POSSIBLE TO THE SHORTEST ACCESSIBLE PATH OF TRAVEL TO AN ACCESSIBLE ENTRANCE TO THE BUILDING.</p> <p>SIDEWALKS TO ACCESSIBLE ENTRY DOORS SHALL BE A MINIMUM OF 5'-0" IN WIDTH AND FREE OF CURBS. SIDEWALK SURFACES SHALL HAVE A BROOM FINISH AS REQUIRED. RAMPS FOR ACCESSIBILITY SHALL BE PROVIDED WITH A SLOPE LESS THAN 1 IN 12. RAMP SURFACES SHALL BE FINISHED WITH DETECTABLE WARNING PATTERNS AS REQUIRED. ACCESSIBLE ENTRANCES SHALL BE PROVIDED WITH A LEVEL PLATFORM WITH A MINIMUM WIDTH OF 5'-0" AND MINIMUM LENGTH TO EXTEND PAST THE PULL SIDE OF THE DOOR 3'-0".</p>
ADA.2 DOORS:	<p>ALL DOORS (EXCEPT THOSE TO HAZARDOUS AREAS) SHALL HAVE A MINIMUM CLEAR OPENING OF 2'-8". DOORS IN SERIES SHALL BE A MINIMUM OF 7'-0" APART AND SHALL OPEN IN THE SAME DIRECTION.</p> <p>FLOORS SHALL BE LEVEL AT DOORWAYS A MINIMUM OF 4'-0" ON THE PUSH SIDE OF DOORS AND 5'-0" ON THE PULL SIDE OF DOORS.</p> <p>WALLS SHALL BE A MINIMUM OF 1'-4" FROM DOOR JAMBS ON THE PULL SIDE OF DOORS AND 1'-0" ON THE PUSH SIDE OF DOORS.</p> <p>ALL THRESHOLDS SHALL BE A MAXIMUM OF 0'-1 1/2" IN HEIGHT.</p> <p>ALL HARDWARE SHALL BE PUSH/PULL OR LEVER ACTUATED TYPE (EXCEPT DOORS TO HAZARDOUS AREAS WHICH SHALL BE KNUBBLED OR HAVE AN ABRASIVE FINISH).</p>
ADA.3 INTERIOR CIRCULATION:	<p>ALL CORRIDORS SHALL BE A MINIMUM OF 4'-0" IN WIDTH ON REQUIRED ACCESSIBLE ROUTES.</p> <p>HANDRAILS SHALL EXTEND 1'-0" PAST THE TOP TREAD AND 1'-0" PLUS THE DEPTH OF THE TREAD PAST THE BOTTOM TREAD OF ALL STAIRWAYS.</p> <p>RAMPS THAT RISE MORE THAN 6" SHALL HAVE HANDRAILS ON BOTH SIDES OF RAMP. RAMPS SHALL HAVE TACTILE FLOOR DESIGNATIONS.</p> <p>ELEVATORS SHALL HAVE VISUAL AND AUDIBLE SIGNALS WITH TACTILE FLOOR DESIGNATIONS.</p> <p>ALL STAIRWAYS SHALL BE PROVIDED WITH A 10 SQUARE FOOT AREA OF REFUGE ON ALL ACCESSIBLE FLOORS. THE MAIN DISCHARGE LEVEL IS NOT REQUIRED TO PROVIDE AN AREA OF REFUGE. EACH AREA OF REFUGE SHALL HAVE A MEANS OF COMMUNICATION WITH RESCUE PERSONNEL.</p>
ADA.4 TOILET ROOMS:	<p>PROVIDE A MINIMUM OF ONE ACCESSIBLE TOILET IN ALL RESTROOMS AS REQUIRED.</p> <p>ACCESSIBLE TOILET STALLS SHALL BE A MINIMUM OF 5'-0" IN WIDTH AND 5'-0" IN DEPTH WITH AN ACCESSIBLE WATER CLOSET WITH LEVER CONTROL ON TRANSFER SIDE, REQUIRED GRAB BARS, AND A 2'-8" CLEAR OPENING OUT-SWINGING DOOR.</p> <p>PROVIDE A MINIMUM OF ONE ACCESSIBLE LEVER OPERATED LAVATORY PER ACCESSIBLE RESTROOM. ACCESSIBLE LAVATORIES SHALL HAVE 2'-0" CLEARANCE UNDER THE FIXTURE. WATER SUPPLY PIPES SHALL BE INSULATED AND PROTECTED.</p> <p>WHEN URINALS ARE PROVIDED, AT MINIMUM PROVIDE ONE ACCESSIBLE URINAL IN ALL MEN'S RESTROOMS, UNLESS ADDITIONAL FIXTURES ARE ALSO NOTED TO BE ACCESSIBLE.</p> <p>PROVIDE A MINIMUM OF ONE ACCESSIBLE MIRROR IN ALL RESTROOMS AS REQUIRED. BOTTOM REFLECTIVE EDGE OF MIRROR SHALL BE A MAXIMUM OF 3'-2" ABOVE FINISHED FLOOR.</p>
ADA.5 DRINKING FOUNTAINS:	<p>ALL DRINKING FOUNTAINS SHALL BE ACCESSIBLE.</p>
ADA.6 SIGNAGE:	<p>PROVIDE TACTILE SIGNS FOR ALL CORRIDORS, RESTROOMS, AND EXIT DOORS AS REQUIRED.</p>
ADA.7 WARNING SIGNALS:	<p>PROVIDE VISUAL AND AUDIBLE WARNING SIGNALS AND ALARMS AS REQUIRED.</p>

ACCESSIBILITY & DRAWING STANDARDS



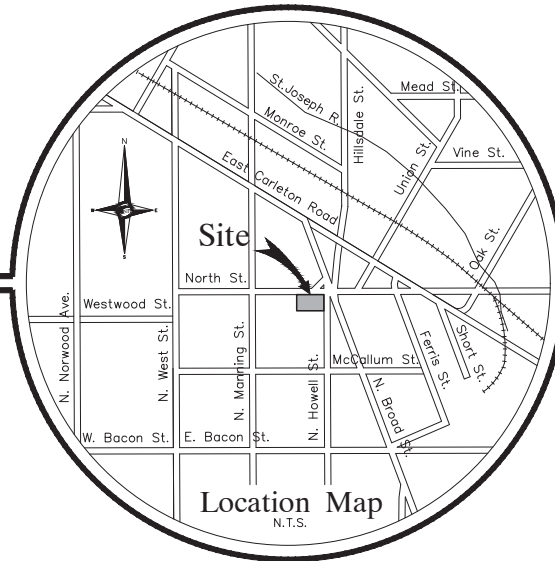
TYPICAL MOUNTING HEIGHTS

FIXTURE	HEIGHT FROM FINISHED FLOOR	FIXTURE	HEIGHT FROM FINISHED FLOOR
WALL MOUNTED FIXTURES	HEIGHT FROM FINISHED FLOOR	ACCESSIBLE DRINKING FOUNTAIN	34" TO TOP OF FIXTURE
LIGHT SWITCHES	44" TO CENTER OF FIXTURE	DRINKING FOUNTAIN	40" TO TOP OF FIXTURE
ELECTRICAL RECEPTACLES	15" TO BOTTOM OF FIXTURE (UNLESS NOTED OTHERWISE)	ACCESSIBLE LAVATORY	32" TO TOP OF BOWL
FIRE ALARM PULL	4" ABOVE BACKSPASH ABOVE COUNTER (LINO)	LAVATORY	34" TO TOP OF BOWL
FIRE ALARM BELL	84" TO CENTER OF FIXTURE	ACCESSIBLE URINAL	17" TO OPENING UP, MAX. 36" TO TOP OF FLUSH CONTROL
THERMOSTAT	44" TO CENTER OF FIXTURE	URINAL	24" TO OPENING UP, MAX. 36" TO TOP OF FLUSH CONTROL
WALL-MOUNTED TELEPHONE	44" TO CENTER OF OUTLET	ACCESSIBLE WATER CLOSET	17" TO TOP OF SEAT, MAX. 36" TO TOP OF FLUSH CONTROL
STROBE LIGHT	80" TO TOP OF FIXTURE OR 6" BELOW CIBLING (LOWER)	WATER CLOSET	16" TO TOP OF SEAT
FIRE EXTINGUISHER CABINET	54" TO TOP OF CABINET	ACCESSIBILITY FIXTURES	HEIGHT FROM FINISHED FLOOR
FIRE EXTINGUISHER	48" MAXIMUM TO HANDLE	GRAB BARS	34" TO THE TOP
IDENTIFICATION SIGNAGE	60" TO CENTER OF SIGN	HAND RAELS	24" TO THE TOP
MIRROR	40" TO LOWEST REFLECTIVE SURFACE	TOILET PAPER DISPENSER	19" MIN. 30" MAX. AND IMMEDIATELY BELOW GRAB BARS
PLUMBING FIXTURES	HEIGHT FROM FINISHED FLOOR	PAPER TOWEL DISPENSER	42" TO THE DISPENSER
ACCESSIBLE DRINKING FOUNTAIN	34" TO TOP OF FIXTURE	PAPER TOWEL DISPENSER/RECEPTACLE	SEE ELEVATIONS
DRINKING FOUNTAIN	40" TO TOP OF FIXTURE	SOAP DISPENSER	40" TO THE CONTROL
ACCESSIBLE LAVATORY	32" TO TOP OF BOWL		
LAVATORY	34" TO TOP OF BOWL		
ACCESSIBLE URINAL	17" TO OPENING UP, MAX. 36" TO TOP OF FLUSH CONTROL		
URINAL	24" TO OPENING UP, MAX. 36" TO TOP OF FLUSH CONTROL		
ACCESSIBLE WATER CLOSET	17" TO TOP OF SEAT, MAX. 36" TO TOP OF FLUSH CONTROL		
WATER CLOSET	16" TO TOP OF SEAT		
ACCESSIBLE DRINKING FOUNTAIN	34" TO TOP OF FIXTURE		
DRINKING FOUNTAIN	40" TO TOP OF FIXTURE		
ACCESSIBLE LAVATORY	32" TO TOP OF BOWL		
LAVATORY	34" TO TOP OF BOWL		
ACCESSIBLE URINAL	17" TO OPENING UP, MAX. 36" TO TOP OF FLUSH CONTROL		
URINAL	24" TO OPENING UP, MAX. 36" TO TOP OF FLUSH CONTROL		
ACCESSIBLE WATER CLOSET	17" TO TOP OF SEAT, MAX. 36" TO TOP OF FLUSH CONTROL		
WATER CLOSET	16" TO TOP OF SEAT		
ACCESSIBILITY FIXTURES	HEIGHT FROM FINISHED FLOOR		
GRAB BARS	34" TO THE TOP		
HAND RAELS	24" TO THE TOP		
TOILET PAPER DISPENSER	19" MIN. 30" MAX. AND IMMEDIATELY BELOW GRAB BARS		
PAPER TOWEL DISPENSER	42" TO THE DISPENSER		
PAPER TOWEL DISPENSER/RECEPTACLE	SEE ELEVATIONS		
SOAP DISPENSER	40" TO THE CONTROL		

City of Hillsdale,
Hillsdale County, Michigan

CONSTRUCTION PLAN PACKAGE

Prepared For:
GARY W. ANDERSON ARCHITECTS



REVISIONS:	
2019-05-31	ISSUED FOR OWNER REVIEW
2019-06-13	REVISED PER OWNER REVIEW
2019-12-04	PLAN REVIEW
2020-01-13	REVISED PER SITE PLAN REVIEW

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SHEET INDEX

C0	COVER SHEET
C1	BOUNDARY AND TOPOGRAPHIC SURVEY
C2	DEMOLITION PLAN
C3	ENGINEERING PLAN
C4	UTILITY PROFILES
C5	SOIL EROSION CONTROL AND DRAINAGE AREA PLAN
C6	NOTES AND DETAILS
C7	NOTES AND DETAILS

Project Name:

KEEFER HOTEL

LEGAL DESCRIPTION

LOT 58 AND THE NORTH 28 FEET OF LOT 57, 0.31 ACRES MORE OR LESS, PART LOT 57 AND LOT 58, BLOCK G OLD PLAT SECTION 27, T6S R3W, THIRD WARD (2011, CHANGED FROM SECOND WARD)
APN: 006-227-282-05

SOUTH 21.5 FEET OF LOT 57, 0.08 ACRES MORE OR LESS, PART LOT 57, BLOCK G OLD PLAT, SECTION 27, T6S R3W, THIRD WARD
(REDISTRICTED 2011 FROM SECOND WARD)
APN: 006-227-282-06



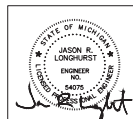
**NOWAK & FRAUS
ENGINEERS**

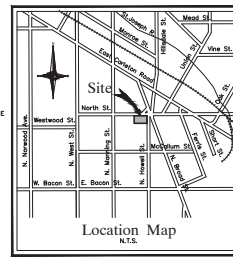
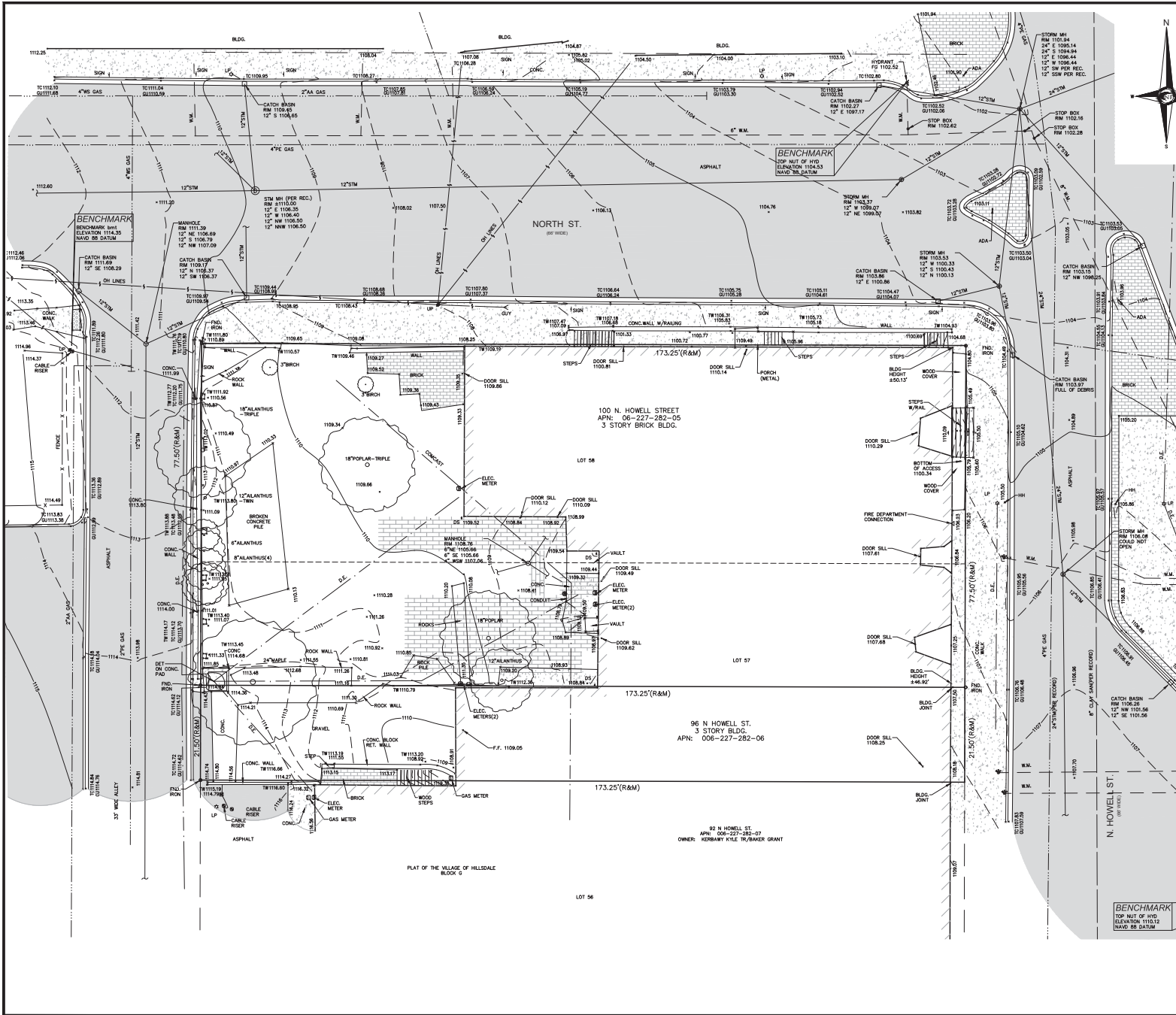
CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257



NFE JOB # K882





NF ENGINEERS
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 LAND PLANNERS

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 FAX: (248) 332-8257

SEAL



PROJECT
 Keefer Hotel

CLIENT
 Gary W. Anderson
 Architects
 200 Prairie Street, Suite 201
 Rockford, IL 61107

Contact:
 Aaron Howerson
 Tel: 815-963-1900
 Email: ahowerson@gsandllc.com

PROJECT LOCATION
 Part of the Northeast 1/4 of Section 27
 T. 6 S., R. 3 W.,
 City of Hillsdale,
 Hillsdale County, Michigan

SHEET
 Boundary and
 Topographic Survey



DATE	ISSUED/REVISED
2019-09-13	ISSUED FOR CONSOLE REVIEW
2019-09-13	REVISED PER CONSOLE REVIEW
2019-09-13	REVISED PER FIELD PLAN REVIEW

TOPOGRAPHIC SURVEY NOTES
 ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.
 UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS OR EXACTNESS OF LOCATION.
 THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN URBAN TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.

DRAWN BY:
 E. Marani
 DESIGNED BY:
 J. Huhta
 APPROVED BY:
 J. Huhta
 DATE:
 April 9, 2019

SCALE: 1" = 10'
 SHEET NO. C1
 NEE JOB NO. K882

LEGEND

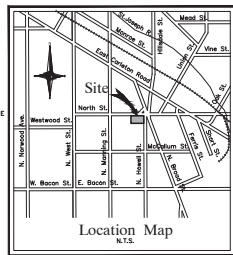
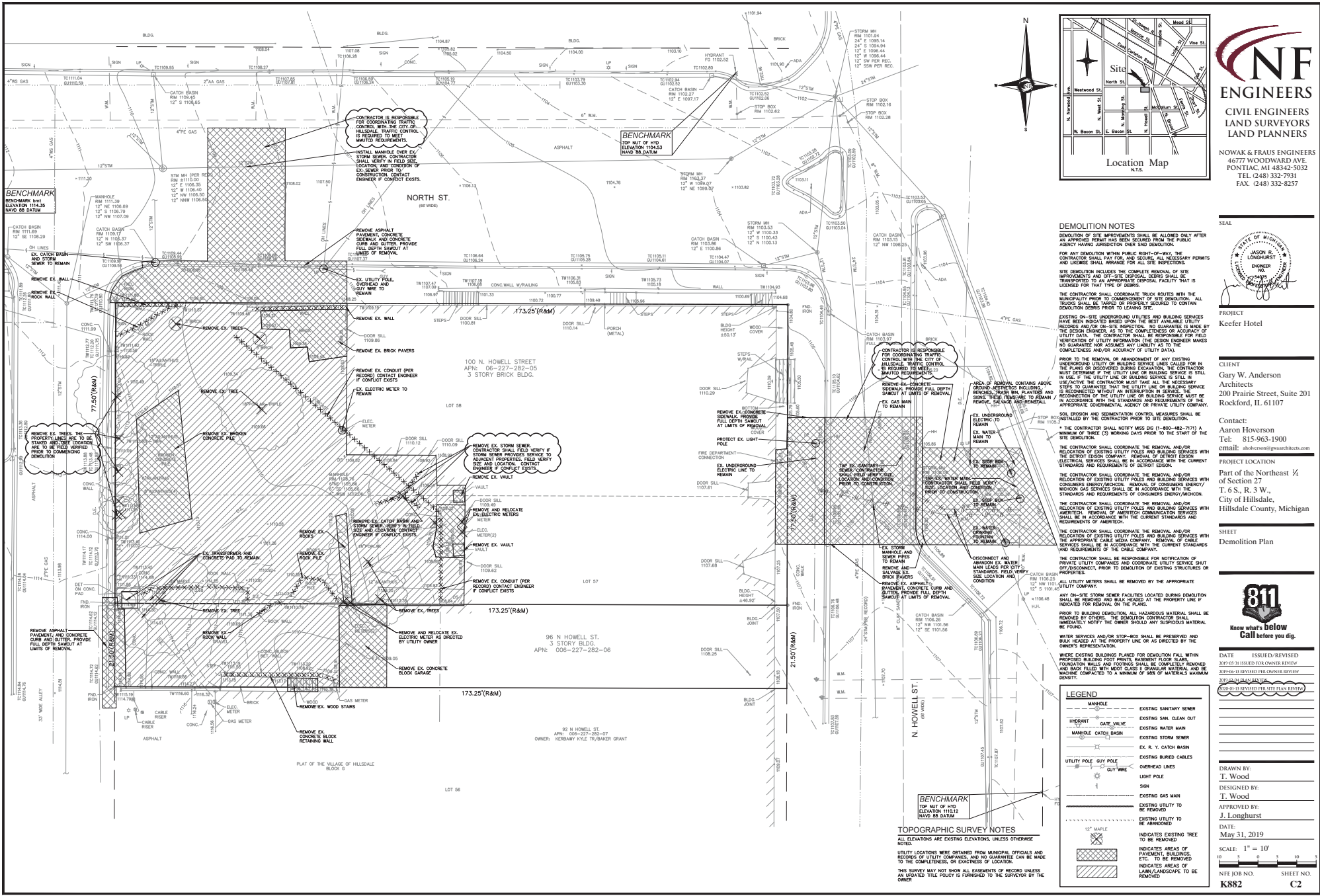
	EXISTING SANITARY SENE
	EXISTING SAN. CLEAN OUT
	EXISTING WATER MAIN
	EXISTING STORM SENE
	EX. R.Y. CATCH BASIN
	EXISTING BURIED CABLES
	OVERHEAD LINES
	LIGHT POLE
	SON
	EXISTING GAS MAIN

LEGAL DESCRIPTION (Per Tax Records)
 LOT 58 AND THE NORTH 28 FEET OF LOT 57, 3.35 ACRES MORE OR LESS, PART LOT 57 AND LOT 58, BLOCK 9 OLD PLAT SECTION 27, T. 6 S., R. 3 W. (3RD WARD) (2ND CHANGED FROM SECOND WARD) APN: 006-227-282-09

MISS DIG / UTILITY DISCLAIMER NOTE
 THE LOCATION OF THE UNDERGROUND COAXIAL CABLES SHOWN ON THE RECORDS PROVIDED BY CONTACT COULD NOT BE ACCURATELY PLOTTED DUE TO A LACK OF DIMENSIONS AND/OR SCALE. CLIENT SHALL CONTACT CONTACT TO DETERMINE THE LOCATION OF THE UNDERGROUND UTILITY.

MISS DIG / UTILITY DISCLAIMER NOTE
 THE LOCATION OF THE BURIED CABLES AND UNDERGROUND CONDUIT SHOWN ON THE RECORDS PROVIDED BY CONTACT COULD NOT BE ACCURATELY PLOTTED DUE TO A LACK OF DIMENSIONS AND/OR SCALE. CLIENT SHALL CONTACT CONTACT TO DETERMINE THE LOCATION OF THE UNDERGROUND UTILITY.

MISS DIG / UTILITY DISCLAIMER NOTE
 A MISS DIG TICKET NUMBER APPROXIMATELY PURSUANT TO MICHIGAN PUBLIC ACT 174 HAS BEEN ENTERED FOR THE SURVEYED PROPERTY, DUE TO THE EXTENDED REPORTING PERIOD FOR UNDERGROUND FACILITY OWNERS TO PROVIDE THEIR RECORDS, THE SURVEY MAY NOT REFLECT ALL THE UTILITIES AT THE TIME THE SURVEY WAS ISSUED ON APRIL 9, 2019. THE SURVEY ONLY REFLECTS THOSE UTILITIES WHICH WOULD BE OBSERVED BY THE SURVEYOR IN THE FIELD OR AS DENOTED BY THE UTILITY COMPANY RECORDS FURNISH PRIOR TO THE DATE THIS SURVEY WAS ISSUED. THE CLIENT AND/OR THEIR AUTHORIZED AGENT SHALL VERIFY WITH THE FACILITY OWNERS AND/OR THEIR AUTHORIZED AGENTS, THE COMPLETENESS AND EXACTNESS OF THE UTILITIES LOCATION.



NF ENGINEERS
 CIVIL ENGINEERS
 LAND SURVEYORS
 LAND PLANNERS

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 FAX: (248) 332-9257

SEAL
 STATE OF MICHIGAN
 JASON R. LONGHURST
 ENGINEER
 NO. 25427
 EXPIRES 12/31/2019

PROJECT
 Keefe Hotel
 CLIENT
 Gary W. Anderson
 Architects
 200 Prairie Street, Suite 201
 Rockford, IL 61107

Contact:
 Aaron Howerson
 Tel: 815-963-1900
 Email: ahowerson@keefecontractors.com

PROJECT LOCATION
 Part of the Northeast 1/4
 of Section 27
 T. 6 S., R. 3 W.,
 City of Hillsdale,
 Hillsdale County, Michigan

SHEET
 Demolition Plan



DATE
 2019-03-11 ISSUED FOR OWNER REVIEW
 2019-03-11 REVISION BY OWNER REVIEW
 2019-03-11 REVISION BY OWNER REVIEW
 2019-03-11 REVISION PER PER PLAN REVIEW

DRAWN BY:
 T. Wood
DESIGNED BY:
 T. Wood
APPROVED BY:
 J. Longhurst
DATE:
 May 31, 2019

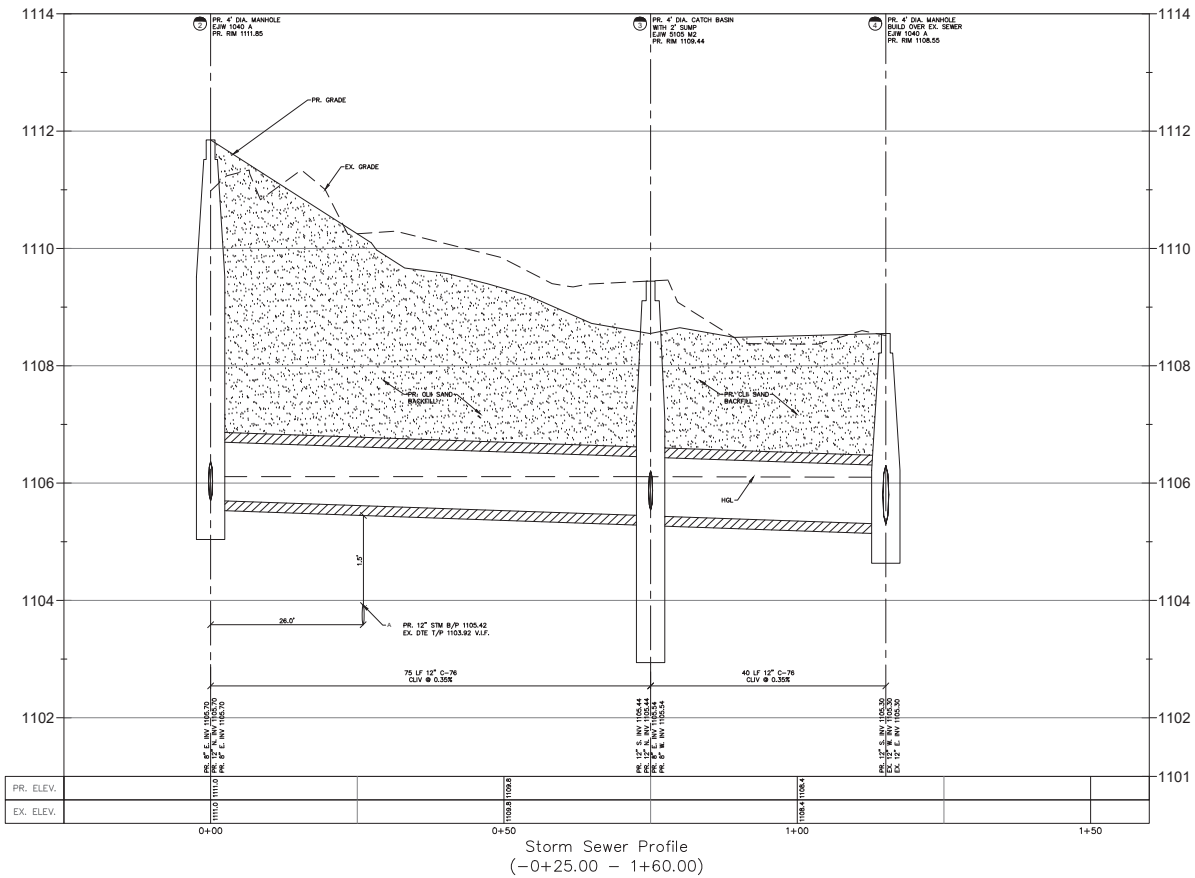
SCALE: 1" = 10'
 0 5 10 15 20 25 30 35 40 45 50
NTE JOB NO. K882 **SHEET NO.** C2

TOPOGRAPHIC SURVEY NOTES
 ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.
 UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE FOR THE CORRECTNESS OR LOCATION OF UTILITIES.
 THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.

LEGEND

	EXISTING SANITARY SEWER
	EXISTING SAN. CLEAN OUT
	EXISTING WATER MAIN
	EXISTING STORM SEWER
	EX. R. Y. CATCH BASIN
	EXISTING BURIED CABLES
	OVERHEAD LINES
	LIGHT POLE
	SIGN
	EXISTING GAS MAIN
	EXISTING UTILITY TO BE REMOVED
	EXISTING UTILITY TO BE ABANDONED
	INDICATES EXISTING TREE TO BE REMOVED
	INDICATES AREAS OF ASPHALT, DRIVEWAYS, ETC. TO BE REMOVED
	INDICATES AREAS OF LAWN/LANDSCAPE TO BE REMOVED

Hillsdale, Hillsdale County Storm Sewer Calculations															Project No: K882										
															Project Name: Keefer Hotel										
															Location: Hillsdale										
															Dated: 5/31/2019										
															Revised:										
T=	20	Minutes	Time of Concentration																						
I=	175	(T+25)	10 Year Storm Event Intensity																						
n (Conc.)	0.013		Manning's Roughness Coefficient																						
n (Pvc)	0.012		Manning's Roughness Coefficient																						
Drainage Area Location	From Structure Number	To Structure Number	Drainage Area (Acres)	Runoff Coefficient (C)	Equivalent Area (C * A)	Total Area (Sum C * A)	Time of Concentration (Minutes)	Rainfall Intensity (Inches/Hr.)	Actual Discharge (CFS)	Pipe Size (Inches)	Pipe Slope (% Slope)	Pipe Length (Feet)	Flow Velocity (Ft / Sec)	Time of Flow (Minutes)	Full Pipe Capacity (CFS)	H. G. Elev. Upper End (Feet)	H. G. Elev. Lower End (Feet)	H. G. Slope (% Slope)	Theoretical Velocity (Ft / Sec)	Rim Elevation (Upper)	Change in Elevation (Feet)	Invert Elev. Upper End (Feet)	Invert Elev. Lower End (Feet)	COVER (Feet)	RIM TO HG (Feet)
A	1	2	0.01	0.90	0.009	0.009	20.00	3.89	0.04	8	1.00	34	3.75	0.15	1.31	1106.11	1106.11	0.00	0.10	1108.90	0.34	1106.05	1105.70	2.02	2.79
	2	3				0.009	20.15	3.88	0.03	12	0.35	75	2.68	0.47	2.11	1106.11	1106.11	0.00	0.04	1111.85	0.26	1105.70	1105.44	4.98	5.74
B	3	4	0.16	0.75	0.120	0.129	20.62	3.84	0.49	12	0.35	40	2.68	0.25	2.11	1106.11	1106.10	0.02	0.63	1108.50	0.14	1105.44	1105.30	1.89	2.39



CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

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FAX. (248) 332-8257

SEAL



PROJECT
Keefer Hotel

CLIENT
Gary W. Anderson
Architects
200 Prairie Street, Suite 201
Rockford, IL 61107

CONTACT
Aaron Howerson
Tel: 815-963-1900
email: ahowerson@gwaarchitects.com

PROJECT LOCATION
Part of the Northeast 1/4
of Section 27
T. 6 S., R. 3 W.,
City of Hillsdale,
Hillsdale County, Michigan

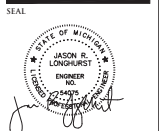
SHEET
Utility Profiles



DATE	ISSUED/REVISED
2019-05-31	ISSUED FOR OWNER REVIEW
2019-06-11	REVISED PER OWNER REVIEW
2019-06-11	REVISED PER PLAN REVIEW
2019-06-11	REVISED PER SITE PLAN REVIEW

DRAWN BY:
T. Wood
DESIGNED BY:
T. Wood
APPROVED BY:
J. Longhurst
DATE:
May 31, 2019

SCALE: 1" = 10' / 1" = 1'
10 5 0 5 10 5
NFE JOB NO. SHEET NO.
K882 C4



PROJECT
 Keeler Hotel

CLIENT
 Gary W. Anderson
 Architects
 200 Prairie Street, Suite 201
 Rockford, IL 61107

Contact:
 Aaron Howson
 Tel: 815-963-1900
 Email: aaron.howson@gnssolutions.com

PROJECT LOCATION
 Part of the Northeast 1/4 of Section 27
 T. 6 S., R. 3 W.,
 City of Hillsdale,
 Hillsdale County, Michigan

SHEET
 Soil Erosion Control and
 Drainage Area Plan



DATE	ISSUED/REVISED
2019-03-13	ISSUED FOR CONSUMER REVIEW
2019-03-13	REVISED FOR CONSUMER REVIEW
2019-03-13	REVISED FOR CONSUMER REVIEW
2019-03-13	REVISED FOR CONSUMER REVIEW
2019-03-13	REVISED FOR CONSUMER REVIEW

DRAWN BY:
 T. Wood

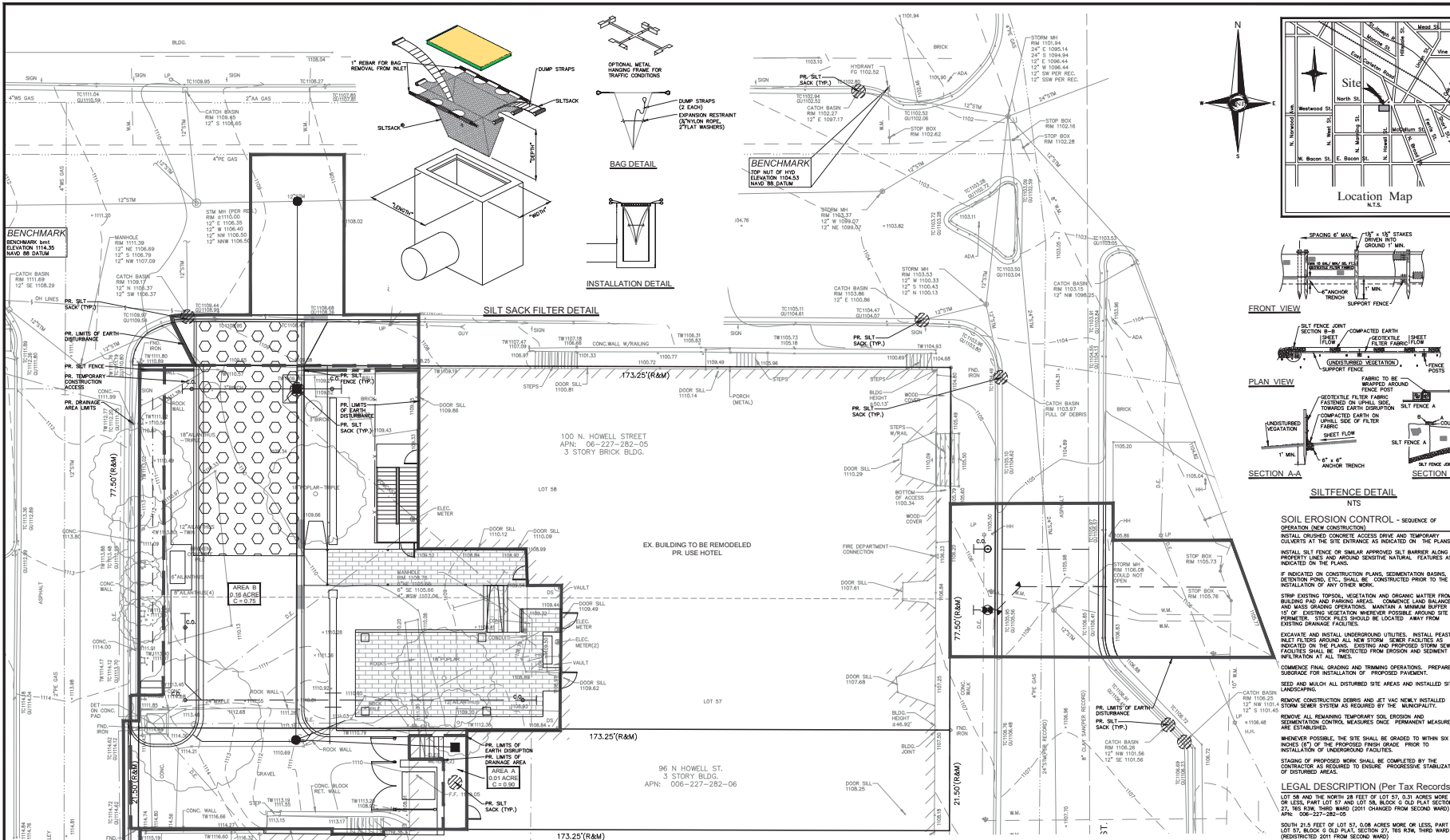
DESIGNED BY:
 T. Wood

APPROVED BY:
 J. Longhurst

DATE:
 May 31, 2019

SCALE: 1" = 10'

NTE JOB NO. SHEET NO.
 K882 C5



SOIL EROSION CONTROL

CUTTING, FILLING AND GRADING SHALL BE MINIMIZED AND THE NATURAL TOPOGRAPHY OF THE SITE SHALL BE PRESERVED TO THE MAXIMUM POSSIBLE EXTENT. EXISTING WATER SPECIFICATIONS AND REQUIREMENTS SHALL MAINTAIN OR IMPROVE THE MEET THE PURPOSES AND REQUIREMENTS OF THIS ORDINANCE.

DEVELOPMENT SHALL BE SITED TO KEEP THE EXPOSED AREA OF SOIL AS SMALL AS PRACTICABLE.

SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED BEFORE ANY DISTURBED AREA AND ANY WATERCOURSE, INCLUDING RIVERS, STREAMS, CREEKS, LAKES, PONDS AND OTHER WATERCOURSES; WELLS; OR ROADWAYS OR ON NEAR THE SITE.

SEDIMENT RESULTING FROM ACCCELERATED SOIL EROSION SHALL BE REMOVED FROM RUNOFF WATER BEFORE THAT WATER ENTERS ANY WATERCOURSE OR WETLAND.

TEMPORARY AND PERMANENT SOIL EROSION CONTROL MEASURES DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF WATER THROUGH OR AROUND THE SITE SHALL BE DESIGNED TO LIMIT THE WATER FLOW TO A NON-EROSIVE VELOCITY.

TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE REMOVED AFTER PERMANENT SOIL EROSION CONTROL MEASURES HAVE BEEN IMPLEMENTED. ALL SITES SHALL BE STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES.

IF LAKES, RIVERS, CREEKS, STREAMS, OR WETLAND ARE LOCATED ON OR NEAR THE SITE, EROSION CONTROL MEASURES SHALL BE PROVIDED AT STRATEGIC LOCATIONS. STRAW BALE BEAMS MAY BE USED AS TEMPORARY STORMWATER OVERFLOW STRUCTURES, BUT WILL NOT BE CONSIDERED SUFFICIENT FOR TRAPPING SEDIMENT. THE USE OF SEDIMENT BARRIERS, FILTER FABRIC, VEGETATED BUFFER STRIPS, AND ROCK FILTERS IN LIEU OF

CONSTRUCTION SEQUENCE / TIMING SCHEDULE

1. INSTALL PERIMETER FILTER FABRIC FENCING AND SILT FILTER WHERE REQUIRED.	MARCH 2020
2. MASS GRADE SITE.	APRIL 2020
3. COMMENCE UNDERGROUND UTILITY WORK.	APRIL 2020
4. INSTALL SILT FILTERS ON PROPOSED DRAINAGE STRUCTURES.	MAY 2020
5. FILL IN SEDIMENTATION TRAPS AND PAVE SITE.	JULY 2020
6. COMPLETE ALL BUILDINGS AND LANDSCAPE ACTIVITY.	SEPTEMBER 2020
7. LET UP NEW STORM SEWER SYSTEM AS REQUIRED.	OCTOBER 2020
8. REMOVE ALL TEMPORARY SOIL EROSION MEASURES.	OCTOBER 2020

TEMPORARY CRUSHED CONCRETE CONSTRUCTION ACCESS ROAD

SOIL EROSION CONTROL - SEQUENCE OF

INSTALL CRUSHED CONCRETE ACCESS DRIVE AND TEMPORARY COLLECTOR AS REQUIRED TO MAINTAIN OR IMPROVE THE PLANS. INSTALL SILT FENCE OR SIMILAR APPROVED SILT BARRIER ALONG PROPERTY LINES AND AROUND SENSITIVE FEATURES AS INDICATED ON THE PLANS.

IF INDICATED ON CONSTRUCTION PLANS, SEDIMENTATION BASINS, DETENTION POND STRUCTURES SHALL BE CONSTRUCTED PRIOR TO THE INSTALLATION OF ANY OTHER WORK.

STRIP EXISTING TOPSOIL, VEGETATION AND ORGANIC MATTER FROM BUILDING PAD AND PARKING AREAS. EXISTING LAND BALANCE AND MASS GRADING OPERATIONS. MAINTAIN A MINIMUM BUFFER OF 10' OF EXISTING VEGETATION UNLESS OTHERWISE SPECIFIED. EXISTING VEGETATION SHOULD BE LOCATED AWAY FROM EXISTING DRAINAGE FACILITIES.

EXCAVATE AND INSTALL UNDERGROUND UTILITIES. INSTALL PRECAST PILE FILTERS AROUND ALL NEW STORM SEWER FACILITIES AS INDICATED ON THE PLANS. EXISTING AND PROPOSED STORM SEWER FACILITIES SHALL BE PROTECTED FROM PROESSION AND SEDIMENT.

COMMENCE FINAL GRADING AND TRIMMING OPERATIONS. PREPARE SUBGRADE FOR INSTALLATION OF PROPOSED PAVEMENT.

SEED AND MULCH ALL DISTURBED SITE AREAS AND INSTALLED SITE LANDSCAPING.

REMOVE CONSTRUCTION DEBRIS AND LET VAC NEWLY INSTALLED STORM SEWER SYSTEM AS REQUIRED BY THE MUNICIPALITY.

REMOVE ALL REMAINING TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ONCE PERMANENT MEASURES ARE ESTABLISHED.

WHENEVER POSSIBLE, THE SITE SHALL BE GRADED TO WITHIN SIX INCHES (6") OF THE PROPOSED FINISH GRADE. PRIOR TO INSTALLATION OF UNDERGROUND FACILITIES.

STAGING OF PROPOSED WORK SHALL BE COMPLETED BY THE CONTRACTOR AS REQUIRED TO ENSURE PROGRESSIVE STABILIZATION OF DISTURBED AREAS.

LEGAL DESCRIPTION (Per Tax Records)

LOT 50 AND THE NORTH 1/2 OF LOT 51, BLOCK 5, OLD PLAT SECTION 27, T. 6 S., R. 3 W., HILLSDALE COUNTY, MICHIGAN (2011 CHANGED FROM SECOND WARD) APR. 06-227-282-05

SOUTH 21.5 FEET OF LOT 57, 0.08 ACRES MORE OR LESS, PART LOT 57, BLOCK 5, OLD PLAT, SECTION 27, T. 6 S., R. 3 W., HILLSDALE COUNTY, MICHIGAN (2011 CHANGED FROM SECOND WARD) APR. 06-227-282-05

NOTES

A DISTANCE OF 1000 FEET TO THE NEAREST BODY OF WATER THE DISTANCE OF ANY EARTH DISRUPTION IS 0.24 ACRES.

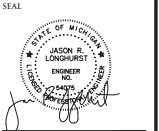
THE SOIL EROSION CONTROLS WILL BE MAINTAINED NEEDY AND AFTER EVERY STORM EVENT BY THE CONTRACTOR.

ESTIMATED QUANTITIES

DESCRIPTION	QUANTITY	UNITS
SILT FABRIC FENCING	40	L.F.
CONSTRUCTION ACCESS ROAD	130	S.Y.
SILT SACK OR EQUAL	8	E.A.

LEGEND

- INDICATES LIMITS OF SILT FABRIC FENCE
- INDICATES LIMITS OF DRAINAGE DISTRICT AREA
- INDICATES LIMITS OF SOIL DISRUPTION
- INDICATES SILT SACK IN DRAINAGE STRUCTURE
- INDICATES DRAINAGE DISTRICT AREA



PROJECT
Keeler Hotel

CLIENT
Gary W. Anderson
Architects
200 Prairie Street, Suite 201
Rockford, IL 61107

Contact:
Aaron Hoverson
Tel: 815-963-1900
Email: aahoverson@nowakfr.com

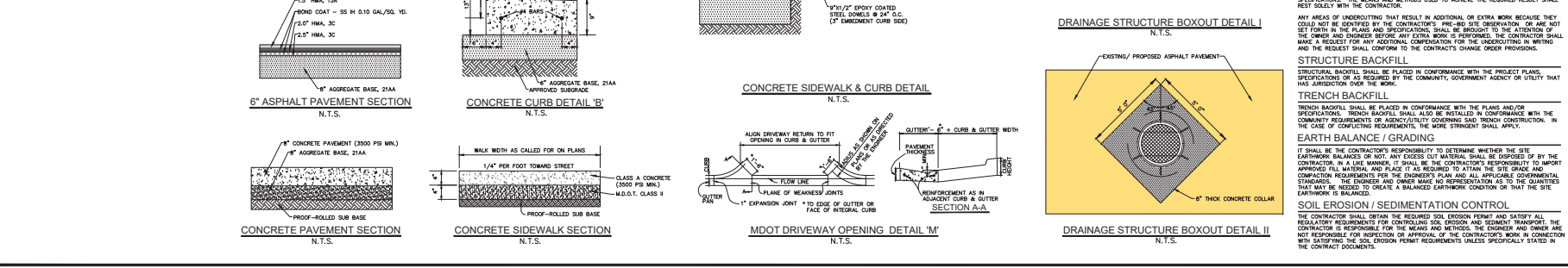
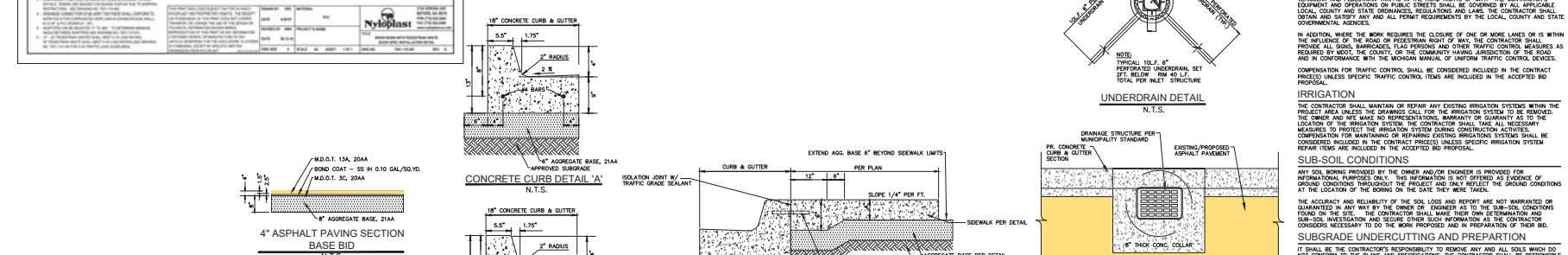
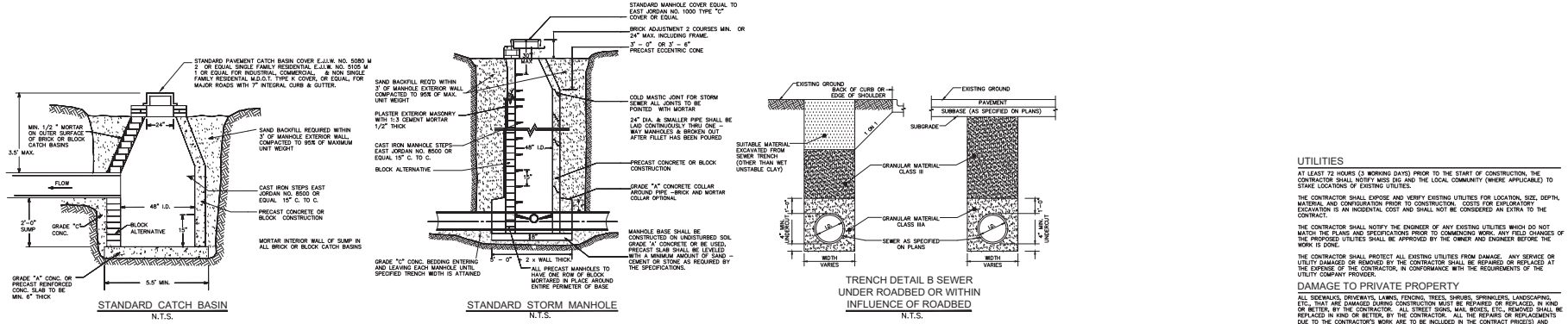
PROJECT LOCATION
Part of the Northeast 1/4 of Section 27
T. 6 S., R. 3 W.,
City of Hillsdale,
Hillsdale County, Michigan

SHEET
Notes and Details

DATE ISSUED/REVISED
2010-03-15 ISSUED FOR CONSUMER REVIEW
2010-03-15 ISSUED FOR CONSUMER REVIEW
2010-03-15 ISSUED FOR THE PLAN REVIEW

DRAWN BY:
T. Wood
DESIGNED BY:
T. Wood
APPROVED BY:
J. Longhurst
DATE:
May 31, 2019
SCALE: N.T.S.

NEE JOB NO. SHEET NO.
K882 C6



UTILITIES
AT LEAST 72 HOURS (3 WORKING DAYS) PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE CITY AND THE LOCAL COMMUNITY (WHERE APPLICABLE) TO START LOCATIONS OF EXISTING UTILITIES.
THE CONTRACTOR SHALL EXPOSE AND VERIFY EXISTING UTILITIES FOR LOCATION, SIZE, DEPTH, MATERIAL, AND CONFIGURATION PRIOR TO CONSTRUCTION. COSTS FOR LABORATORY EXAMINATION IS AN INCIDENTAL COST AND SHALL NOT BE CONSIDERED AN EXTRA TO THE CONTRACT.
THE CONTRACTOR SHALL NOTIFY THE OWNER OF ANY EXISTING UTILITIES WHICH DO NOT MATCH THE PLANS AND SPECIFICATIONS PRIOR TO COMMENCING WORK. ANY FIELD CHANGES OF THE PROPOSED UTILITIES SHALL BE APPROVED BY THE OWNER AND ENGINEER BEFORE THE WORK IS DONE.
THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES FROM DAMAGE. ANY SERVICE OR UTILITY DAMAGED OR REMOVED BY THE CONTRACTOR SHALL BE REPAIRED OR REPLACED AT THE EXPENSE OF THE CONTRACTOR, IN CONFORMANCE WITH THE REQUIREMENTS OF THE UTILITY COMPANY PROVIDER.

DAMAGE TO PRIVATE PROPERTY
ALL SIDEWALKS, DRIVEWAYS, LAINS, FENCES, TREES, SPRINGS, SPRINKLERS, LANDSCAPING, ETC. THAT ARE DAMAGED DURING CONSTRUCTION MUST BE REPAIRED OR REPLACED IN KIND BY THE CONTRACTOR. ALL TREE STUMPS SHALL BE REMOVED. ALL REPAIRS OR REPLACEMENTS DUE TO THE CONTRACTOR'S WORK ARE TO BE INCLUDED IN THE CONTRACT PRICE(S) AND SHALL NOT BE AN EXTRA TO THE CONTRACT.

DEWATERING OF TRENCH AND EXCAVATIONS
IF NOT SPECIFICALLY PROVIDED FOR IN THE CONSTRUCTION DESIGN DOCUMENTS, THE DESIGN OR QUALITATIVE ANALYSIS OF GROUND WATER Dewatering SYSTEMS IS BEYOND THE SCOPE OF DESIGN FOR THESE CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING AND PROVIDING APPROPRIATE EXCAVATION Dewatering SYSTEMS FOR USE DURING CONSTRUCTION.
THE Dewatering METHOD SELECTED BY THE CONTRACTOR WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES OR STRUCTURES PRIOR TO BEGINNING Dewatering CONDITIONS. MEANS AND METHODS OF Dewatering ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. THE COST OF Dewatering SHALL BE CONSIDERED INCLUDED IN THE WORK UNDER CONSTRUCTION.
DEWATERING OF TRENCH AND EXCAVATIONS
IF NOT SPECIFICALLY PROVIDED FOR IN THE CONSTRUCTION DESIGN DOCUMENTS, THE DESIGN OR QUALITATIVE ANALYSIS OF GROUND WATER Dewatering SYSTEMS IS BEYOND THE SCOPE OF DESIGN FOR THESE CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING AND PROVIDING APPROPRIATE EXCAVATION Dewatering SYSTEMS FOR USE DURING CONSTRUCTION.
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DEWATERING OF TRENCH AND EXCAVATIONS
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THE Dewatering METHOD SELECTED BY THE CONTRACTOR WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES OR STRUCTURES PRIOR TO BEGINNING Dewatering CONDITIONS. MEANS AND METHODS OF Dewatering ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. THE COST OF Dewatering SHALL BE CONSIDERED INCLUDED IN THE WORK UNDER CONSTRUCTION.

BY-PASS PUMPING
FROM TIME TO TIME IT MAY BE NECESSARY FOR THE CONTRACTOR TO BY-PASS PUMP TO PROTECT THE MAIN AND/OR ON THE PLAN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SCHEDULING THE WORK AT OFF PEAK HOURS, AND/OR MAINTAINING EXISTING FLOWS THAT MAY BE ENCOUNTERED THROUGHOUT THE PROJECT AND WITHIN THE CITY OF HILLSDALE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS AND COMPENSATION TO IMPLEMENT ANY MEANS AND METHODS TO SUCCESSFULLY COMPLETE THE CONSTRUCTION.

MEANS AND METHODS FOR PIPE CONSTRUCTION
THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE THICKNESS OF THE PAVEMENT REMOVAL FOR CONSTRUCTION OF STRUCTURES PRIOR TO BEGINNING Dewatering CONDITIONS. MEANS AND METHODS OF CONSTRUCTION ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. THE COST OF CONSTRUCTION SHALL BE CONSIDERED INCLUDED IN THE WORK UNDER CONSTRUCTION.
DEWATERING OF TRENCH AND EXCAVATIONS
IF NOT SPECIFICALLY PROVIDED FOR IN THE CONSTRUCTION DESIGN DOCUMENTS, THE DESIGN OR QUALITATIVE ANALYSIS OF GROUND WATER Dewatering SYSTEMS IS BEYOND THE SCOPE OF DESIGN FOR THESE CONDITIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SELECTING AND PROVIDING APPROPRIATE EXCAVATION Dewatering SYSTEMS FOR USE DURING CONSTRUCTION.
THE Dewatering METHOD SELECTED BY THE CONTRACTOR WILL NOT ADVERSELY AFFECT ADJACENT PROPERTIES OR STRUCTURES PRIOR TO BEGINNING Dewatering CONDITIONS. MEANS AND METHODS OF Dewatering ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. THE COST OF Dewatering SHALL BE CONSIDERED INCLUDED IN THE WORK UNDER CONSTRUCTION.

PAVEMENT REMOVAL
THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE THICKNESS OF THE PAVEMENT REMOVAL FOR CONSTRUCTION OF STRUCTURES PRIOR TO BEGINNING Dewatering CONDITIONS. MEANS AND METHODS OF CONSTRUCTION ARE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. THE COST OF CONSTRUCTION SHALL BE CONSIDERED INCLUDED IN THE WORK UNDER CONSTRUCTION.

MAINTENANCE OF TRAFFIC
DURING THE PROGRESS OF THE WORK THE CONTRACTOR SHALL ACCOMMODATE BOTH VEHICULAR AND PEDESTRIAN TRAFFIC IN THE ROAD RIGHTS OF WAY. THE CONTRACTOR'S EQUIPMENT AND OPERATIONS ON PUBLIC STREETS SHALL BE GOVERNED BY ALL APPLICABLE LOCAL, COUNTY AND STATE ORDINANCES, REGULATIONS AND LAWS. THE CONTRACTOR SHALL OBTAIN AND OBEY ANY AND ALL PERMIT REQUIREMENTS BY THE COUNTY AND STATE GOVERNMENTAL AGENCIES.
IF ANY MEASURE OF UNDERTAKING THAT RESULT IN THE CLOSURE OF ONE OR MORE LANES OR IS WITHIN THE INFLUENCE OF THE ROAD OR PEDESTRIAN RIGHT OF WAY, THE CONTRACTOR SHALL PROVIDE ALL SIGNS, BARRIERS, FLAG PERSONS AND OTHER TRAFFIC CONTROL MEASURES AS REQUIRED BY MOOT, THE COUNTY, OR THE COMMUNITY HAVING JURISDICTION OF THE ROAD AND IN CONFORMANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
COMPENSATION FOR TRAFFIC CONTROL SHALL BE CONSIDERED INCLUDED IN THE CONTRACT PRICE(S) UNLESS SPECIFIC TRAFFIC CONTROL ITEMS ARE INCLUDED IN THE ACCEPTED BID PROPOSAL.

IRRIGATION
THE CONTRACTOR SHALL MAINTAIN OR REPAIR ANY EXISTING IRRIGATION SYSTEMS WITHIN THE PROJECT AREA UNLESS THE DRAINING CALL FOR THE IRRIGATION SYSTEM TO BE REMOVED. THE OWNER AND THE STATE OF MICHIGAN ARE NOT PROVIDING A WARRANTY OR GUARANTEE AS TO THE LOCATION OF THE IRRIGATION SYSTEM. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT THE IRRIGATION SYSTEM DURING CONSTRUCTION ACTIVITIES. COMPENSATION FOR MAINTAINING OR REPAIRING EXISTING IRRIGATION SYSTEMS SHALL BE CONSIDERED INCLUDED IN THE CONTRACT PRICE(S) UNLESS SPECIFIC IRRIGATION SYSTEM REPAIR ITEMS ARE INCLUDED IN THE ACCEPTED BID PROPOSAL.

SUB-SOIL CONDITIONS
THE ACCURACY AND RELIABILITY OF THE SOIL LOGS AND REPORT ARE NOT WARRANTED OR GUARANTEED IN ANY WAY BY THE OWNER OR ENGINEER AS TO THE SUB-SOIL CONDITIONS FOUND ON THE SITE. THE CONTRACTOR SHALL MAKE HIS OWN DETERMINATION AND SUB-SOIL INVESTIGATION AND SECURE OTHER SUCH INFORMATION AS THE CONTRACTOR CONSIDERS NECESSARY TO DO THE WORK PROPOSED AND IN ACCORDANCE WITH THE BID.
SUBGRADE UNDERCUTTING AND PREPARATION
IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REMOVE ANY AND ALL SOILS WHICH DO NOT CONFORM TO THE SUBGRADE SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE A SUBGRADE IN CONFORMANCE WITH THE PROJECT PLANS AND/OR SPECIFICATIONS. THE MEANS AND METHODS USED TO ACHIEVE THE REQUIREMENTS SHALL REST SOLELY WITH THE CONTRACTOR.
ANY MEANS OF UNDERCUTTING THAT RESULT IN ADDITIONAL OR EXTRA WORK BECAUSE THEY COULD NOT BE IDENTIFIED BY THE CONTRACTOR'S PRE-BID SITE OBSERVATION OR ARE NOT SET FORTH IN THE SPECIFICATIONS SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE OWNER AND ENGINEER BEFORE ANY EXTRA WORK IS PERFORMED, THE CONTRACTOR SHALL MAKE A REQUEST FOR AN ADDITIONAL CONSTRUCTION FOR THE UNDERCUTTING AND THE REQUEST SHALL CONFORM TO THE CONTRACT'S CHANGE ORDER PROVISIONS.

STRUCTURE BACKFILL
STRUCTURAL BACKFILL SHALL BE PLACED IN CONFORMANCE WITH THE PROJECT PLANS, SPECIFICATIONS OR AS REQUIRED BY THE COMMUNITY, GOVERNMENT AGENCY OR UTILITY THAT HAS JURISDICTION OVER THE WORK.
TRENCH BACKFILL
TRENCH BACKFILL SHALL BE PLACED IN CONFORMANCE WITH THE PLANS AND/OR SPECIFICATIONS IN ACCORDANCE WITH THE PROJECT PLANS AND/OR SPECIFICATIONS. IN THE CASE OF CONFLICTING REQUIREMENTS, THE MORE STRINGENT SHALL APPLY.
EARTH BALANCE / GRADING
IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE WHETHER THE SITE EARTHWORK BALANCES OR NOT. ANY EXCESS CUT MATERIAL SHALL BE DISPOSED OF BY THE CONTRACTOR. A LAKE MANURE PILE SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAINTAIN AND MONITOR THROUGHOUT THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ANY NECESSARY PERMITS AND COMPENSATION TO IMPLEMENT ANY MEANS AND METHODS TO SUCCESSFULLY COMPLETE THE CONSTRUCTION.
SOIL EROSION / SEDIMENTATION CONTROL
THE CONTRACTOR SHALL OBTAIN THE REQUIRED SOIL EROSION PERMITS AND SATISFY ALL REGULATORY REQUIREMENTS FOR CONTROLLING SOIL EROSION. THE CONTRACTOR IS RESPONSIBLE FOR THE MEANS AND METHODS. THE ENGINEER AND OWNER ARE NOT RESPONSIBLE FOR INSPECTION OR APPROVAL OF THE CONTRACTOR'S SOIL EROSION PERMIT REQUIREMENTS UNLESS SPECIFICALLY STATED IN THE CONTRACT DOCUMENTS.



PROJECT
Keefe Hotel

CLIENT
Gary W. Anderson
Architects
200 Prairie Street, Suite 201
Rockford, IL 61107

Contact:
Aaron Howerson
Tel: 815-963-1900
Email: aaronh@aarons.com

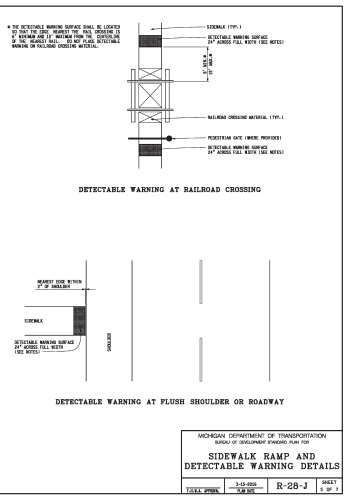
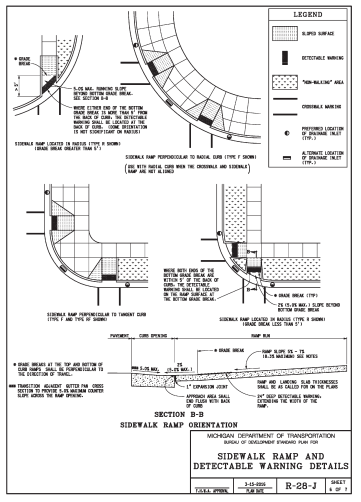
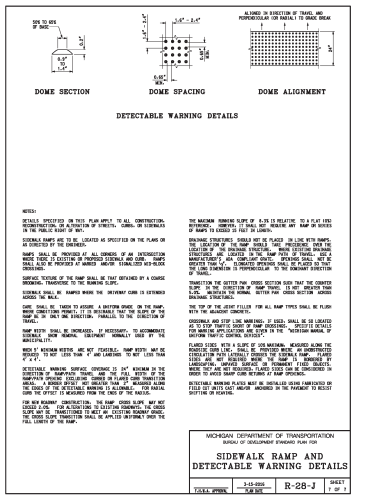
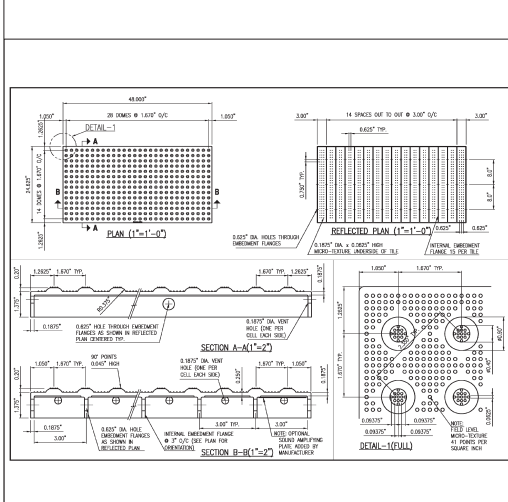
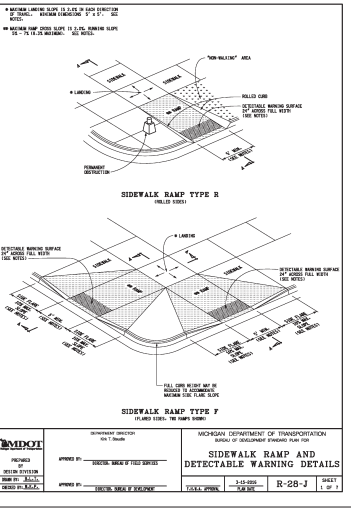
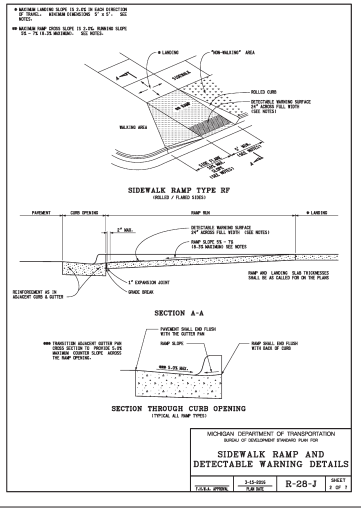
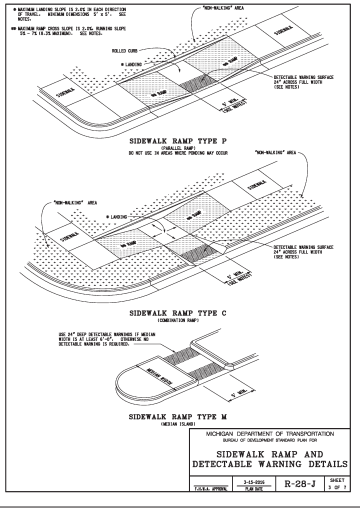
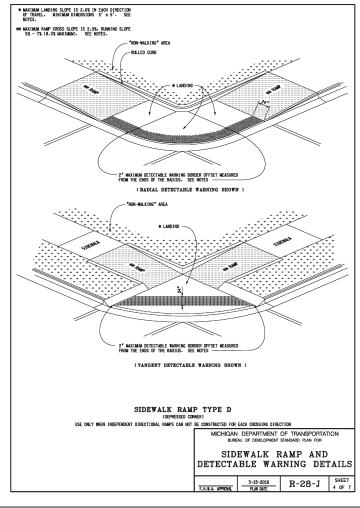
PROJECT LOCATION
Part of the Northeast 1/4
of Section 27
T. 6 S., R. 3 W.,
City of Hillsdale,
Hillsdale County, Michigan

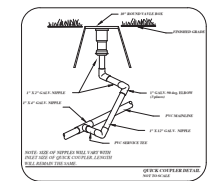
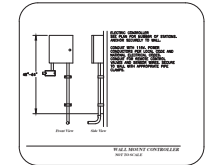
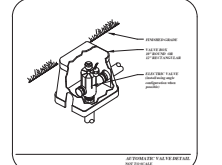
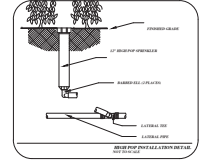
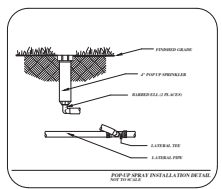
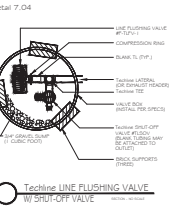
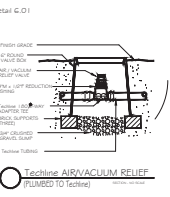
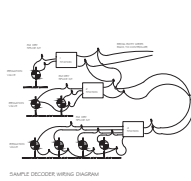
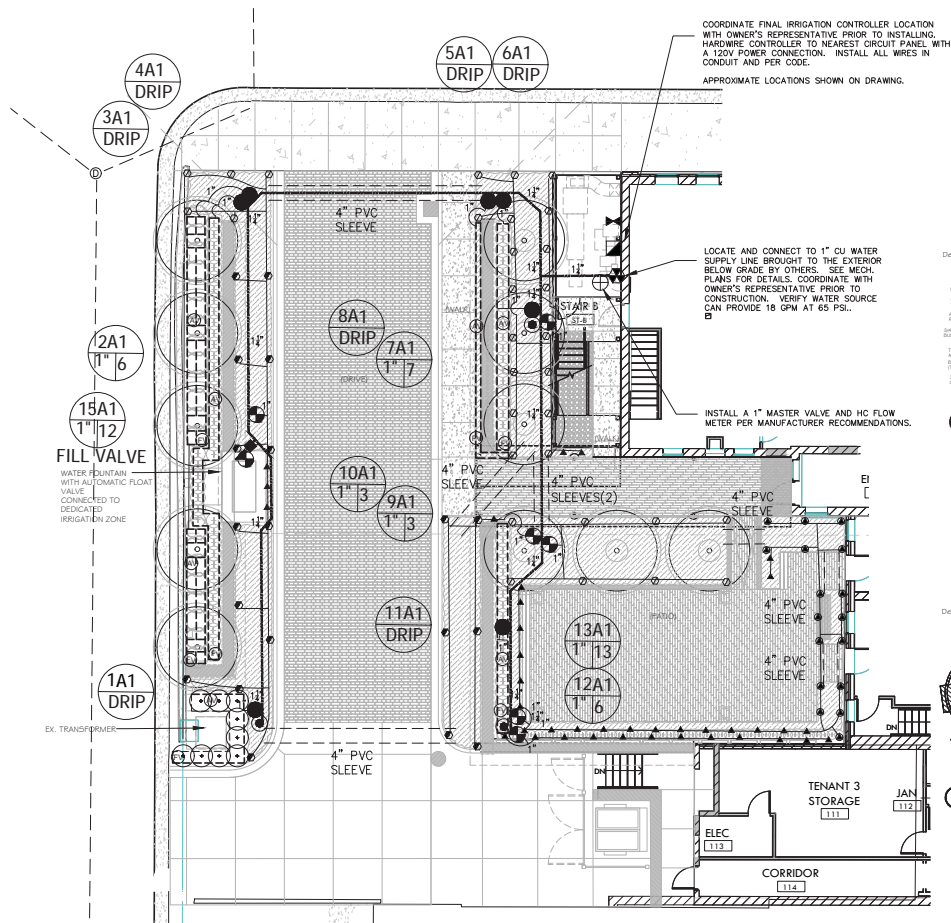
SHEET
Notes and Details



DATE ISSUED/REVISED
2019-05-31 ISSUED FOR COUNCIL REVIEW
2019-06-13 REVISED PER COUNCIL REVIEW
2019-06-24 REVISED PER COUNCIL REVIEW
2019-07-15 REVISED PER CITY PLAN REVIEW

DRAWN BY:
T. Wood
DESIGNED BY:
T. Wood
APPROVED BY:
J. Longhurst
DATE:
May 31, 2019
SCALE: N.T.S.





IRRIGATION LEGEND:

Hunter

FIXED SPRAY POP-UP (12" w/ specialty nozzle A 2" radius nozzle @ 4" radius nozzle FIXED SPRAY POP-UP (12" w/ specialty nozzle MPI000 @ MP2000 @ MP3000 @ MPSS530/AMPLC(R)15	PROS-12-cv PROS-12 PR330-CV
ELECTRIC MASTER VALVE - LINE SIZE w/ EZ DECODER	ICV- Series
ELECTRIC VALVE / EZ DECODERS	ICV- AS ADJ Series
QUICK COUPLER VALVE	HQ 44 RC
ELECTRIC CONTROLLER	HCM EZDM DECODER
BACKFLOW DEVICE BY OTHERS	
ISOLATION GATE VALVE (LINE SIZE)	
RAIN SENSOR DEVICE (Install at all controller locations)	SOLAR SYNC (wireless)
POINT OF CONNECTION TO WATER SOURCE	See note this sheet
PVC MANLINE, SDR 26, BE, Size as shown	
POLYETHYLENE PIPE, 100#, NSF APPROVED, Size as shown	
PVC SLEEVES - SDR 21 - Size as shown	VALVE DESIGNATION: Control and Station Number Gallons Per Minute

WATER REQUIREMENTS: 13 GPM @ 45 PSI @ TAP LOCATION
CONTRACTOR TO VERIFY AND AVAILABLE ON SITE PRIOR TO STARTING INSTALLATION

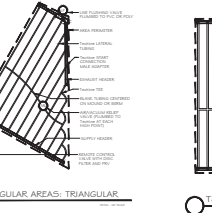
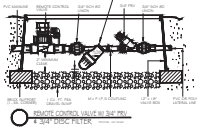
- NOTES:**
- Refer to the specifications for installation details and descriptions, as well as, construction methods which will be accepted.
 - All work shall be in compliance with all local, state, and federal codes and ordinances.
 - All electrical connections shall be made using 3m SERP-E splice kits.
 - All control wiring downstream of the controller shall be Hunter IDWIRE cable UL approved for direct bury.
 - All polyethylene lateral pipe clamps shall be stainless steel worm gear type clamps. Lateral pipe 1-1/2" or larger shall be double clamped.
 - Pipe routing is schematic. All heads are to be field adjusted to within 2" to take into consideration any obstruction. Final head placements are subject to the landscape architects approval.
 - All sprinkler heads shall be mounted on 2 elbow poly using joints as specified.
 - Contractor to verify final controller location with owner's authorized representative prior to installation.
 - All pipe not sized downstream of control valve is 1".
 - Irrigation controller's point of connection to water source shall be as noted on this sheet.
 - Locate and connect to indicated water source. All pipe installed above grade shall be copper type "M".
 - 120V power to the controller locations should be provided others. Coordinate with owner's representative. Hardware controller directly to nearest circuit panel. Place all wires in conduit.
 - Design pressure does not take into account seasonal supply fluctuations. Periods of drought may cause temporary pressure losses to the city water supply resulting in inadequate irrigation system performance. Irrigation design is based on normal weather conditions and typical municipal water supply utilities.
 - Irrigation controller shall be responsible for determining and maintaining the irrigation schedule during the project construction and throughout the length of the warranty period.
 - The irrigation schedule shall deliver 1" of precipitation per week +/- natural rainfall quantities for turf grass.
 - Landscape material shall receive adjusted amounts of precipitation to maintain proper plant health.
 - Landscape and turf grass shall be irrigated separately.
 - Rotors and spray zones may not be combined to operate at the same time.
 - When specified, follow manufacturer's product recommendations concerning proper installation of water flow sensors. Allow proper straight pipe distances before and after flow sensors.

PIPE SIZE CHART

0-12 GPM = 1" DIAMETER POLYETHYLENE PIPE
12-24 GPM = 1 1/2" DIAMETER POLYETHYLENE PIPE
24-30 GPM = 1 1/2" DIAMETER POLYETHYLENE PIPE
30-60 GPM = 2" DIAMETER POLYETHYLENE PIPE

LIQUID ASSETS
IRRIGATION DESIGN & WATER MANAGEMENT

4843 Kittery NW
Comstock Park, Michigan 49321
Tel: (248) 789-0330
email: abarnes@lqassets.org
www.lqassets.org



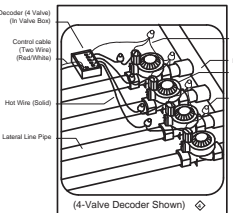
DRIP IRRIGATION LEGEND:

LOW VOLUME CONTROL ZONE LVZ-10075LF	NETAFIM or equal TLAVR TL050MFV-1
AIR RELIEF VALVE	
LINE FLUSHING VALVE	

DRIPPERLINE: Landscape zones 18" row spacing TLCV4-18

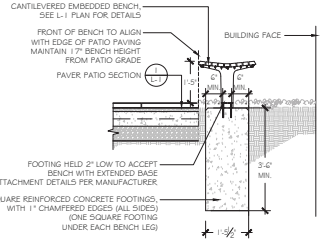
NOTES:

- Install 12"x12"x12" sump of pea gravel below all line flushing valves for adequate drainage.
- Install technichine above grade in the shrub beds and use technichine staples as recommended within the specifications. Shrub beds cover technichine with 3" mulch. Perennials beds cover technichine with 1-1/2" mulch.
- ALL DRIP ZONES TO HAVE INSTALLED A EZ OPERATION FLAG FOR IDENTIFYING ZONE ACTIVATION

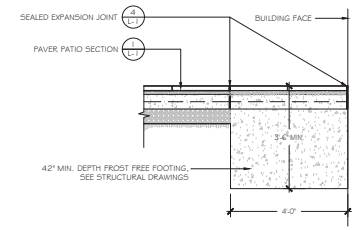


PIPE BLOCK DETAILS
NOT SHOWN

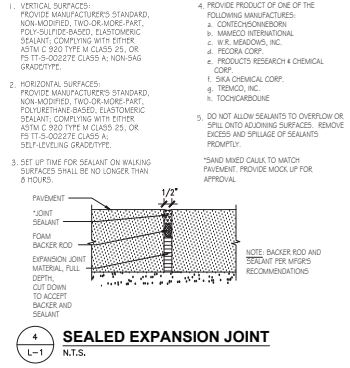
- ALL MAIN LINES TO BE INSTALLED AND TESTED ACCORDING TO MANDATORY TRENCH INSTALLATION INSTRUCTIONS. THESE SHALL BE A PART OF THE INSTALLATION SPECIFICATIONS.
- TRENCH DEPTH AND WIDTH SHALL BE AS SPECIFIED WITHIN WRITTEN SPECIFICATIONS.



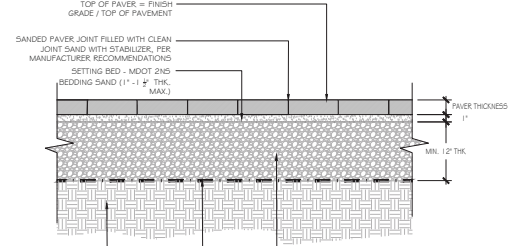
6 EMBEDDED BENCH DETAIL
1/2"=1'-0"



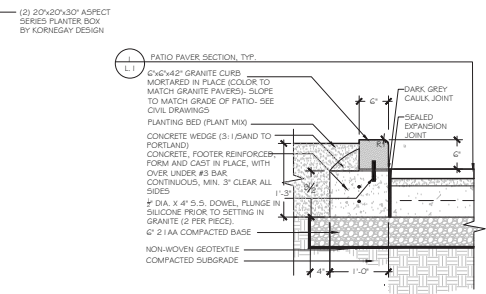
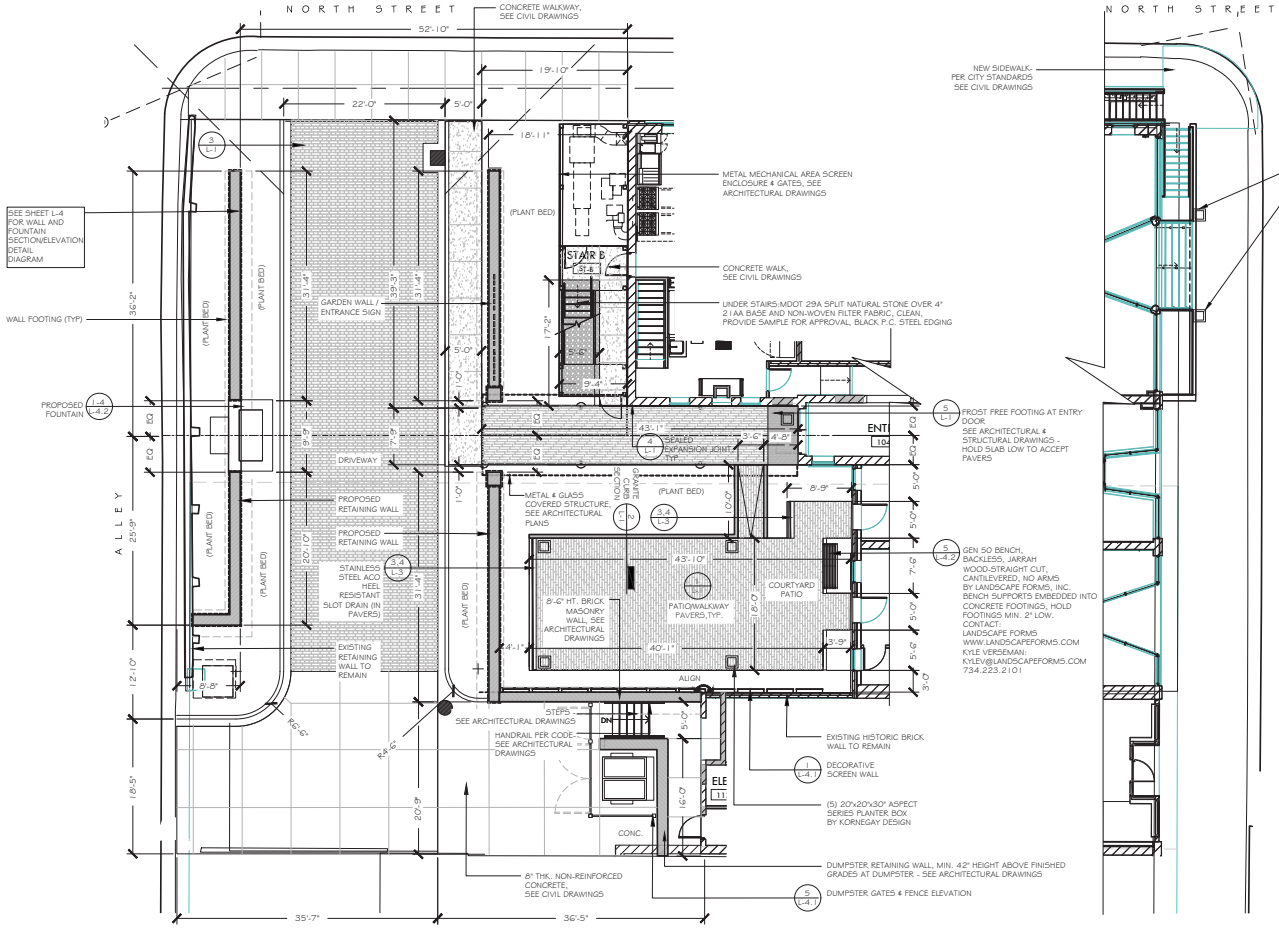
5 FROST FREE FOOTING WITH PAVER CAP
1/2"=1'-0"



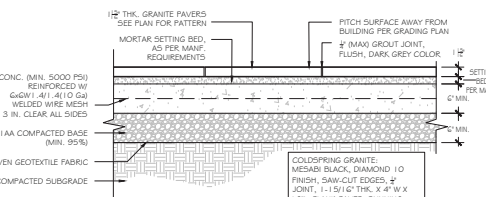
4 SEALED EXPANSION JOINT
N.T.S.



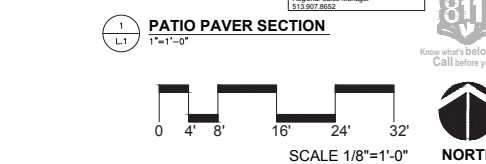
3 DRIVEWAY PAVEMENT SECTION (ALTERNATE)
1"=1'-0"



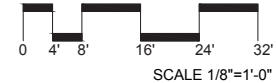
1 PATIO PAVEMENT SECTION, TYP.
1"=1'-0"

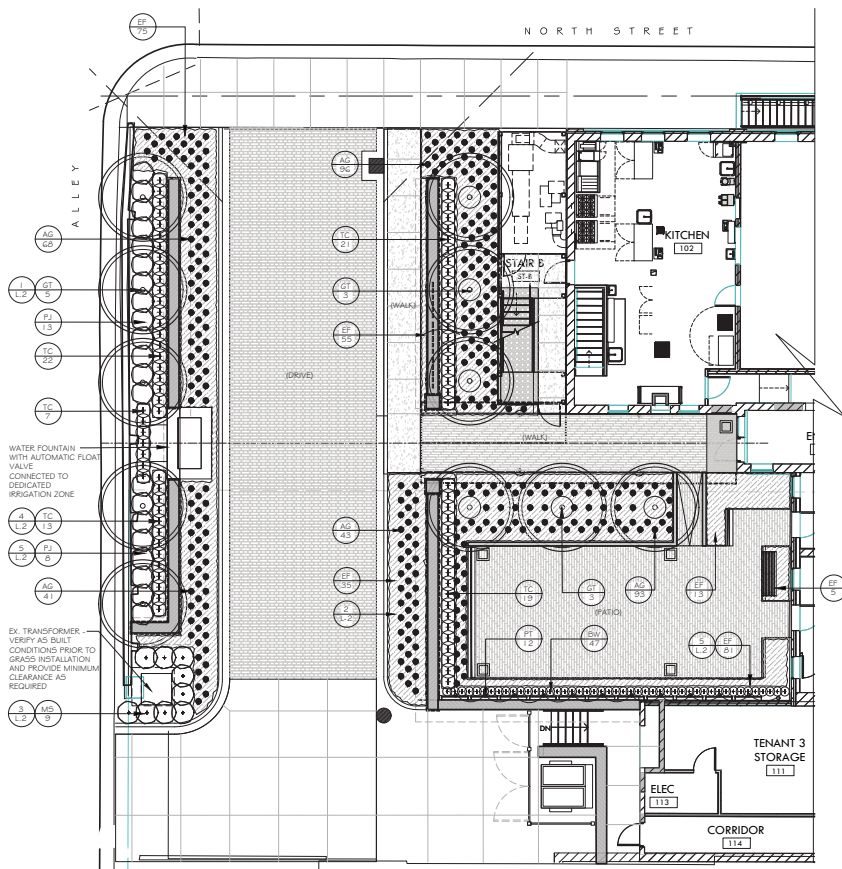


2 GRANITE CURB SECTION
1"=1'-0"



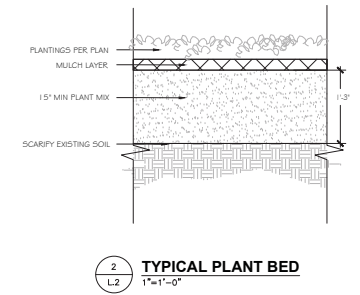
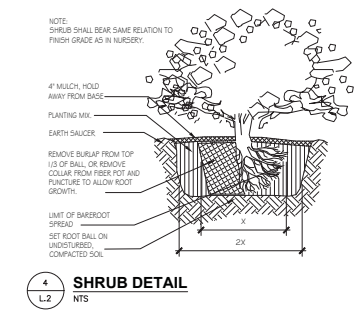
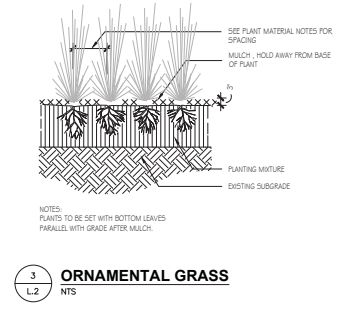
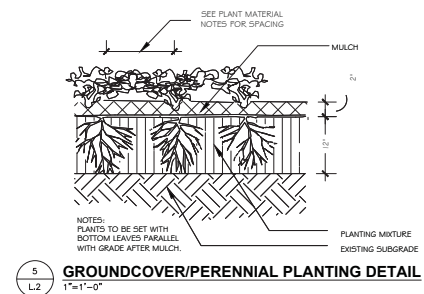
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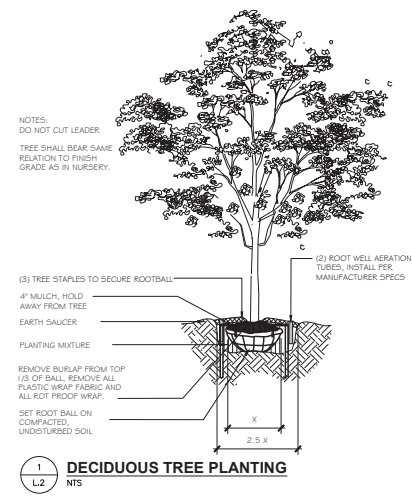
PLANT LIST

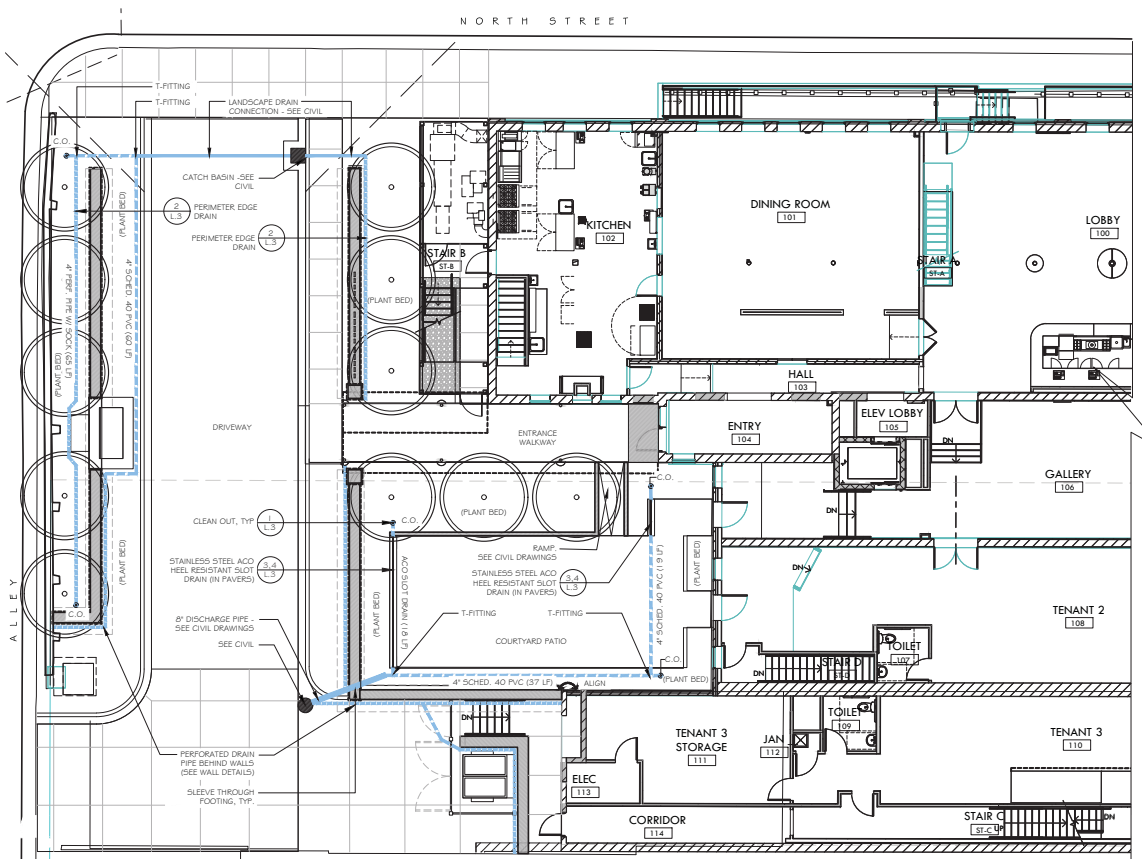
SYM.	QTY	BOTANICAL NAME	COMMON NAME	SIZE	ROOTS	COMMENTS
AG	341	Allium 'Gladiator'	'Gladiator' Allium	Bulb	Bulb	Fall planting, 18" o.c.
BW	47	Buxus 'Green Velvet'	Green Velvet Boxwood	15"	B&B	Plant 12" O.C. (Solid Hedge)
EF	264	Euonymus fortunei 'coloratus'	Purpleleaf Wintercreeper	24 Cell	Flat	Plant 6" O.C.
GT	11	Gleditsia triacanthos f. inermis 'Skyline'	'Skyline' Honey Locust	4" cal.	B&B	Matching with min. 60" limb height
PJ	21	Petasites japonicus 'Giganteus Variegatus'	'Variegated' Butterbur	2 gal.	Container	Plant 30" O.C.
PT	12	Parthenocissus tricuspidata	Boston Ivy	3 gal.	Container	Plant 48" O.C.
MS	9	Miscanthus sinensis 'Encore'	'Encore' Maiden Grass	3 gal.	Container	As Shown
TC	82	Taxus cuspidata 'Columnaris'	Japanese Yew	60" Ht.	B&B	Plant As Solid Hedge (No Gaps)



PLANTING & LANDSCAPE NOTES:

- LANDSCAPE CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT PRIOR TO LAYOUT OF PLANT MATERIAL. CONTRACTOR TO PROVIDE LANDSCAPE ARCHITECT 48 HR NOTICE.
- LANDSCAPE CONTRACTOR SHALL VISIT SITE, INSPECT EXISTING SITE CONDITIONS, AND REVIEW PROPOSED PLANTING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, PLAN SHALL GOVERN QUANTITIES. CONTACT LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- CONTRACTOR SHALL VERIFY LOCATIONS OF ALL ON-SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION OR FINISH PHASE OF WORK. ELECTRIC, GAS, TELEPHONE, CABLE, TELEVISION MAY BE LOCATED BY CALLING MISS DIG (811). ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES ON THE JOB AND SHALL REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNERS REPRESENTATIVE PRIOR TO COMMENCING.
- ALL PLANT MATERIAL TO BE PREMIUM GRADE NURSERY STOCK AND SHALL SATISFY AMERICAN ASSOCIATION OF NURSERIES STANDARD FOR NURSERY STOCK. ALL LANDSCAPE MATERIAL SHALL BE NORTHERN GROWN, NO. 1 GRADE.
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON LANDSCAPE PLAN PRIOR TO FINISHING THE WORK.
- THE OWNERS REPRESENTATIVE RESERVES THE RIGHT TO REJECT ANY PLANT MATERIAL NOT MEETING SPECIFICATIONS.
- ALL SINGLE STEM SHADE TREES TO HAVE STRAIGHT TRUNKS AND SYMMETRICAL CROWNS.
- ALL SINGLE STEM SHADE TREES TO HAVE A CENTRAL LEADER. TREES WITH FORKED OR IRREGULAR TRUNKS WILL NOT BE ACCEPTED.
- ALL TREES TO HAVE CLAY OR CLAY/LOAM ROOTBALLS. TREES WITH SAND ROOTBALLS WILL BE REJECTED.
- ALL TREE LOCATIONS SHALL BE STAKED BY LANDSCAPE CONTRACTOR AND ARE SUBJECT TO APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION OF THE PLANT MATERIAL.
- IT IS MANDATORY THAT POSITIVE DRAINAGE IS PROVIDED AWAY FROM ALL BUILDINGS.
- PLANT MATERIAL ADJACENT TO FIBC CONNECTIONS ARE TO ALLOW FOR VISUAL CLEARANCE.
- A 1-YEAR WARRANTY IS REQUIRED FOR ALL PLANTS. CONTRACTOR SHALL MAINTAIN AND WATER PLANTINGS AS REQUIRED TO MAINTAIN HEALTHY PLANTS. SPECIAL WARRANTY - SEE SPECS.
- ALL PLANTING BEDS SHALL BE ENCAVATED 15" AND RECEIVE A MINIMUM OF 15" COMPACTED PLANTING MIX. SHALL BE SLOPED OFF SITE AND LEGALLY DISPOSSE.
- ALL TAXUS AND EVERGREEN HEDGES SHALL BE BURAPPED FOR WINTER PROTECTION ALL SIDES. FULL HT WITH METAL STAKES MIN. 6" O.C. AND AT ALL CORNERS. CONTRACTOR SHALL REMOVE BURRAP IN SPRING.





DRAINAGE KEY	
	4" SCH. 40 PVC DRAIN PIPE
	PERFORATED DRAIN PIPE
	C.O. ● CLEANOUT (4L3)

DRAINAGE NOTES

REFER TO CIVIL ENGINEERING DRAWINGS FOR ALL PAVEMENT GRADES AND SITE DRAINAGE INFORMATION. THIS SHEET IS FOR LANDSCAPE DRAINAGE ONLY. REFER TO CIVIL FOR OVERALL GRADING PLAN AND STORM DRAINAGE SYSTEM.

ALL DRAINAGE PIPE SHALL BE RIGID BELOW WALKS AND DRIVES. BACKFILL WITH M20T CLASS II SAND OR APPROVED AGGREGATE MATERIAL UNLESS OTHERWISE SPECIFIED OR SHOWN IN DRAWINGS.

ALL NECESSARY PERMITS SHALL BE OBTAINED BY CONTRACTOR PRIOR TO CONSTRUCTION.

CONTRACTOR SHALL PROVIDE ALL REQUIRED FITTINGS TO COMPLETE THE WORK. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF LANDSCAPE DRAINAGE LAYOUT PRIOR TO INSTALLATION, INCLUDING ALL FITTINGS.

PROVIDE POSITIVE DRAINAGE AWAY FROM ALL BUILDINGS.

ALL LANDSCAPE DRAINAGE TO BE ADS, NDS, NYOPLAST, POLYLOK PRODUCTS, OR APPROVED SUBSTITUTES.

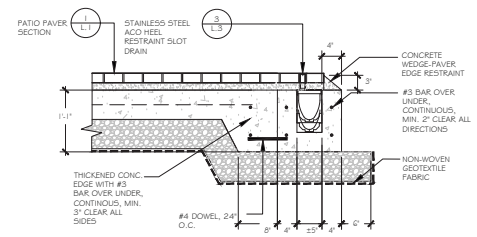
DRAINAGE CONTRACTOR SHALL COORDINATE SLOT DRAIN LOCATION WITH HARDSCAPE INSTALLER TO ALIGN LAYOUT WITH PAVING PATTERN.

PROVIDE SLOT DRAIN SHOP DRAWINGS

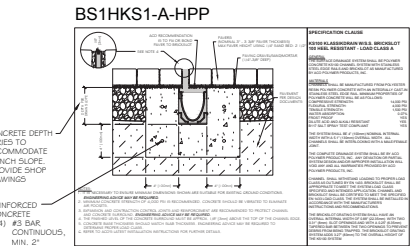
COORDINATE ALL LANDSCAPE DRAINAGE WITH PLANTING INSTALLATION

WATERPROOFING NOTES

ALL PENETRATIONS INTO A BUILDING OR IN CONTACT WITH LIVING SPACE SHALL BE WATERPROOFED AND FLASHED, INCLUDING BUT NOT LIMITED TO DOOR THRESHOLDS, DOOR WALLS, TERRACES, BALCONIES, STEPS, ROOFTOP RAILING SYSTEMS, ETC. FIELD EVALUATE ALL PENETRATIONS AND REVIEW CONDITIONS WITH ARCHITECT AND THE OWNER ON SITE FOR BEST PRACTICES AND WATERPROOFING METHODS.

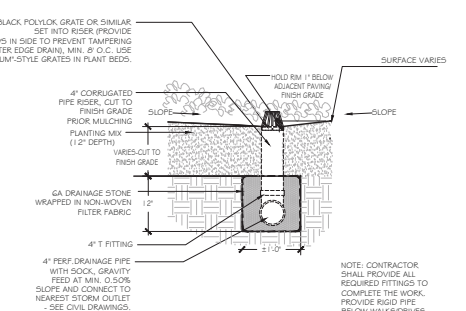


1 PATIO PAVEMENT SECTION
1"=1'-0"

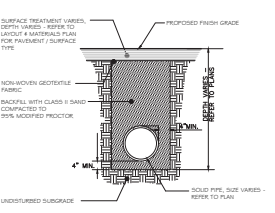


2 SLOT DRAIN IN PAVEMENT
1"=1'-0"

3 STAINLESS STEEL ACO HEEL RESISTANT SLOT DRAIN
1"=1'-0"

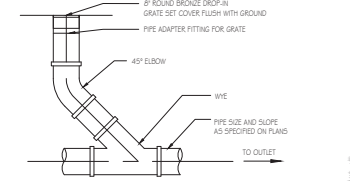


4 PERIMETER EDGE DRAIN DETAIL
1"=1'-0"



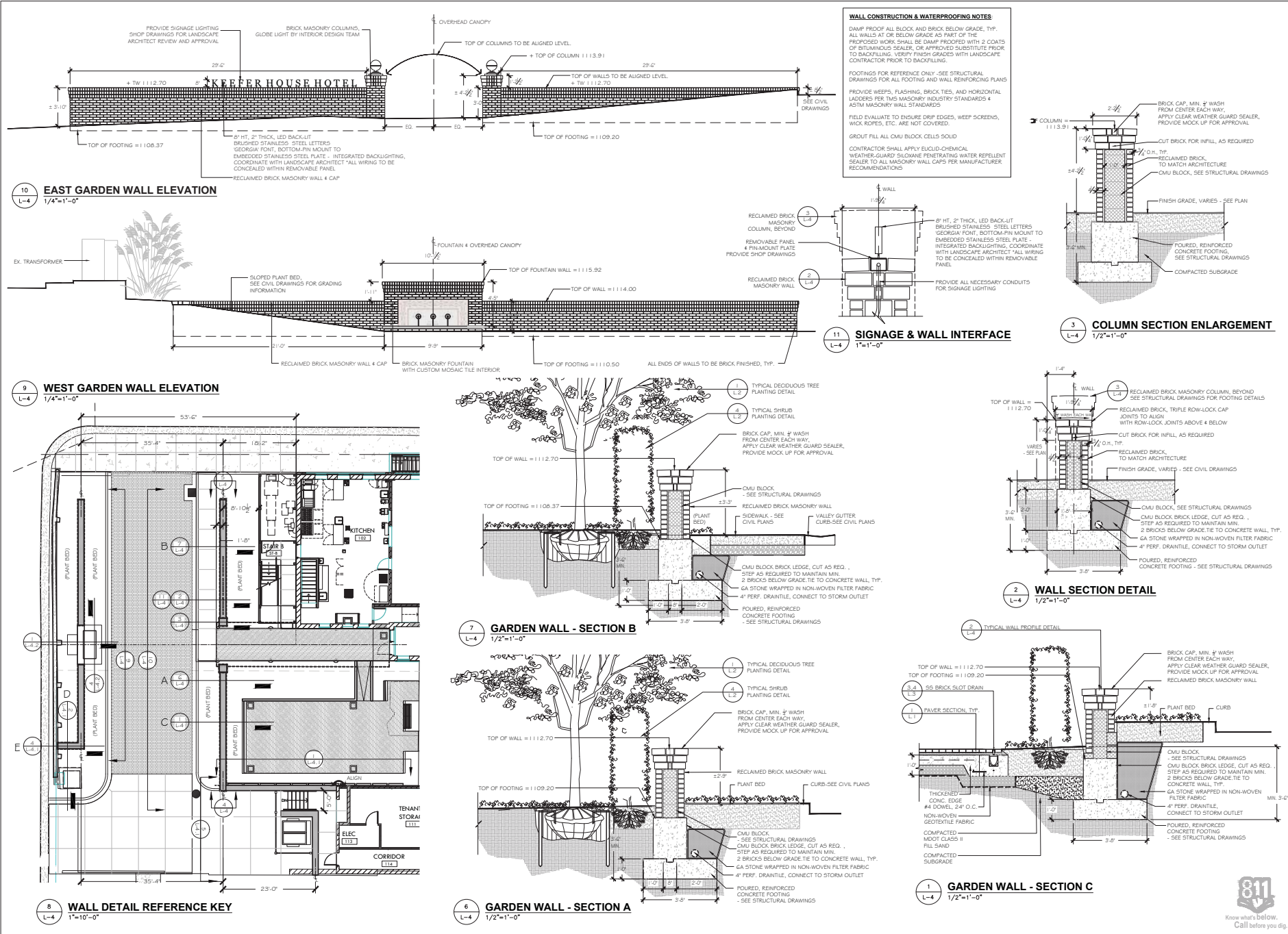
5 PIPE TRENCH / BEDDING
NTS

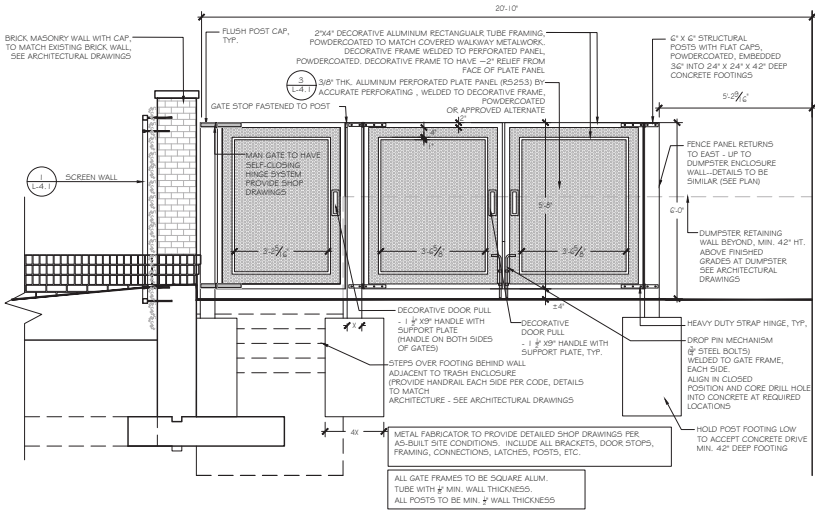
2 PERIMETER EDGE DRAIN DETAIL
1"=1'-0"



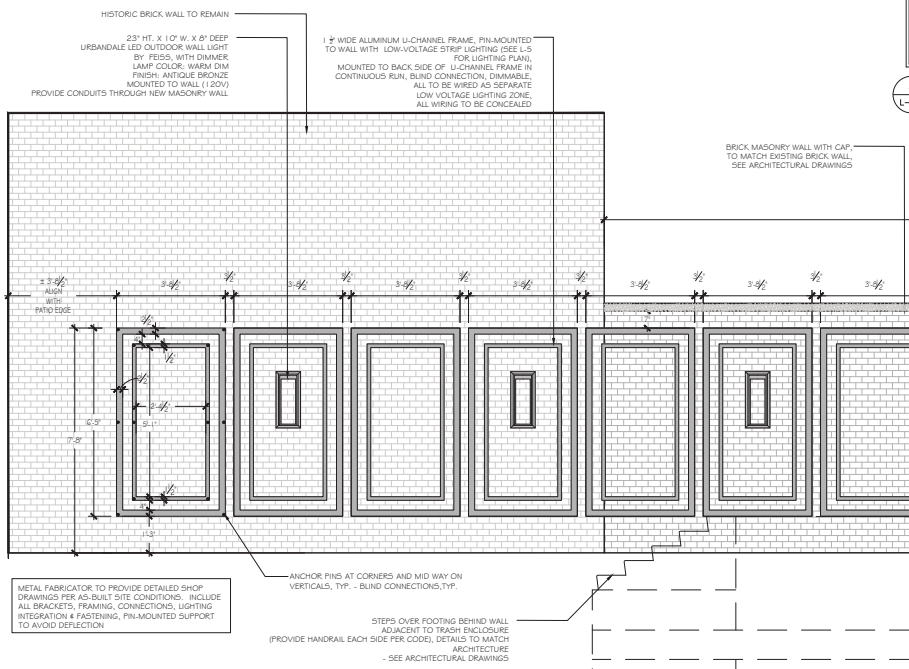
1 CLEANOUT
NTS



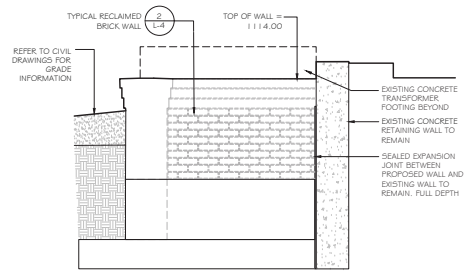




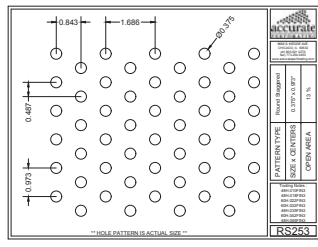
5 DUMPSTER GATES & FENCE ELEVATION
1/2"=1'-0"



1 GREEN SCREEN WALL ELEVATION
1/2"=1'-0"



4 GARDEN WALL - SECTION E
1/2"=1'-0"



3 PERFORATED METAL PANEL
1/2"=1'-0"

WALL CONSTRUCTION & WATERPROOFING NOTES

DAMP PROOF ALL BLOCK AND BRICK BELOW GRADE. TYP. ALL WALLS AT OR BELOW GRADE AS PART OF THE PROPOSED WORK SHALL BE DAMP PROOFED WITH 2 COATS OF BITUMINOUS SEALER, OR APPROVED SUBSTITUTE PRIOR TO BACKFILLING. VERIFY FINISH GRADES WITH LANDSCAPE CONTRACTOR PRIOR TO BACKFILLING.

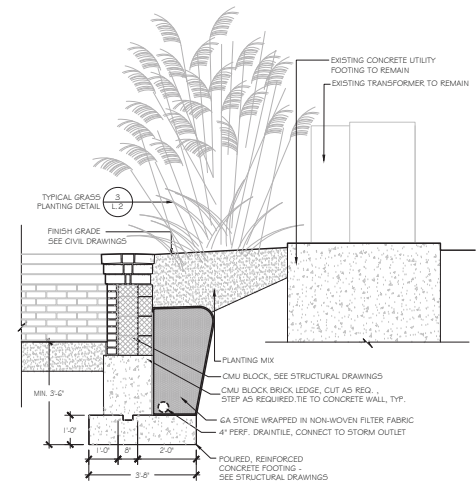
FOOTINGS FOR REFERENCE ONLY - SEE STRUCTURAL DRAWINGS FOR ALL FOOTING AND WALL REINFORCING PLANS

PROVIDE WEEPS, FLASHING, BRICK TIES, AND HORIZONTAL LADDERS PER TMS MASONRY INDUSTRY STANDARDS & ASTM MASONRY WALL STANDARDS

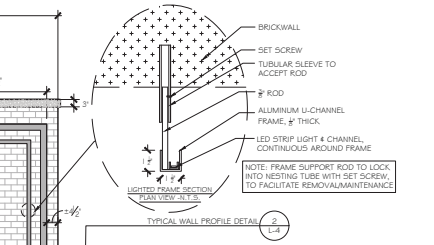
FIELD EVALUATE TO ENSURE DRY EVIDENCE, WEEP SCREENS, WICK ROPES, ETC. ARE NOT COVERED.

GROUT FILL ALL CMU BLOCK CELLS SOLID

CONTRACTOR SHALL APPLY EUCLO-CHEMICAL WEATHER-GUARD SILOXANE PENETRATING WATER REPELLENT SEALER TO ALL MASONRY WALL CAPS PER MANUFACTURER RECOMMENDATIONS



2 GARDEN WALL - SECTION D
1/2"=1'-0"



WATER FEATURE SPECIFICATION NOTES

THE INSTALLER SHALL BE RESPONSIBLE FOR PURCHASING WATER FEATURE COMPONENTS, AS WELL AS PROVIDING LABOR AND MATERIALS REQUIRED EFFECTING THE INSTALLATION OF THE OPERATIONAL SYSTEMS AS DETAILED IN THE PLANS AND SPECIFICATIONS.

THE PRIME WATER FEATURE INSTALLER SHALL FURNISH FOUNTAIN ELECTRICAL COMPONENTS TO THE ELECTRICAL INSTALLER FOR INSTALLATION AND CONNECTION.

A SINGLE MANUFACTURER SHALL SUPPLY ELECTRICAL AND MECHANICAL WATER FEATURE COMPONENTS IN ORDER TO ENSURE THE INTEGRITY OF THE WATER FEATURE DESIGN.

SUBSTITUTION OF WATER FEATURE MATERIALS SHALL REQUIRE WRITTEN APPROVAL BY THE PROJECT ARCHITECT OR LANDSCAPE ARCHITECT. INSTALLERS OFFERING SUBSTITUTIONS SHALL SUBMIT THREE COPIES OF THE FOLLOWING DATA AT LEAST TEN WORKING DAYS PRIOR TO THE BID DATE FOR REVIEW AND APPROVAL:

1. COMPLETE WATER FEATURE SYSTEM FLOW DIAGRAM.
2. COMPLETE WATER FEATURE ELECTRICAL CONTROL PANEL LADDER LOGIC DIAGRAMS.
3. A COMPLETE BILL OF MATERIALS ALONG WITH SPECIFICATION CUTS OF PROPOSED SUBSTITUTE ITEMS.
4. A WRITTEN DESCRIPTION OF THE WATER FEATURE'S OPERATIONAL CYCLE.
5. A WRITTEN PERFORMANCE GUARANTEE BY THE ALTERNATE SYSTEM MANUFACTURER CERTIFYING THAT THE ALTERNATE SYSTEM WILL MEET THE SPECIFIED DESIGN CONCEPT AND PERFORMANCE REQUIREMENTS.

FAILURE TO SUBMIT FOR PRIOR APPROVAL OF SUBSTITUTIONS WILL BE GROUNDS FOR REJECTION.

WITH TEN WORKING DAYS OF AWARD OF CONTRACT, INSTALLER SHALL SUBMIT FIVE COPIES OF MANUFACTURERS' DETAILED DATA SHEETS AND SUBMITTAL DRAWINGS OF WATER FEATURE COMPONENTS FOR APPROVAL PRIOR TO INSTALLATION.

UPON COMPLETION OF THE PROJECT, INSTALLER SHALL PROVIDE THREE COPIES OF OWNER'S OPERATION AND MAINTENANCE MANUALS. MANUALS SHALL BE PROVIDED DIGITALLY WITH ALL PORTIONS IN A PRINTABLE FORMAT, AND SHALL INCLUDE OPERATING AND MAINTENANCE PROCEDURES ALONG WITH MANUFACTURERS' DATA SHEETS AND SYSTEM DRAWINGS.

GENERAL NOTES

THE WATER FEATURE MECHANICAL AND ELECTRICAL DRAWINGS ARE DIAGRAMMATIC, INTENDED TO INDICATE THE SCOPE OF WORK TO BE DONE. EQUIPMENT AND MATERIAL LOCATIONS MAY BE DISTORTED FOR CLARITY IN PRESENTATION.

QUESTIONS PERTAINING TO WORK THAT DOES NOT APPEAR TO BE SUFFICIENTLY DETAILED OR EXPLAINED, OR PERTAINING TO THE TRUE MEANING OF A PART OF THE DRAWINGS OR SPECIFICATIONS, OR DISCREPANCIES FOUND EXISTING IN OR BETWEEN THE SPECIFICATIONS AND DRAWINGS, SHALL BE REFERRED TO THE LANDSCAPE ARCHITECT FOR CLARIFICATION.

ITEM NUMBERS CORRESPOND TO THE BILL OF MATERIALS AND SHALL BE FURNISHED BY THE EQUIPMENT MANUFACTURER. THE INSTALLER SHALL FURNISH OTHER MATERIALS, LABOR, TOOLS, EQUIPMENT, APPARATUS, AND SERVICES, WHICH ARE REQUIRED TO COMPLETE THE INSTALLATION OF THE WATER FEATURE SYSTEM.

NOTE:

ALL CONNECTIONS TO BOARD OF PUBLIC UTILITIES (BPU) FACILITIES MUST HAVE BPU PERMIT AND ALL WORK ASSOCIATED WITH THE CONNECTION MUST BE DONE IN ACCORDANCE WITH BPU SPECIFICATIONS.

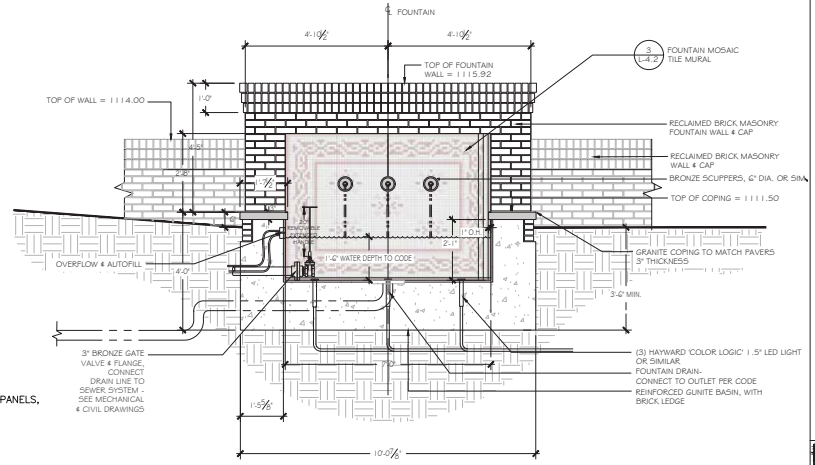
CONTRACTOR SHALL SUPPLY OWNER WITH (4) COPIES OF THE FOUNTAIN MANUAL.

ELECTRICAL

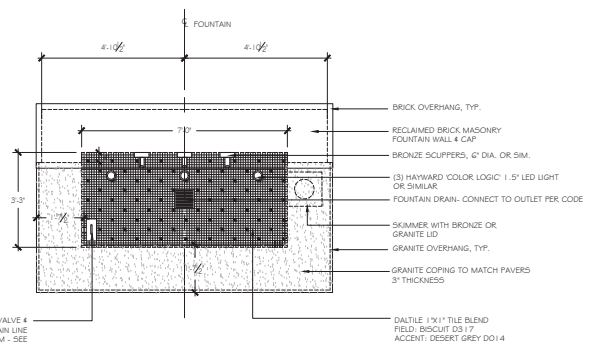
1. UNDERWATER ELECTRICAL EQUIPMENT CAN CAUSE FATAL ELECTRICAL SHOCK IF NOT INSTALLED PROPERLY. SHOP DRAWINGS SHALL BE DESIGNED IN STRICT COMPLIANCE WITH THE NATIONAL ELECTRICAL CODE, ARTICLE 680. INSTALLER SHALL INSTALL ELECTRICAL EQUIPMENT IN ACCORDANCE WITH NEC ARTICLE 680 AND LOCAL ELECTRICAL CODES.
2. A CLASS 'A' GROUND FAULT CIRCUIT INTERRUPTER (GFCI) SHALL BE INSTALLED ON CIRCUITS THAT HAVE AN OPERATING VOLTAGE GREATER THAN 15 VOLTS AND THAT SUPPLY WATER FEATURE EQUIPMENT LOCATED WITHIN BASINS. EQUIPMENT OPERATING AT LESS THAN 15 VOLTS SHALL BE PROTECTED BY A TRANSFORMER WHICH IS UL LISTED AND MARKED FOR THE APPLICATION.
3. UNLESS UL LISTED FOR EITHER WET OR DRY OPERATION, UNDERWATER LIGHT FIXTURES SHALL BE INSTALLED SO THAT THEY ARE SUBMERGED WHEN IN OPERATION. SHALL BE PROTECTED BY A LENS GUARD IF POINTED UPWARD, AND SHALL BE PROTECTED BY AN INTEGRAL THERMAL CUTOFF DEVICE TO PREVENT OVERHEATING.
4. UNDERWATER LIGHT FIXTURES SHALL BE INSTALLED WITH SUFFICIENT CORD LENGTH TO ALLOW REMOVAL FROM THE WATER FOR REPLACEMENT AND NORMAL MAINTENANCE WITHOUT LOWERING THE BASIN WATER LEVEL.
5. UNDERWATER JUNCTION BOXES SHALL BE EQUIPPED WITH THREADED CONDUIT ENTRIES AND STRAIN RELIEF SEALS FOR CORD ENTRY. STRAIN RELIEF SEALS SERVING NICHE MOUNTED FIXTURES SHALL MAKE PROVISION FOR BOTH THE FIXTURE CORD AND AN AWG # 8 COPPER BONDING WIRE WHEN REQUIRED BY LOCAL CODE.
6. UNDERWATER JUNCTION BOXES, OR JUNCTION BOXES MOUNTED OUTSIDE THE BASIN BUT BELOW THE WATER LEVEL, SHALL BE POTTED USING 3M "GEL" 8882 RE-ENTERABLE POTTING COMPOUNDS. CONDUIT ENTRIES SHALL BE SEALED PRIOR TO POTTING THE JUNCTION BOX TO PREVENT POTTING COMPOUND FROM ENTERING THE CONDUIT SYSTEM.
7. STUB-UPS FOR CONDUIT MOUNTED UNDERWATER JUNCTION BOXES MUST BE OF RED BRASS PIPE OR STAINLESS STEEL. NON-METALLIC CONDUIT MAY NOT BE USED FOR SUPPORT OF JUNCTION BOXES.
8. WIRE PULLED BETWEEN WATER FEATURE ELECTRICAL CONTROLS PANELS AND UNDERWATER JUNCTION BOXES SHALL BE OF STRANDED COPPER, WATER-RESISTANT TYPE SELECTED AND SIZED FOR THE APPLICATION.
9. CONDUIT SHALL BE SEALED TO PREVENT ENTRY OF MOISTURE AND TO PREVENT WATER FRC DRAINING INTO THE WATER FEATURE ELECTRICAL CONTROL PANELS.
10. FOUNTAIN SHOP DRAWINGS SHALL INCLUDE AN ELECTRICAL PLAN THAT SHOWS ALL CONTROL PANELS, LIGHTING, JUNCTION BOXES, AND CONDUIT

MECHANICAL

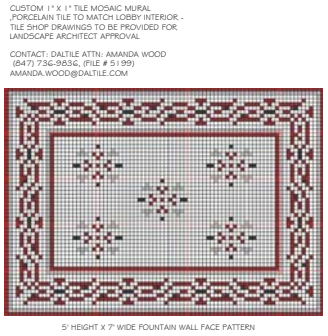
1. THIS INSTALLATION SHALL COMPLY WITH DWSO CODES AND REQUIREMENTS.
2. PIPING LOCATED WITHIN A FOUNTAIN BASIN, AND STUB-UPS THROUGH A FOUNTAIN FLOOR OR WALLS OF A BASIN, SHALL BE OF BRASS PIPE, TYPE K COPPER TUBING OR STAINLESS STEEL.
3. INSTALLER SHALL SUPPLY WATERSTOP PROTECTION FOR PIPING PENETRATING FOUNTAIN FLOOR OR WALLS AND FOR FITTINGS CAST THEREIN UNLESS OTHERWISE SPECIFIED WITHIN THESE DRAWINGS AND EQUIPMENT LISTS.
4. INTERCONNECTING PIPE AND FITTINGS BETWEEN THE FOUNTAIN BASIN AND THE PUMP EQUIPMENT ROOM SHALL BE OF COPPER, MINIMUM-SCHEDULE 40 PVC, STAINLESS STEEL OR FIBERGLASS.
5. PRESSURIZED CITY WATER LINES SUPPLYING THE WATER FEATURE SYSTEM SHALL BE OF COPPER AND SHALL BE PROTECTED BY A BACKFLOW PREVENTION DEVICE AND PRESSURE REDUCTION VALVE SET AT 50 PSI MAXIMUM.
6. PIPING RUNS SHALL BE MADE AS DIRECT AS POSSIBLE USING THE MINIMUM NUMBER OF FITTINGS. PIPE SHALL SLOPE TO THE PUMP FOR DRAINAGE AND SHALL BE FREE OF TRAPS OR LOOPS THAT COULD TRAP WATER OR AIR.
7. IF PIPING CANNOT BE SLOPED TO PUMP, MAKE PROVISIONS FOR COMPLETE DRAINING OF EACH PIPE WITH A MINIMUM 1/2" LINE AND VALVE AT THE LOWEST POINT.
8. PUMP SUCTION INTAKE AND SUCTION PIPING SHALL BE ROUTED TO AN ELEVATION BELOW THE WATER LEVEL OF THE LOWEST BASIN SO THAT BOTH THE PUMP AND THE SUCTION PIPING ARE COMPLETELY FLOODED WHEN THE WATER FEATURE SYSTEM IS FILLED UNLESS OTHERWISE SPECIFIED HEREIN.
9. PIPING SHALL BE PRESSURE TESTED PRIOR TO BACK-FILLING AND SHALL BE PROPERLY SUPPORTED.
10. INSTALLER SHALL PROVIDE DRAINAGE AND VENTILATION IN AN EQUIPMENT PUMP VAULT IN ORDER TO PREVENT FLOODING, CONDENSATION, OR OVERHEATING OF EQUIPMENT.



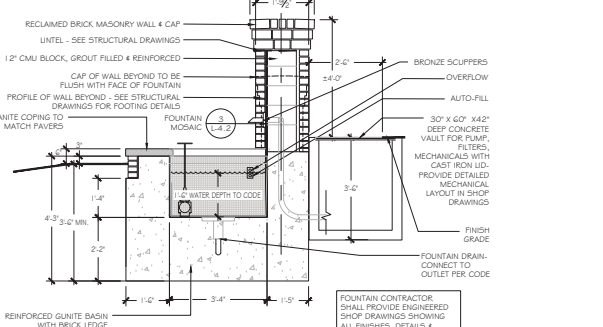
4 FOUNTAIN SECTION ELEVATION
1/2"=1'-0"



2 FOUNTAIN PLAN VIEW
1/2"=1'-0"



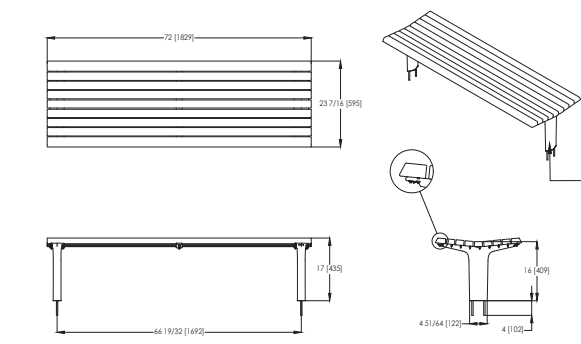
3 FOUNTAIN MOSAIC DETAIL
N.T.S.



1 FOUNTAIN SECTION
1/2"=1'-0"

Generation 50 bench, backless, 72in length, straight cut face board, cantilever embedded, no arms
Date: 10/17/2019
Product Drawing
www.landscapeforms.com Ph: 800.521.2546

BENCH MUST BE ANCHORED.
INCLUDE ANCHORING HARDWARE
(4) 3/8" x 5-1/8" THREADED RODS

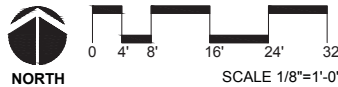
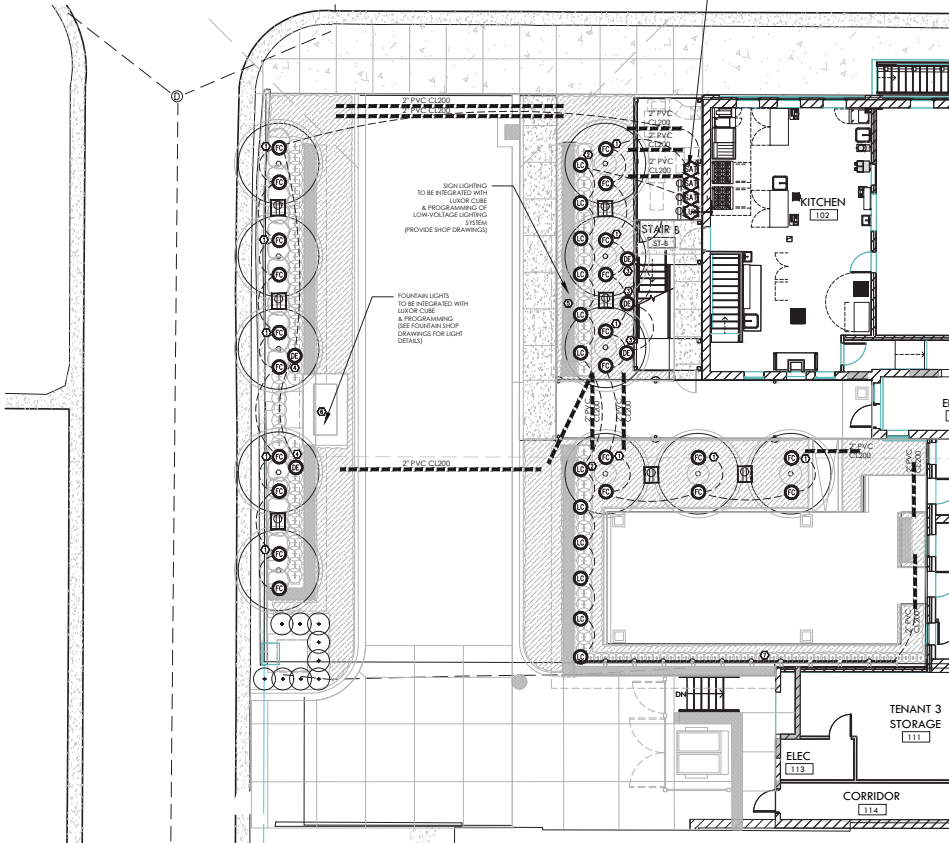


EXTENDED BENCH BASE TO MEET FOOTING TO MAINTAIN 1 7/8" BENCH HEIGHT FROM PATIO FINISH GRADE
CONTACT: LANDSCAPE FORMS
WWW.LANDSCAPEFORMS.COM
KYLE (VERSION): KYLE@LANDSCAPEFORMS.COM
734.223.2101

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5 GENERATION 50 EMBEDDED BENCH
N.T.S.





PRELIMINARY GROUPS AND ZONES FOR PROGRAMMING:

- GROUP 1 UP LIGHTING FOR TREES
- GROUP 2 UP LIGHTING FOR WALLS
- GROUP 3 DOWN LIGHTING IN TREES
- GROUP 4 DOWN LIGHTING IN TREES
- GROUP 5 SIGN LIGHTING
- GROUP 6 FOUNTAIN LIGHTING
- GROUP 7 SCREEN WALL LIGHTING

NOTES & LEGEND

BRILLIANCE LED AC (PFC GEN II) 2700K FLEXIBLE STRIP LIGHT BR15LS-2700-4S, MAX LENGTH PER FEED 40 FT. INSTALL WITH FX LUMINAIRE LCM-V CUBE (QTY 2) AND BRILLIANCE STRIP LIGHT CHANNEL (03312747510)

- 10** FX LUMINAIRE LC-ZDC-FB UP LIGHT 9.1W 11.0VA FLAT BLACK, POST MOUNT
INSTALL WITH 10" x 18" CONCRETE FOOTING, 2" SCH40 PVC SEE INSTALLATION INSTRUCTIONS
- 11** FX LUMINAIRE NP-ZDC-FB UP LIGHT 9.1W 11.0VA WITH LOUVER FLAT BLACK
INSTALL WITH 10" x 18" CONCRETE FOOTING, 2" SCH40 PVC SEE INSTALLATION INSTRUCTIONS
- 12** FX LUMINAIRE DE-ZDC-FB DOWN LIGHT 9.1W 11.0VA 4000 SHROUD FLAT BLACK
INSTALL WITH VERSABOX, 1/2" FPT THREAD, V8-050-FB FLAT BLACK (TREE ADAPTER CONNECTION)
- 13** FX LUMINAIRE LUXOR LUX-300-SS 300W STAINLESS STEEL ASTRONOMICAL LIGHTING CONTROL WITH LINKING, 250 ZONES, 0-100% INTENSITY ADJUSTMENT, 30,000 COLOR OPTIONS
- 14** FX LUMINAIRE LUXOR LSA1-300-SS 300W STAINLESS STEEL ASTRONOMICAL LIGHTING CONTROL WITH LINKING COMPATIBLE, 200 ZONES, 0-100% INTENSITY ADJUSTMENT, 30,000 COLOR OPTIONS

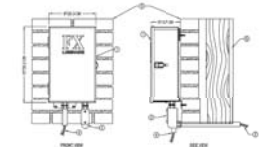
3/4" SCH40 CONDUIT, 18" BURY. INSTALL CAT6 COMMUNICATION CABLE IN SERIES FROM LUX PRIMARY CONTROLLER TO EACH LSA1 SATELLITE CONTROLLER INTO LINKING PORT

LOW VOLTAGE CABLE VALUES:

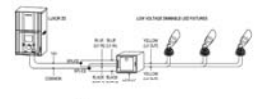
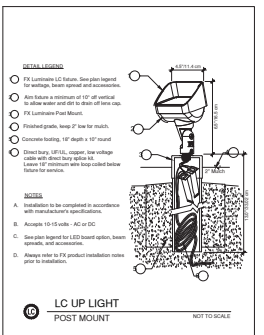
8 GAUGE	40 MAX AMPS	0.0004 RESISTANCE
10 GAUGE	30 MAX AMPS	0.00108 RESISTANCE
12 GAUGE	20 MAX AMPS	0.00144 RESISTANCE
14 GAUGE	15 MAX AMPS	0.00222 RESISTANCE

- 10** GROUP ID NUMBER. CONFIRM WITH OWNER REPRESENTATIVE PRIOR TO INSTALLATION
- 11** GFCI OUTLET IN-GRADE BOXES
- 12** GFCI OUTLET

1. THIS PLAN IS INTENDED FOR LANDSCAPE LIGHTING PURPOSES THIS PLAN IS INTENDED FOR LANDSCAPE LIGHTING PURPOSES ONLY. ALL LIGHTING FIXTURES AND TRANSFORMERS SHALL BE INSTALLED PER MANUFACTURERS SPECIFICATIONS. IT IS THE CONTRACTORS RESPONSIBILITY TO MAINTAIN COMPLIANCE WITH ALL LOCAL BUILDING SAFETY CODES AND ORDINANCES.
2. FIXTURES ARE SHOWN IN APPROXIMATE LOCATION. THE CONTRACTOR SHOW FIELD VERIFY THE ACTUAL PLACEMENT OF EACH FIXTURE UPON COMPLETION OF LANDSCAPE INSTALLATION. RECEIVE APPROVAL FOR OWNERS REPRESENTATIVE PRIOR TO INSTALLATION.
3. ALL PATH LIGHTS ARE TO BE INSTALLED AT A MINIMUM OF 12 INCHES FROM ANY SIDEWALK OR VERTICAL STRUCTURE.
4. ALL LOW-VOLTAGE DIRECT BURIAL WIRE TO BE INSTALLED AT >1/2" BELOW FINISH GRADE PER ELECTRICAL CODE.
5. IN ORDER TO MINIMIZE FUTURE DISTURBANCE. ALL WIRE RUNS SHALL BE INSTALLED PARALLEL AND ADJACENT TO HARD SURFACES SUCH AS SIDEWALKS DRIVEWAYS AND WALLS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING SLEEVES UNDER ALL HARDCAPE SURFACES USING A MINIMUM 2 INCH PVC PIPE. USE CLASS 200 PVC OR EQUAL.
7. ALL UNDERGROUND SPLICES SHALL BE UL-48RATED AND INSTALLED IN UNDERGROUND J-BOXES OR BELOW FIXTURE WITH WATER TIGHT CONNECTIONS LEAVING 24 INCHES OF EXCESS WIRE SLACK.
8. ALL EXTERIOR 120 - VOLT ELECTRICAL OUTLETS SHALL BE GFI PROTECTED AS PER NATIONAL ELECTRICAL CODE. 120 - VOLT SHALL BE PROVIDED BY ELECTRICAL TRADES. ALL COMMUNICATION CONDUIT SHALL BE INSTALLED BY ELECTRICAL TRADES.
9. ALL TRANSFORMERS PLUGGED INTO AN OUTDOOR RECEPTACLE SHALL HAVE AN "IN USE" COVER. CONTRACTOR SHALL INSTALL TAYMAC TYPE COVERS AT ALL OUTLETS.
10. ALL PLUG-IN TRANSFORMERS SHALL HAVE A DRIP LOOP IN THE POWER CORD.
11. ALL EXPOSED CONDUITS SHALL BE PAINTED TO MATCH SURROUNDINGS.
12. THE INSTALLING CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE FIXTURES AT NIGHT TO HELP ELIMINATE GLARE AND TO ENSURE OPTIMUM LIGHTING EFFECT.
13. CONTRACTOR TO VERIFY A MINIMUM OF 10 VOLTS AT THE LAST AT THE LAST FIXTURE FOR OPTIMAL OPERATION.
14. ALL WIRE CONNECTIONS AT FIXTURES SHALL BE MADE USING WATER TIGHT CONNECTIONS. DRYCONN HSC HEAT SHRINK CRIMP CONNECTORS AND DRYCONN CPC CENTRAL POINT CONNECTORS ONLY.
15. LANDSCAPE LIGHTING CONTRACTOR SHALL PROVIDE AS-BUILT DRAWING OF 12 - VOLT LIGHTING SYSTEM, NOTING CHANGES TO EQUIPMENT LOCATION AND PROVIDE A PROGRAM CHART OF ALL ZONES. TO INCLUDE FIXTURES, GROUP NUMBER AND PROGRAM.



- REQUIREMENTS:**
- 1. All concrete cover minimum. See site plan for location.
 - 2. All PVC conduit must be installed in 18" depth.
 - 3. All PVC conduit must be installed in 18" depth.
 - 4. All PVC conduit must be installed in 18" depth.
- NOTES:**
- 1. Transformer to be installed in mechanical area.
 - 2. See site plan for location of transformer.



INSTALLATION GUIDELINES:

The LC-ZDC-FB and NP-ZDC-FB are designed for use in a variety of applications. They are designed to be installed in a variety of applications. They are designed to be installed in a variety of applications.

Installation Requirements:

Install all wiring in accordance with the National Electrical Code (NEC) and all applicable local codes. The fixture is designed to be installed in a variety of applications. They are designed to be installed in a variety of applications.

INSTALL NOTES: QT, JB and DE

FXLuminaire

We have developed this series of field installation guidelines to assist you in correctly installing fixtures and transformers, ensuring proper installation and trouble-free service. If you have any questions, please call your local distributor or the FX Luminaire at 800-773-2823 before proceeding. Follow all NEC, guidelines and local electrical codes. For more information, visit fx.com.

TYPICAL INSTALLATION:

INSTALLATION GUIDELINES:

The LC-ZDC-FB and NP-ZDC-FB are designed for use in a variety of applications. They are designed to be installed in a variety of applications. They are designed to be installed in a variety of applications.

Installation Requirements:

Install all wiring in accordance with the National Electrical Code (NEC) and all applicable local codes. The fixture is designed to be installed in a variety of applications. They are designed to be installed in a variety of applications.

DO NOT EXCEED 10 VOLTS IN THIS FIXTURE

The LED's in this product function ideally when the operating voltage is 10V. Exceeding this voltage will reduce the operating life of the LED's and may cause premature failure. The use of an unapproved voltage will void the product's warranty. Use only a U.S. 302A approved power supply.

SiteOne
LANDSCAPE SUPPLY
850 Stephenson Highway
Troy, Michigan 48063
Attn: Adam Wendt
Phone: Office (248) 588-2100, Cell (248) 824-8414
Fax (248) 588-3528
www.SiteOne.com
(800) 347-4272



TO: Planning Commission

FROM: Zoning Administrator

DATE: November 17, 2020

RE: Master Plan Goals

Background: The goals and objectives are down to just the newest sections that were created as a result of the Visioning meeting held in January. This is also the first look at the new format the Dr. Morrissey helped facilitate. Review what we have already discussed and bring your thoughts on the newest sections.

The City of
HILLSDALE
MICHIGAN

Master Plan
2020 Edition





Goals and Objectives

I. Long Term Goals	76
II. Long Term Action Steps	76
III. Short Term Goals	77

I. Long Term Goals

1. Establish vibrant corridor businesses.
2. Establish a vibrant downtown.
3. Strengthen and promote the manufacturing park.
4. Increase drivability and walkability safely wishing the City.
5. Promote and maintain historic architecture.
6. Develop existing water and waterway access.
7. Improve utilities, including fiber optic cable.

II. Long Term Action Steps

1. Encourage efficient, clear, consistent development plan review process.
 - a. Regular update of City Master Plan (City Planning Commission)
 - b. Regular update of City Capital Improvement Plan (City Planning Commission)
 - c. Regular review and update of City ordinances (City Staff)
 - d. Promote abatement and grant programs (Assessor and Economic Development)
2. Create and strengthen relationships with County and State agencies (City Manager)
3. Promote programs to attract new development (Economic Development, TIFA)
4. Develop river, lake, and park resources
5. Develop long-range plans for infrastructure improvements (DPS, City Engineer)
6. Study transportation system (Planning, DART)
7. Increase Drivability
8. Promote Fiber optic Cable

Index
Citywide Economic Development
Improved Drivability, Walkability, and Safety
Support Neighborhood Revitalization
Promote and Maintain Historic Architecture
Develop Existing Water and Waterway Access
Improve Utilities

III. Short Term Goals

A. CITYWIDE ECONOMIC DEVELOPMENT

1. Commercial Development: Encourage the development of commercial uses to support the needs of the City of Hillsdale and the surrounding area, providing convenient shopping and related services to area residents and assuring compatibility of commercial areas with residential and other areas.
 - a. Goals
 - (1) Encourage clustered commercial development rather than ‘sprawl’ or strip development.
 - (2) Locate commercial establishments for access to efficient transportation systems and for the convenience of residents.
 - (3) Locate commercial uses to avoid incompatible adjacent uses.
 - (4) Encourage diversification in the type of commercial and business establishments in order to meet a greater range of citizen needs.
 - (5) Develop commercial businesses that enable residents to spend locally.
 - (6) Preserve the architectural integrity of older commercial areas as they are redeveloped and restored.
 - b. Action Steps
 - (1) Utilize current tools to ensue greater green space and better landscaping.
 - (2) Review zoning ordinance safeguards to minimize the negative impacts of commercial activities on roads, adjacent land uses, and the environment.

- (3) Evaluate the expansion of Form-Based Zoning ordinances in commercial areas.
- 2. Industrial Development: Foster industrial development and redevelopment, with emphasis on the development of light, clean industry that will diversify the local economy, strengthen the City tax base, and protect the local environment from degradation.
 - a. Goals
 - (1) Encourage commercial/residential mixed use redevelopment of abandoned industrial sites outside of industrial parks.
 - (2) Redevelop existing abandoned industrial sites.
 - (3) Support grant request for Brownfield redevelopment support and blight elimination.
 - (4) Leverage high-speed internet infrastructure to attract technology-related businesses. (EDC)
 - (5) Support start-up industries to locate in redeveloped sites. (EDC)
 - (6) Monitor and update zoning ordinances to remain current with needs and trends of industry.
 - (7) Assure industrial sites' access to major thoroughfares without disrupting secondary and tertiary roadways.
 - (8) Encourage industrial development in areas where soils are suitable, minimizing potential for groundwater contamination; favor uses that do not pollute the air, soil, water, or compromise the quality of life of residents; this includes appropriate buffering, including landscaping, of each new or expanding site.
 - (9) Promote and find technology-based companies, especially data storage.
 - b. Action Steps
 - (1)
- 3. Development Regions: The City has established three main development regions, each with its own characteristics and needs.
 - Vibrant M-99 Corridor Businesses
 - a. Goals
 - (1) Encourage walkability and limit the number of automobile access points in M-99 redevelopment projects.
 - (2) Encourage a uniform streetscape and the development of attractive gateways to the community.
 - (3) Extend and develop pedestrian and bike paths
 - (4) Extend and develop pedestrian and bike paths
 - b. Action Steps
 - (1) Develop Form-Based zoning to create a uniform streetscape for the Corridor.
 - (2) Extend and maintain bike lanes.

- (3) Continue Wayfinding Signs plan.
- (4) Remove Blight
- (5) Support Fairgrounds restoration
- Prosperous Industrial Park
 - a. Goals
 - (1) Encourage commercial/residential, mixed-use redevelopment of abandoned industrial sites outside of industrial parks.
 - (2) Support industrial development
 - (3) Encourage the development of light, clean industry clustered in industrial parks that will diversify the local economy, provide a stable tax base and will protect the local environment from degradation
 - (4) Redevelop existing abandoned industrial sites.
 - (5) Allow light industrial uses that provide economic benefit to the community and that do not result in negative consequences to bordering neighborhoods.
 - (6) Provide high-quality business locations with existing essential infrastructure
 - (7) Increase local employment opportunities
 - (8) Assure industrial uses have access to major thoroughfares and do not disrupt secondary and tertiary roadways.
 - (9) Encourage industrial development in areas where soils are suitable and potential for groundwater contamination is minimized.
 - b. Action Steps
 - (1) Support grant requests for Brownfield redevelopment support. – Ongoing
 - (2) Encourage industrial development to locate in well planned locations where these uses can be clustered and assure a high degree of compatibility with surrounding land uses. – Ongoing
 - (3) Encourage location of industrial uses where sufficient infrastructure can support these uses. - Ongoing
 - (4) Buffer industrial uses from residential uses. - Ongoing
 - (5) Favor uses that do not pollute the air, soil, water, or are offensive to neighboring land uses because of noise, sight, or odor. - Ongoing
 - (6) Research and write grants for blight elimination
 - (7) Industrial Facilities Tax Exemption (IFT)
 - (8) Brownfield Redevelopment Authority (BRA)

- (9) Leverage high-speed internet infrastructure to attract technology related businesses. (EDC)
- (10) Support start-up businesses to locate in redeveloped sites. (EDC)
- (11) Partner with BPU to attract new business
- (12) Promote and find technology-based companies, especially data storage
- Downtown Revitalization
 - a. Goals
 - (1) Foster redevelopment and restoration of existing commercial areas
 - (2) Preserve the historical character of the downtown business district centered on the architectural style most common in the area
 - (3) Enhance the unique qualities of the downtown business district with flexibility in zoning and land use
 - (4) Encourage redevelopment and use of second and third floors of buildings to include residential and other uses
 - (5) Concentrate on redevelopment and restoration of existing commercial areas rather than promoting new commercial development in fringe or strip areas.
 - (6) Preserve the historic character of the downtown business district centered on a historic theme and architectural style most common in the area.
 - (7) Enhance the unique qualities of the downtown business district by creating flexibility in zoning and land use.
 - (8) Encourage the redevelopment and use of second and third floor buildings in the downtown business district to include residential and other uses.
 - (9) Support continued rehabilitation of the Hillsdale
 - (10) County offices and the Post office within the downtown business district.
 - (11) Support the downtown business district property owners with assistance for the review and improvement of the building façades.
 - (12) Encourage alternate forms of transportation
 - (13) Develop resources for electric vehicles
 - b. Action Steps
 - (1) Amend Parking Ordinance to allow more on-street overnight parking
 - (2) Create bike lanes along major streets.
 - (3) Install bike racks in highly visible areas.

- (4) Continue and promote the TIFA façade program and restoration grants (TIFA Board)
- (5) Enforce existing code (City Code Enforcement Office)
- (6) Seek programs and grants for Blight Removal
- (7) Encourage non-profit involvement especially the arts
- (8) Obsolete Property Rehabilitation Abatement (OPRA)
- (9) Rental Rehabilitation Grants
- (10) Redevelopment Ready Communities Program (RRC)
- (11) TIFA Business incentive programs
- (12) Creation of Local Historic District

B. IMPROVED DRIVABILITY, WALKABILITY, AND SAFETY

1. Infrastructure Design

a. Goals

(1)

b. Action Steps

(1)

2. Infrastructure Reconstruction and Maintenance

a. Goals

(1)

b. Action Steps

(1)

C. NEIGHBORHOOD REVITALIZATION:

The City of Hillsdale features a high percentage of older stock, most of it well worth preserving and rehabilitating in order to enhance the quality of life of residents and increase property values.

- a. Goals
 - (1) Support neighborhood revitalization
 - (2) Encourage a variety of new residential development that will assure safe and sanitary housing to meet the needs of existing and future residents
 - (3) Provide affordable housing for working families and senior residents
- b. Action Steps
 - (4) Adoption of form-based code and historic preservation tools.
 - (5) Consider zoning changes that better manage multi-family housing and work to preserve single-family housing where appropriate.
 - (6) Analyze & Recommend Neighborhoods for future Neighborhood Enterprise Zone (NEZ)
 - (7) Zone for appropriate mixed-use in residential neighborhoods that encourages redevelopment, walkability and small business development.
 - (8) Locate new residential development in areas where potential conflicts with incompatible land uses can be avoided.
 - Ongoing
 - (9) Amend ordinances that allow for variable density of residential uses to be mixed with commercial uses.
 - (10) Creation of Local Historic Districts
 - (11) Increase Neighborhood involvement through competition
 - (12) Research Adopt-A-Neighborhood and implement with non-profits
 - (13) Seek programs and grants for Blight Removal
 - (14) Create neighborhood pocket parks or gardens on empty lots
 - (15) Neighborhood Enterprise Zones (NEZ)
 - (16) Market Hillsdale as a great place to live

C. DEVELOP EXISTING WATER AND WATERWAY ACCESS

- a. Goals
 - (1)

- b. Action Steps
 - (1)

C. IMPROVE UTILITIES

- d. Goals
 - (2)

- e. Action Steps
 - (1)